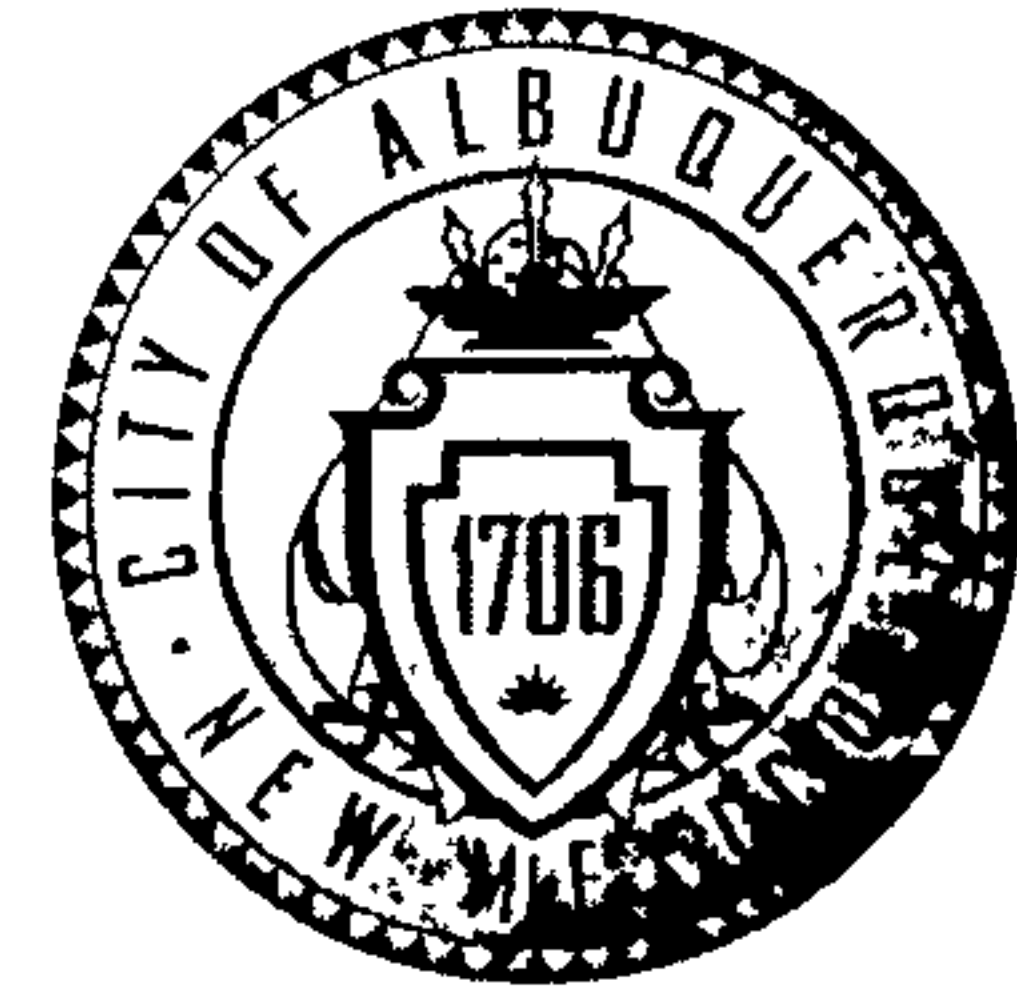


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



January 8, 2016

Ron Hensley, P.E.
The Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

Richard J. Berry, Mayor

RE: Izzat Subdivision (File: C20D069)
Grading and Drainage Plan, Engineer's Date 2-11-2014
Certification Date: 12-20-15

Dear Mr. Hensley:

Based upon your Engineer's Certification submitted on 12-22-2015, the above referenced plan is adequate and satisfies the Grading and Drainage Certification for Release of Financial Guaranty, with the exception of the wall openings and swale along the NE property line. C.O. for Lot 4 will be contingent on a future submittal certifying that the swale and wall openings along the NE property line are built.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

New Mexico 87103

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c pdf via Email Recipient, Rudy Archuleta



Special Case
City of Albuquerque

Planning Department
Development & Building Services Division
DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2013)

Project Title: Izzat Subdivision Building Permit #: _____ City Drainage #: C20D069
DRB#: 705284 1009890 EPC#: _____ Work Order#: 705284
Legal Description: LOT 31, BLOCK 3, UNIT 3, TRACT 3, NORTH ALBUQUERQUE ACRES
City Address: Carmel Ave. NE

Engineering Firm: THE Group Contact: Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 Fax#: _____ E-mail: ron@thegroup.cc

Owner: Nazish LLC Contact: Shakeel Rizvi
Address: 8504 Waterford Pl. N.E., Albuquerque, NM, 87122
Phone#: 505-315-6563 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Terrametrics Contact: _____
Address: 4175 Montgomery Blvd., NE, Albuquerque, NM 87105
Phone#: 505-379-4301 Fax#: _____ E-mail: _____

