

LEGEND (EXISTING)

LEGEND (PROPOSED)

- PROPOSE SPOT ELEVATION
- DIRECTION OF FLOW
- HC HANDICAPPED PARKING
- MC MOTORCYCLE PARKING
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- PROPOSED RETAINING WALL
- ROOF DRAIN

RECORD INFORMATION

- RECORD INFORMATION
- RECORD INFORMATION = AS-DESIGNED
- RECORD INFORMATION

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 00°06'45" W	236.26'
L2	N 89°38'16" W	165.00'
L3	S 00°06'45" W	234.14'
L4	S 89°39'42" E	165.00'
L5	N 89°38'16" W	82.50'
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THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE BOUNDARY SURVEY PREPARED BY JMA, NMPS NO. 11184, DATED 10/24/2006. TOPOGRAPHIC SURVEY INFORMATION IS BASED UPON A TOPOGRAPHIC SURVEY PREPARED BY JMA, ON 10/24/2006, NMPS NO.11184.

KEYED NOTES

- HOLLY AVENUE N.E. IMPROVEMENTS TO BE CONSTRUCTED BY CITY WORK ORDER
- CONSTRUCT 12" SIDEWALK CULVERT PER COA STD DWG 2236
- INSTALL COMBINATION WYE/BEND W/ CLEANOUT TO GRADE INV 91.13
- 24" SIDEWALK CULVERT BY CITY WORK ORDER
- CONNECTION TO STORM INLET STUB. INV 86.75
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.02 (2%) SIZE 8" OR 10" AS NOTED
- INSTALL 8" HDPE WYE W/ CLEANOUT, INV 90.00
- INSTALL 8" HDPE BEND/WYE W/ CLEANOUT TO GRADE, WITH 8"x10" SIZE INCREASE INV 92.50
- INSTALL 8" WYE, CONNECT TO ROOF DRAIN
- INSTALL HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.0300 (3%) SIZE 8" OR 10" AS NOTED
- INSTALL CLEANOUT TO GRADE
- INSTALL 8" HDPE (SMOOTH INTERIOR) STORM DRAIN @ S = 0.0100 (1%)

GRADING PLAN

MARK 38 HOLLY DEVELOPMENT

LEGAL DESCRIPTION:

LOT 10 AND THE EAST HALF OF LOT 9, BLOCK 20, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNILLO COUNTY, NEW MEXICO ON SEPTEMBER 10, 1931, BOOK D, PAGE 121.

PROJECT BENCHMARK

STANDARD ACS BRASS TABLET STAMPED, "1-B20", SET IN TOP OF A CONCRETE POST, AT THE NORTHEAST INTERSECTION OF BARSTOW STREET AND MODESTO AVENUE. ELEVATION = 5474.51 FEET (NGVD 1929)

T.B.M. #1

REBAR #5 WITH CAP STAMPED, "JMA CONTROL NMPS 11184", AS SHOWN ON THIS SHEET. ELEVATION = 5600.33 FEET (NGVD 1929)