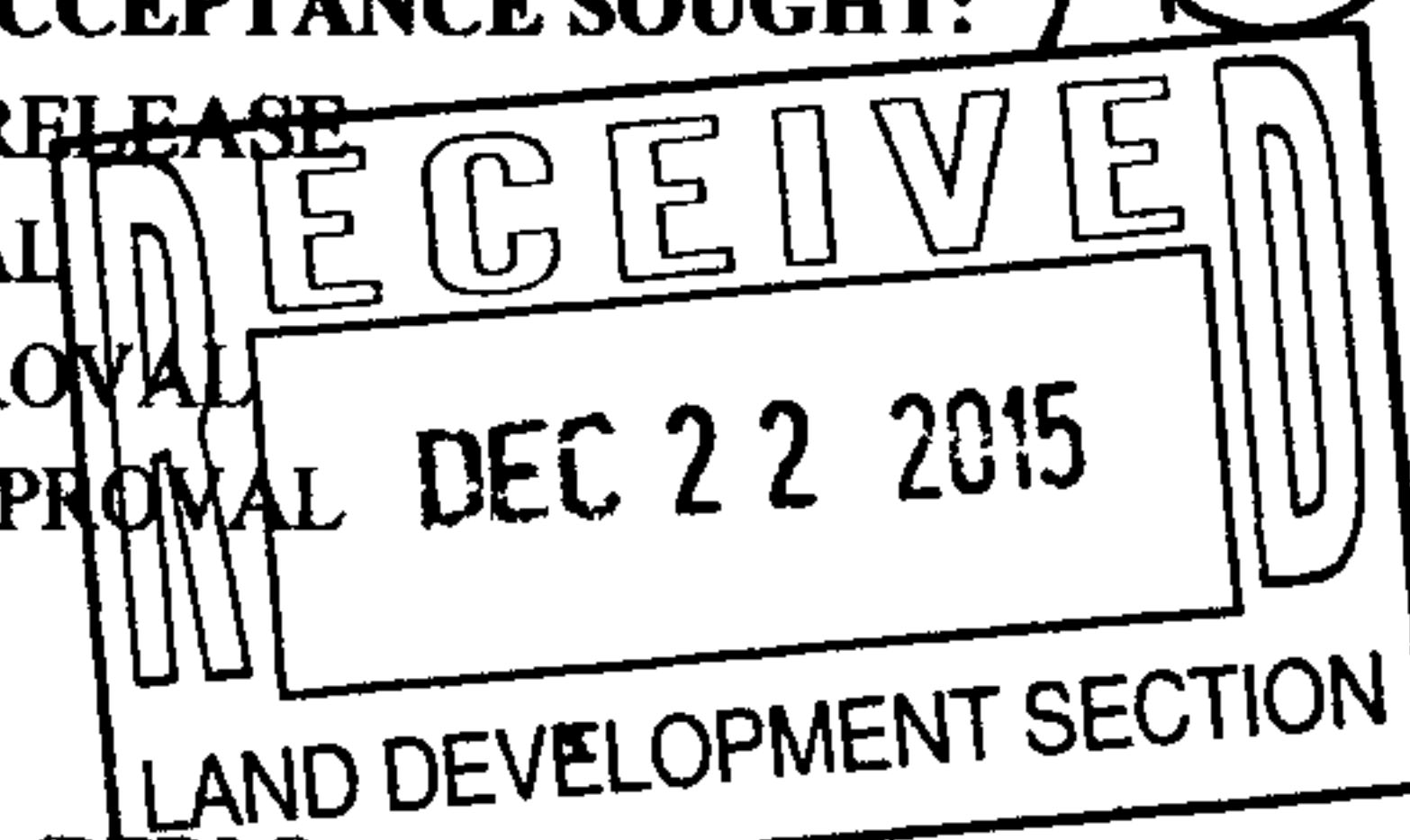
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ ~~FINAL PLAT APPROVAL~~
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ ~~BUILDING PERMIT APPROVAL~~
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ ~~GRADING CERTIFICATION~~
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No ☒ Copy Provided

DATE SUBMITTED: 12/21/2015 By: Ron Hensley

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



The HENSLEY ENGINEERING GROUP

December 21, 2015

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: C20D069 – Izzat Subdivision Drainage Certification

The as built Grading Plan for the above site is attached. The subdivision is a replat of “Lot 31 Block 3 Unit 3 Tract 2 of North Albuquerque Acres”. The drainage from and within the subdivision perform as designed, and all grades inside the subdivision do not deviate by more than 18" of the DRB approved grades within 50 feet of the subdivision's perimeter. The pad elevations of all lots have been verified, but Lot 4 is excluded from this certification until completion and certification of the drainage swale at C.O.

We are requesting a review for Grading Certification Approval. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.
ron@thegroup.cc



Ortiz, Monica

SPECIAL CASE

From: Harmon Rita T.
Sent: Friday, December 18, 2015 2:01 PM
To: 'Ron Hensley'
Cc: Abiel X. Carrillo; Elliott, Stanice; Ortiz, Monica; Metro, Kristal D.; Archuleta, Rudolph P.
Subject: RE: Grading Cert for Izzat Subdivision

Follow Up Flag: Follow up
Flag Status: Flagged

Ron,

I checked with Shahab. Submit an Engineer's Cert requesting ROFG. Provide a letter stating that while you will verify the pad elevation on Lot 4, you will not be certifying the swale. Indicate that the intent is that the swale be lined before the C.O. for Lot 4 be given. The swale will have to be certified in a future and separate submittal. We will put a flag on Lot 4.

If all the infrastructure is in the ROFG will be approved, and you can continue to close out your Work Order package and get Final Plat (since this project is not Financially Guaranteed).

Rita Harmon, P.E.

Senior Engineer

Planning Department

Development & Review Services Division

600 2nd St. NW, Suite 201

Albuquerque, NM 87102

t 505-924-3695

f 505-924-3864

From: Ron Hensley [<mailto:ron@thegroup.cc>]
Sent: Wednesday, December 16, 2015 11:10 AM
To: Harmon Rita T.
Subject: Grading Cert for Izzat Subdivision

Hi Rita,

The developer is requesting a grading certification for the above project (grading sheet attached for quick reference). I would like to certify the subdivision, but I would like to except 1 lot. Is this acceptable? I would like to except Lot 4 and require certification during house permit inspection. The reason is the Gravel Pave System for the offsite flows is impractical to install prior to construction. Please let me know what you think.

Thanks,

Ron

Harmon Rita T.

From: Harmon Rita T.
Sent: Thursday, January 07, 2016 9:19 AM
To: ron@thegroup.cc
Subject: IZZAT Subdivision ROFG
Attachments: ROFG 1-6-2016.JPG

Ron,
I went out to do the ROFG and all looks well except for the ramp 1 (see Pic) There is a low spot at the detectable warning strip causing water to pond near the joint (it's hard to see in the picture since the water is clear). This needs to be rectified before Release of Financial Guarantee. One possible solution is to sawcut and grind the roll curb in the red triangle shown below, allowing water to flow out.

Rita



Has been
corrected,
see photos
in
drainage
file
RTT+ 1/9/16.

Olson, Greg

From: Olson, Greg
Sent: Friday, January 31, 2014 4:59 PM
To: 'Ron Hensley'
Cc: Olson, Greg
Subject: C20-D069 Grading and Drainage Plan for Izzat Subdivision

Ron,

This is to confirm, my verbal rejection of the 1/15/14 version of this plan, as it lacks the sidewalk on the west side of Izzat Court, which was required by the DRB.

I look forward to your resubmittal of this plan next week, and will process it ASAP.

Thanks,

Greg Olson, PE
Senior Engineer
Planning - Hydrology
505-924-3994

*Spoke w/ Ron on
Friday after noon 1/31/14
He plans to resubmit on
Monday 2/3/14.
GD*

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: IZZAT SUBDIVISION ZONE MAP/DRG. FILE # C-20 / 10069
DRB#: 1009840 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 31, Block 3, North Albuquerque Acres Tract 2, Unit 3
CITY ADDRESS: 9100 Carmel Ave. NE

ENGINEERING FIRM: THE Group
ADDRESS: 300 Branding Iron Rd. SE
CITY, STATE: Rio Rancho, NM

CONTACT: Ron Hensley
PHONE: 505-410-1622
ZIP CODE: 87124

OWNER: Nazish LLC
ADDRESS: 8504 Waterford Pl. N.E.
CITY, STATE: Albuquerque, NM

CONTACT: Shakeel Rizvi
PHONE: 505-315-6563
ZIP CODE: 87122

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Terrametrics
ADDRESS: 4175 Montgomery Blvd., NE
CITY, STATE: Albuquerque, NM

CONTACT: Philip Turner
PHONE: 505-379-4301
ZIP CODE: 87109

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

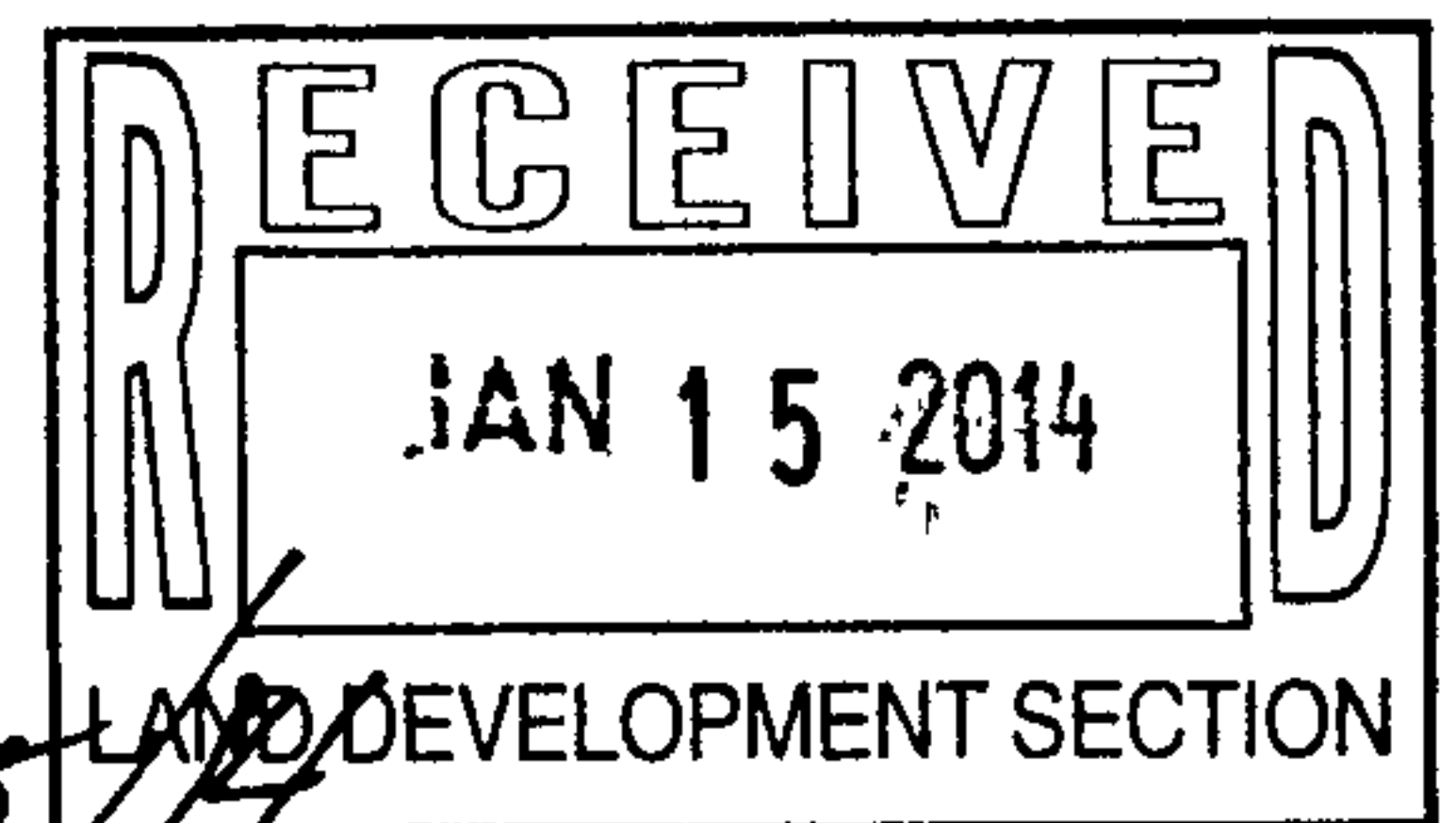
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Ron E. Hensley DATE: 1/15/14