T.B.M. #2

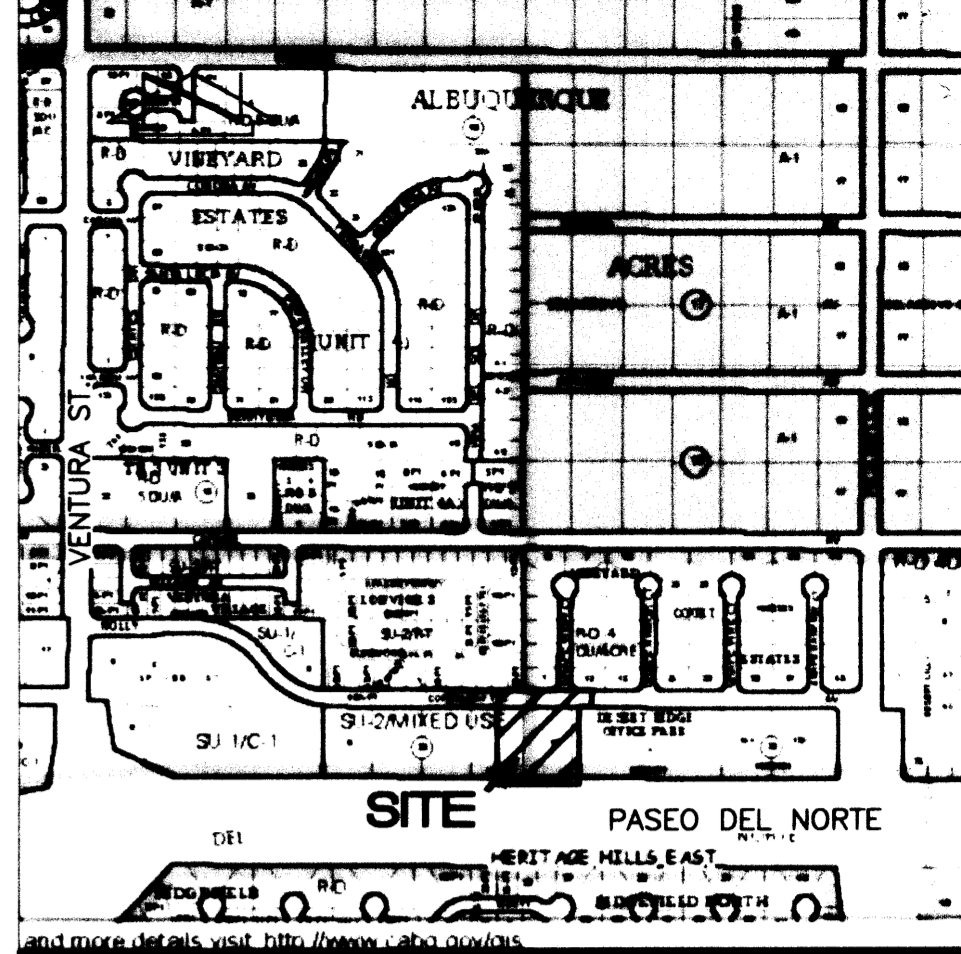
ALUMINUM CAP STAMPED, "PLS #11184", AS SHOWN ON THIS SHEET. ELEVATION = 5594.09 FEET (NGVD 1929)

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 280-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

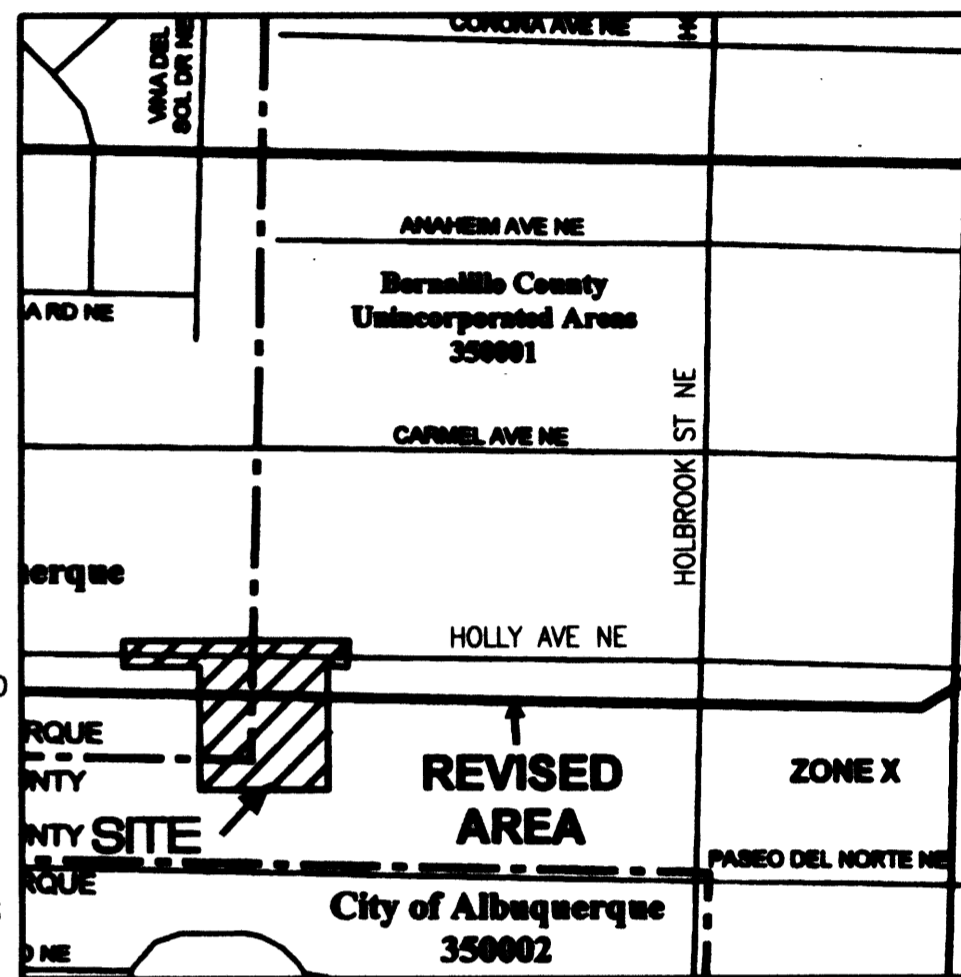
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



VICINITY MAP

SCALE: 1" = 750'

C-20

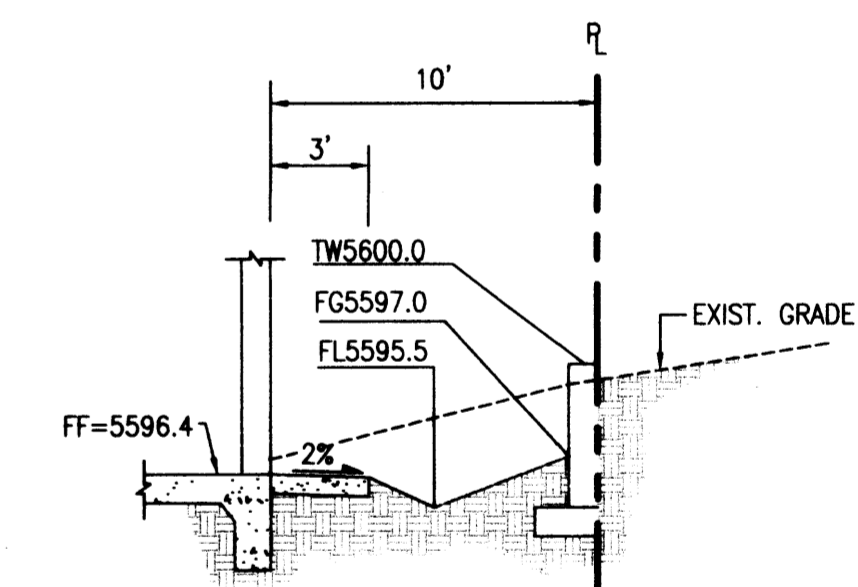


F.I.R.M.

SCALE: 1" = 500'