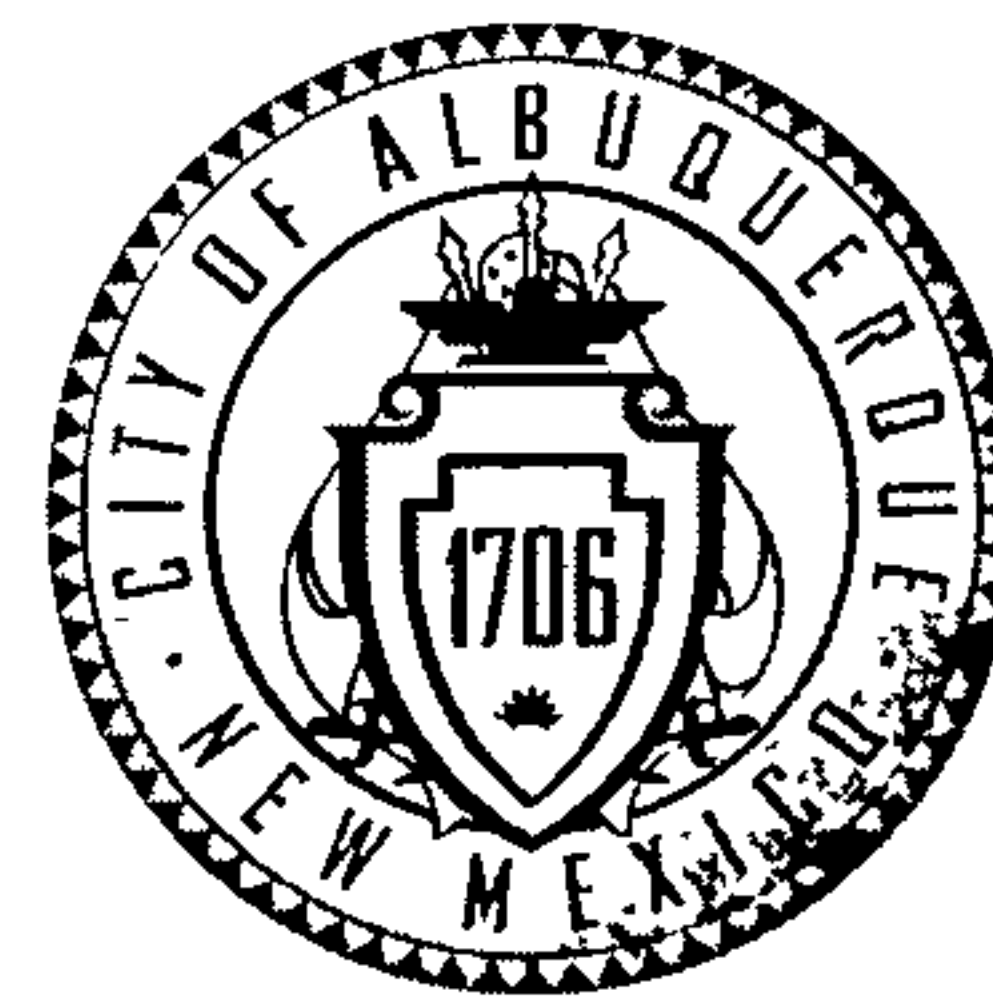


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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



February 13, 2014

Richard J. Berry, Mayor

Ron Hensley, P.E.
The Group
300 Branding Iron Road SE
Rio Rancho, New Mexico 87124

RE: **Izzat Subdivision** (5 Lot Residential)
NAA Tract 2, Unit 3, Block 3, Lot 31

File # **C20/D069**

Grading & Drainage Plan for Grading Permit and Work Order

PE Stamp: 2/11/14

Dear Mr. Hensley

Based upon information provided in your submittal received 2/11/14, the above referenced Grading and Drainage Plan is approved for Grading Permit and Work Order.