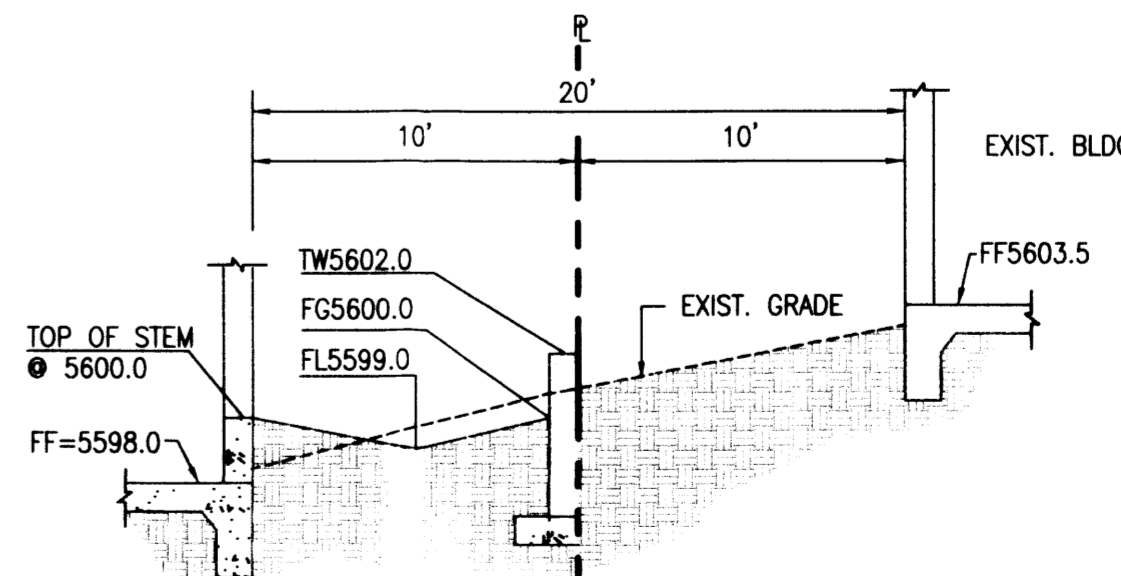
PANEL 142 OF 825

REVISED 3/23/2004



SECTION B-B

SCALE: 1" = 6'



SECTION A-A

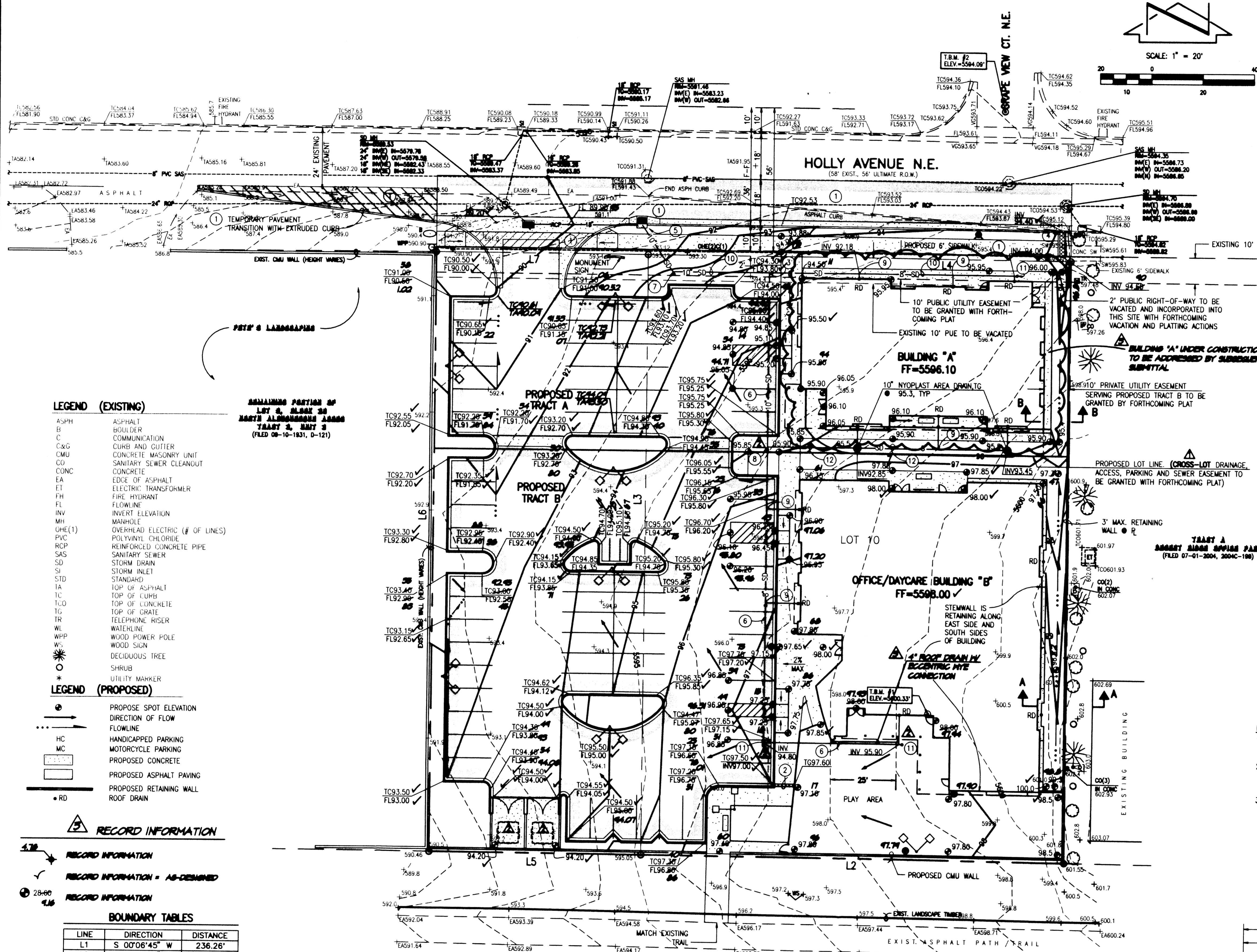
SCALE: 1" = 6'