PO Box 1293

The Public Infrastructure required by the DRB (Case No. 10098040) will require a Work Order approved through the City's Design Review Committee (DRC).

Albuquerque

Please attach a copy of this approved plan in the Work Order construction sets.

New Mexico 87103

An Engineer's Certification of Grading on this site, in accordance with this plan, will be required prior to release of the Subdivision Improvements Agreement (SIA) and Financial Guarantees.

If you have questions, please email me at rolson@cabq.gov or phone 505-924-3994.

www.cabq.gov

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file **C20-D069**
c.pdf Addressee via Email: Ron@TheGroup.cc

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: IZZAT SUBDIVISION ZONE MAP/DRG. FILE # C-20/D069
DRB#: 1009840 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 31, Block 3, North Albuquerque Acres Tract 2, Unit 3
CITY ADDRESS: 9100 Carmel Ave. NE

ENGINEERING FIRM: THE Group
ADDRESS: 300 Branding Iron Rd. SE
CITY, STATE: Rio Rancho, NM

CONTACT: Ron Hensley
PHONE: 505-410-1622
ZIP CODE: 87124

OWNER: Nazish LLC
ADDRESS: 8504 Waterford Pl. N.E.
CITY, STATE: Albuquerque, NM

CONTACT: Shakeel Rizvi
PHONE: 505-315-6563
ZIP CODE: 87122

ARCHITECT: _____
ADDRESS: _____
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CONTACT: Philip Turner
PHONE: 505-379-4301
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CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
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____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER/ARCHITECT CERT (TCL)
____ ENGINEER/ARCHITECT (DRB SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
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____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

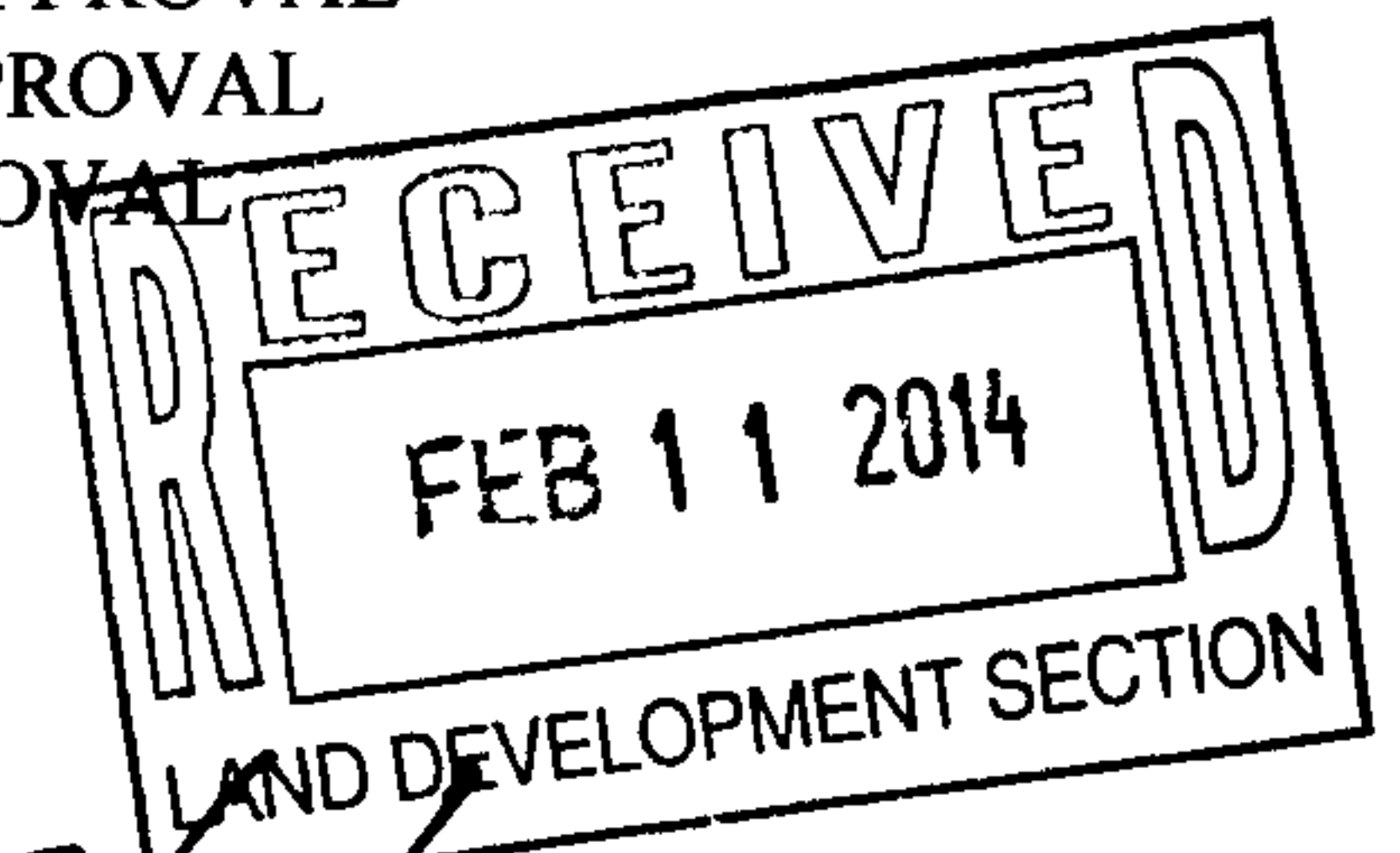
WAS A PRE-DESIGN CONFERENCE ATTENDED:

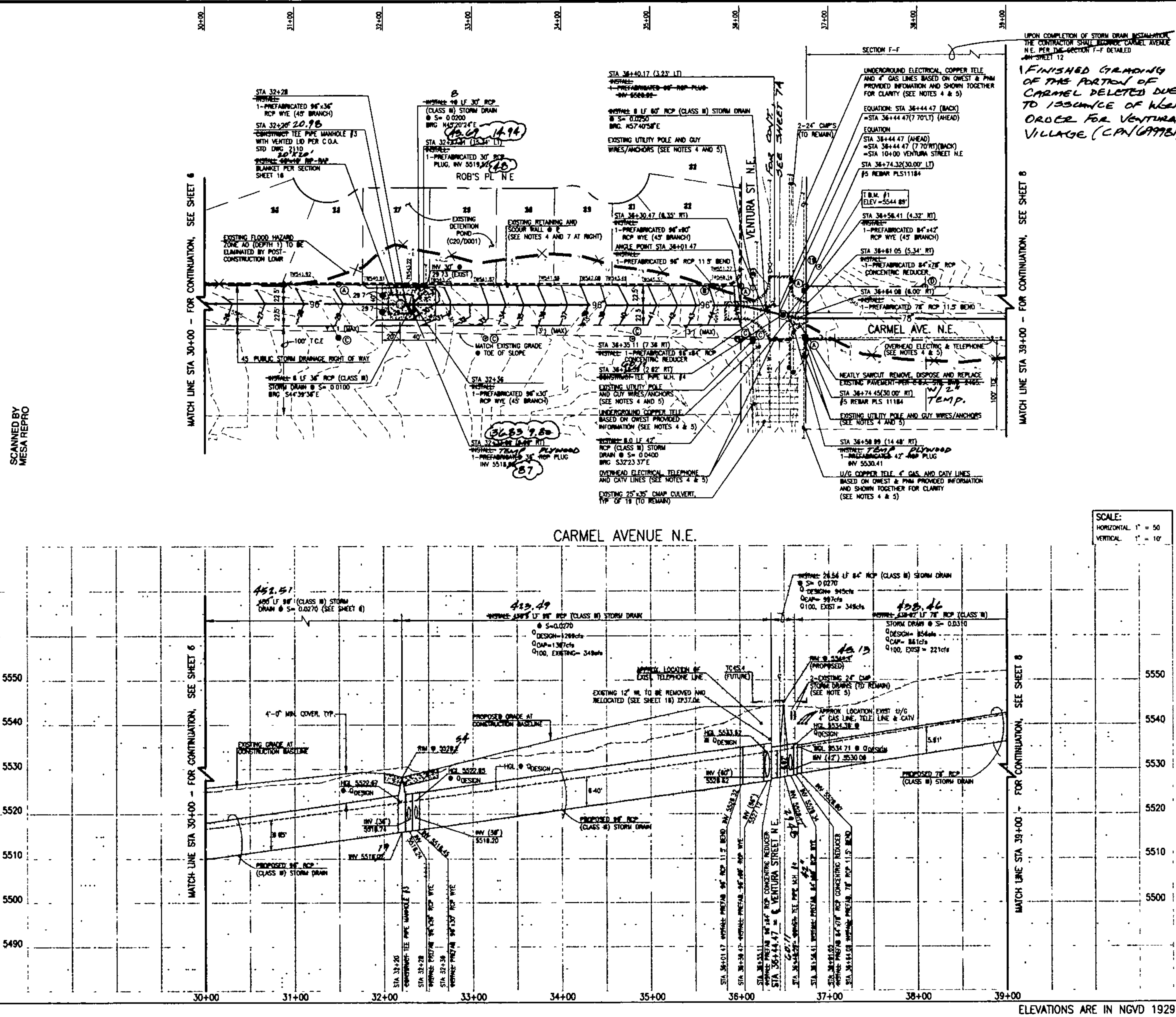
____ YES
____ NO
____ COPY PROVIDED

SUBMITTED BY: *Ron P. Hensley* DATE: 2/11/14

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





NOTES

- ALL STATIONING SHOWN HEREON IS BASED UPON CONSTRUCTION BASELINE UNLESS OTHERWISE INDICATED. SLOPES ARE BASED ON TRUE LENGTH OF PIPE. REFER TO HORIZONTAL CONTROL PLAN SHEETS 4 & 5 FOR BASELINE CONTROL POINT DATA.
- ALL STORM DRAIN SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, ALL MANHOLES ON 48" AND LARGER RCP STORM DRAIN SHALL BE PREFABRICATED ECCENTRIC TEE PIPE MANHOLES WITH 48" DIA. RISER PER N.A.A.P. W.A. SPECIFICATION 920.4.5 AND N.A.A.P. W.A. STANDARD DETAIL DRAWING 2113. ALL MANHOLES ON 36" AND SMALLER SHALL BE TYPE "C" PER C.O.A. STD DWG 2101 DIAMETER AS NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES OR IMPROVEMENTS. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXPENSE OF REPLACING ALL PROPERTY CORNERS WHICH MAY BE DAMAGED OR DESTROYED IN THE COURSE OF CONSTRUCTION. PROPERTY CORNER REPLACEMENT SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO.
- THE CONTRACTOR SHALL NOT DISTURB THE EXISTING LA CUERVA TERRA PRIVATE SCOUR/RETAINING WALL LOCATED BETWEEN APPROXIMATE STATIONS 29+80 AND 34+00 (22.5 FT. LEFT) THE USE OF HEAVY ROLLING EQUIPMENT AND/OR VIBRATORY ROLLERS TO OBTAIN THE REQUIRED DENSITIES IN BACKFILL COMPACTION AND FILL CONSTRUCTION WILL NOT BE PERMITTED IN THE PROXIMITY OF THIS WALL. THE CONTRACTOR SHALL NOT OPEN MORE THAN 24 LINEAR FEET OF TRENCH AT ONE TIME FROM STA 29+80 TO STA 34+00. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SAFELY OBTAINING THE REQUIRED COMPACTION AND SHALL SELECT AND USE TRENCHING AND CONSTRUCTION METHODS THAT SHALL NOT BE INJURIOUS OR DAMAGING TO THE EXISTING STRUCTURES.
- PROPOSED "WYE" FITTINGS ARE SHOWN LARGER THAN ACTUAL SIZE FOR GRAPHIC CLARITY.
- SEE SHEET 16 FOR WATER LINE REMOVAL AND RELOCATION.
- REFER TO SHEET 12 FOR TYPICAL CARMEL AVENUE ROAD REGRADING SECTIONS.

LEGEND

- EXISTING FLOOD PLAIN LIMITS TO REMAIN
- EXISTING FLOOD PLAIN TO BE ELIMINATED BY POST-CONSTRUCTION LOAN