02/05/07 10/05/07
03/28/07 5/11/2015

DESIGNED BY	J.M.	DATE	01/07	BY	G.M.	REVISIONS	ADDRESS EPC COMMENTS, ADDED DETAIL FOR CONSTRUCTION
DRAWN BY	J.Y.R./J.L.P.	DATE	03/07	BY	G.M.	REVISIONS	REVISE ROOF DRAINS, DELETE SEWER DRAINS
APPROVED BY	G.M.	DATE	05/15	BY	G.M.	REVISIONS	ENGINEER'S CERTIFICATION - BUILDING "B"
							BUILDING "A" CONSTRUCTION

JOB NO.	2015.012.1
DATE	10-2006
SHEET	OF
C003	



LEGEND (EXISTING)

ASPH	ASPHALT
B	BOULDER
C	COMMUNICATION
C&G	CURB AND GUTTER
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
EA	EDGE OF ASPHALT
ET	ELECTRIC TRANSFORMER
FL	FIRE HYDRANT
FL	FLOWLINE
INV	INVERT ELEVATION
MH	MANHOLE
OHE(1)	OVERHEAD ELECTRIC (# OF LINES)
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
SAS	SANITARY SEWER
SD	STORM DRAIN
SI	STORM INLET
ST	STANDARD
TA	TOP OF ASPHALT
TC	TOP OF CURB
TCO	TOP OF CONCRETE
TG	TOP OF GRATE
TR	TELEPHONE RISER
WL	WATERLINE
WPP	WOOD POWER POLE
WS	WOOD SIGN
DT	DECIDUOUS TREE
SR	SHRUB
UM	UTILITY MARKER

LEGEND (PROPOSED)

●	PROPOSE SPOT ELEVATION
→	DIRECTION OF FLOW
---	FLOWLINE
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MC	MOTORCYCLE PARKING
---	PROPOSED CONCRETE
---	PROPOSED ASPHALT PAVING
---	PROPOSED RETAINING WALL
---	ROOF DRAIN

RECORD INFORMATION

- 4.78 RECORD INFORMATION
- ✓ RECORD INFORMATION - AS-DEIGNED
- 28-66 RECORD INFORMATION

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JEFF MORTENSEN & ASSOCIATES, INC.
6800-3 HWY 14 N.E. ALBUQUERQUE, N.M. 87119
ENGINEERS & SURVEYORS (NM) 345-4254
FAX: 345-4254 (ESTABLISHED 1977)