- CENTERLINE OR BASELINE
- BOUNDARY/ R.O.W
- LOT LINE
- PROPOSED STORM DRAIN MANHOLE
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- EXISTING RCP-RAIP
- EXISTING PAVEMENT TO BE REMOVED AND REPLACED

KEYED MONUMENTATION NOTES

- #5 REBAR W/CAP STAMPED "N.M.P.S. 11184" (SEE NOTE 6 ABOVE)
- #4 REBAR W/CAP STAMPED "N.M.P.S. 10285" (SEE NOTE 6 ABOVE)
- #5 REBAR W/CAP STAMPED "N.M.P.S. 11184" CORNER SUPERSEDED BY REPLAT, REPLACEMENT NOT REQUIRED
- #4 REBAR W/CAP STAMPED "LS 4078" (SEE NOTE 6 ABOVE)
- #4 REBAR W/CAP STAMPED "CONTROL POINT N.M.P.S. 11184" (SEE NOTE 6 ABOVE)

RECORD DRAWING

City of Albuquerque
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TITLE
 NORTH DOMINGO BACA ARROYO/
 CARMEL AVENUE N.E. STORM DRAIN EXTENSION
 PUBLIC STORM DRAIN PLAN AND PROFILE STA 30+00 TO STA 39+00

Design Review Comments:
 [Signature]
 [Date: 10/04/02]

City Engineer:
 [Signature]
 [Date: 10/04/02]

City Project No.: 693481
Zone: C20/21
Sheet: 7 of 20

SCANNED BY
 MESA REPRO

7/12/12
 16' from E.S. of corner to E. side of DBI D
 9' 6" E.M.H. to East wall of DBI D
 6' wide opening in temp PCO curb

PER C.O.A. STD. DWG. 2205
 1) 42.80

LOT 22, BLOCK 19
 NORTH ALBUQUERQUE ADAMS
 TRACT 2, UNIT 3
 (FILED 09-10-1931, D-121)

STA 9+33.20 (25.75'LT)
 CONSTRUCT DBL "D" STORM INLET
 PER C.O.A. STD. DWG. 2206
 TC43.30; INV37.10
 INSTALL 11.75LF 18" RCP (CLASS III)
 STORM DRAIN S=0.3613
 BRG: N89°45'10"W
 FUTURE STANDARD CURB AND GUTTER
 TO BE CONSTRUCTED WITH DEVELOPMENT
 OF LOT 32, BLOCK 18 (N.I.C.)

STA 9+77.58 (14'LT)
 CONSTRUCT 8" DIA SDMH #15

STA 10+15.79 (68.03'LT)
 INSTALL 1-24" TEMP PLUG, INV 37.60

FUTURE FILLET, CURB RETURN, STORM
 INLET, STANDARD CURB & GUTTER AND
 DOUBLE "C" STORM INLET TO BE
 CONSTRUCTED WITH DEVELOPMENT OF LOT 32

STA 9+86.33 (70.00'LT)
 INSTALL 1-8" RESTRAINED
 CAP (Lr=80')
 TP42.0

T.B.M. #1
 ELEV.=5544.89'
 #5 REBAR

FOR CONTINUATION
 SEE SHEET 7

GUTTER AND STORM INLETS TO BE
 CONSTRUCTED WITH DEVELOPMENT
 OF VENTURA VILLAGE (CPN 699981)

LOT 3-P1
 VENTURA VILLAGE
 (PROPOSED)