GRADING PLAN MARK 3S HOLLY DEVELOPMENT

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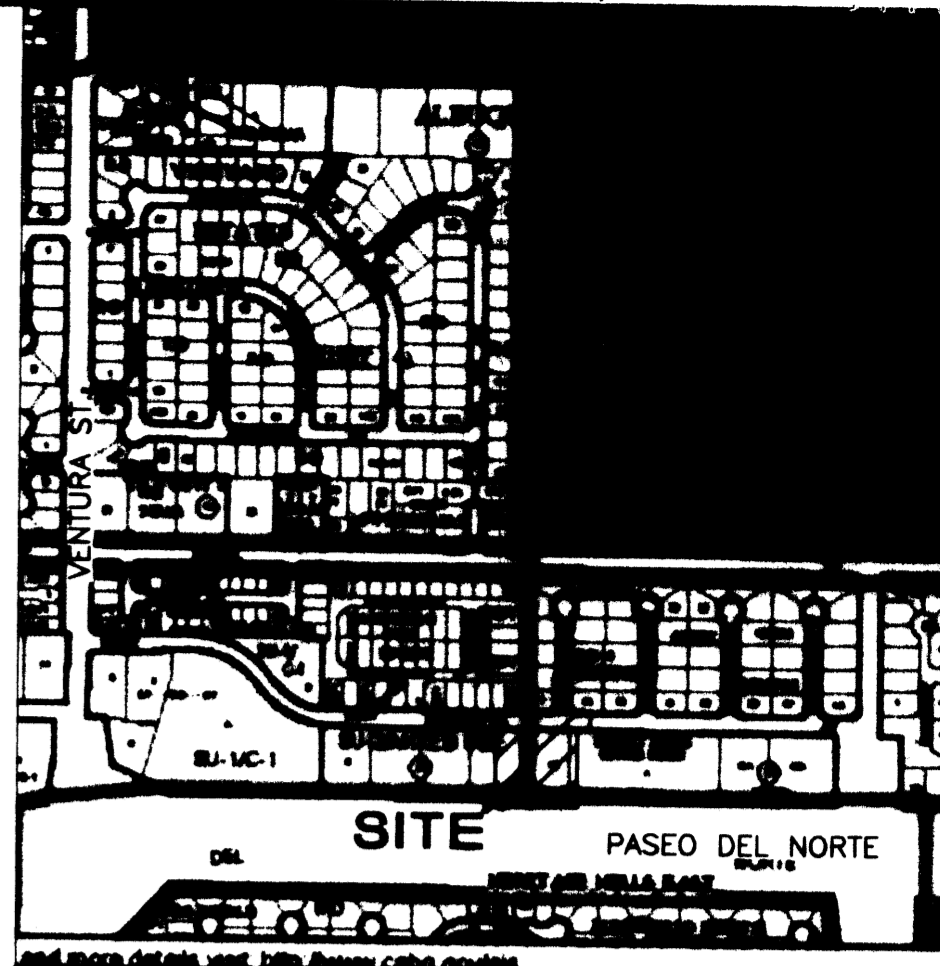
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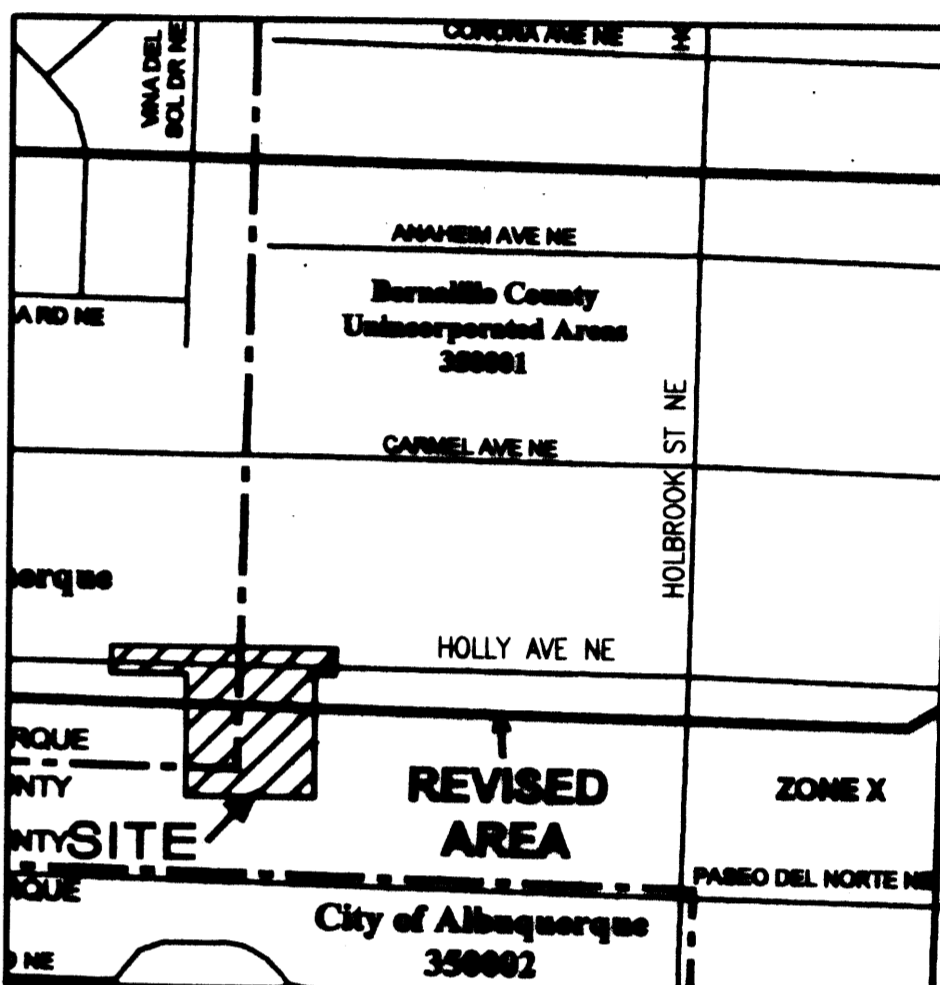
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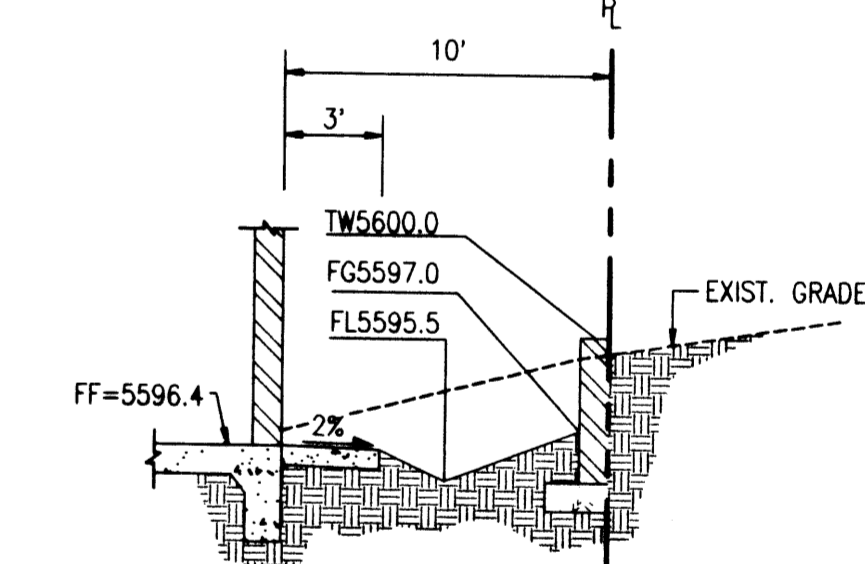


VICINITY MAP

SCALE: 1" = 750'

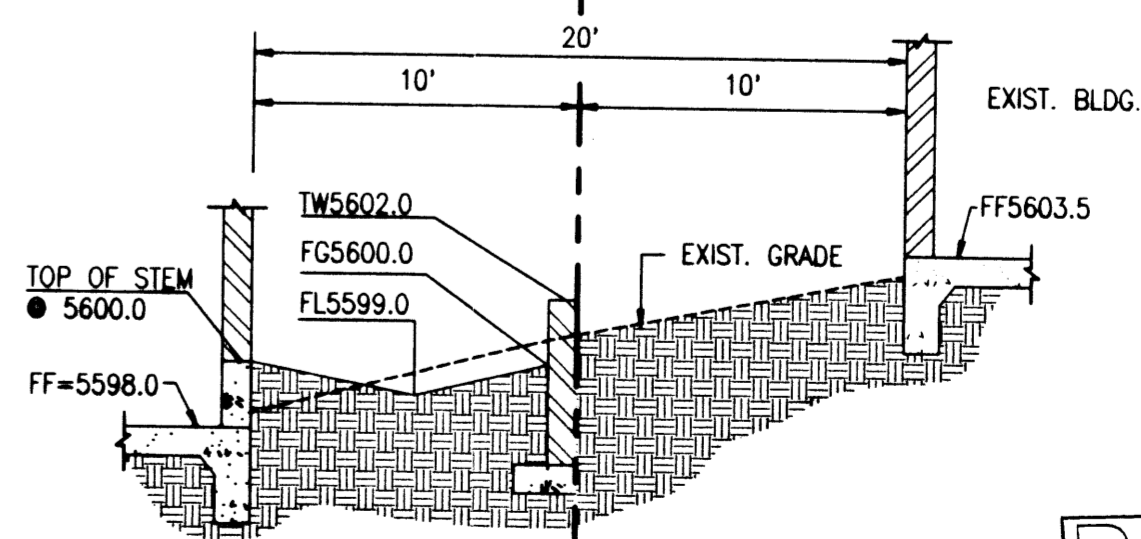


F.I.R.M. PANEL 142 OF 825
SCALE: 1" = 500'
REVISED 3/23/2004



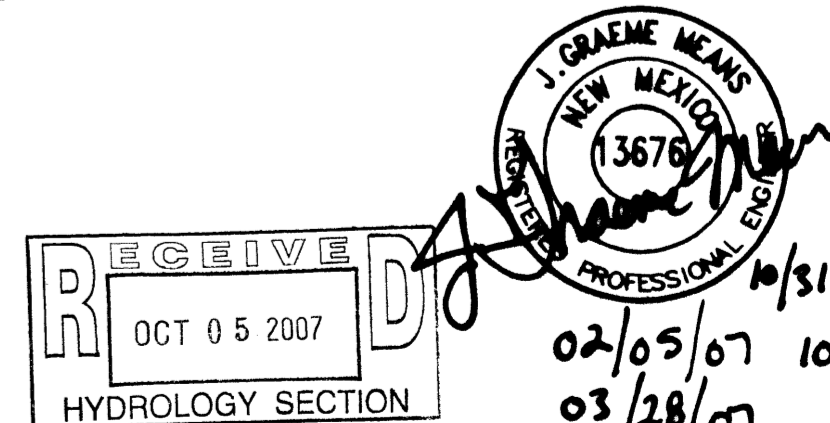
SECTION B-B

SCALE: 1" = 6'



SECTION A-A

SCALE: 1" = 6'



RECEIVED
OCT 05 2007
HYDROLOGY SECTION
10/31/06
02/05/07
03/28/07

DESIGNED BY	DATE	BY	REVISIONS	JOB NO.
G.M.	01/07	G.M.	ADDRESS EPC COMMENTS, ADDED DETAIL FOR CONSTRUCTION	2006.070.8 ⁹
RRV/JLP	03/07	G.M.	REVISE ROOF DRAINS, DELETE SEWER DRAINS	DATE 10-2006
G.M.	10/07	G.M.	ENGINEER'S CERTIFICATION - BUILDING "B"	SHEET OF C003