INSTALL 48.72LF 24"
 RCP (CLASS III) STORM
 DRAIN S=0.1200
 BRG: N83°58'10"E

STA 10+21.11 (19.60'LT)
 CONSTRUCT 6" DIA SDMH #17
 INSTALL 32.80'LF
 18" RCP (CLASS III)
 STORM DRAIN S=0.0200,
 BRG: N22°50'13"W
 FUTURE 42" EXTENSION
 BY CPN 703981

STA 10+51.29 (32.46'LT)
 FUTURE SGL "C"
 STORM INLET PER C.O.A.
 STD. DWG. 2205
 TC44.83; INV OUT 38.83;
 INV IN 39.20
 TEMP
 INSTALL 1-18" RCP
 PLUG, INV38.83

STA 10+35
 INSTALL 2 TEMP
 24" CMP PLUGS
 STA 10+29.11 (19.60'LT)
 INSTALL 1-42" TEMP
 PLUG, INV31.45

E II)
 33981

24" CMP

12" W

EXIST. EDGE
 OF ASPHALT

CMU WALL

LOT 22

UNLESS OTHERWISE NOTED, IMPROVEMENTS
 IDENTIFIED HEREON AS FUTURE SHALL BE
 CONSTRUCTED BY CITY PROJECT #703981
 FOLLOWING STORM DRAIN CONSTRUCTION.

LOT 22
 LA VENTURA VILLAGE
 (FILED 08-01-1995, 95C-195)

STA 9+33.20 (32.46'LT)
 INSTALL 1-18" TEMP PLUG;
 INV38.64
 U/G TELE

STA 9+86.18 (10'RT)
 REMOVE EXIST. PLUG, INSTALL 80 LF
 8" PVC C-900 WATER LINE
 (TO BE PERFORMED DURING
 NON-PRESSURE CONNECTION
 BY AMAFCA CONTRACT)
 STA 10+10 (10'RT)
 INSTALL
 1-12" RESTRAINED GATE VALVE (Lr=90')
 WITH VALVE BOX PER
 C.O.A. STD. DWG. 2326
 DATED JANUARY, 2002.
 (TO BE PERFORMED DURING
 NON-PRESSURE CONNECTION
 BY AMAFCA CONTRACT)
 STA 9+69.93 (43.00'RT)

FOR CONTINUATION
 SEE SHEET 7

INSTALL 21.71LF 60" RCP
 (CLASS III) STORM DRAIN
 S=-0.0248 BRG S57°40'58"W
 INSTALL 7.61LF 42" RCP

SCALE:
 HORIZONTAL: 1" = 20'
 VERTICAL: 1" = 10'

- PIPE (RCP) UNLESS OTHERWISE NOTED
- ALL MANHOLES SHALL BE 6' DIAMETER TYPE 'C' PER C.O.A. STANDARD DRAWING 2101 UNLESS OTHERWISE NOTED.
- ALL STATIONING SHOWN HEREON IS BASED ON STREET CENTERLINE UNLESS OTHERWISE NOTED. SLOPES ARE BASED ON TRUE LENGTH OF PIPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXPENSE OF REPLACING ALL PROPERTY CORNERS WHICH MAY BE DAMAGED OR DESTROYED IN THE COURSE OF CONSTRUCTION. PROPERTY CORNER REPLACEMENT SHALL BE PERFORMED BY A PROFESSIONAL SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO.
- FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS TWO WAY TRAFFIC AT ALL TIMES DURING WORK NOT PERFORMED DURING THE PERMITTED 2 WEEK VENTURA STREET CLOSURE.

SANITARY SEWER CONSTRUCTION NOTES

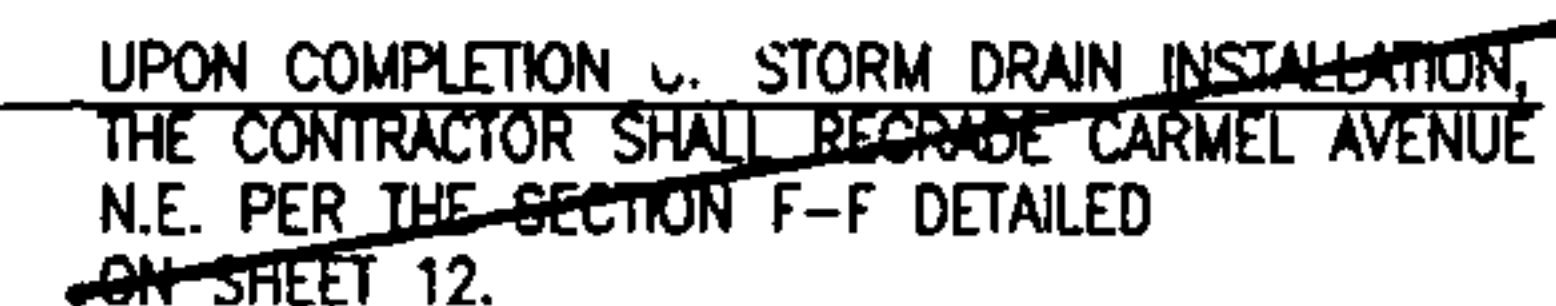
- ALL STATIONING IS BASED ON STREET CENTERLINE UNLESS INDICATED OTHERWISE.
- ALL SEWER PIPE SHALL BE PVC (SDR-35).
- SLOPES SHOWN ON THE PROFILES ARE BASED ON TRUE DISTANCES.
- SEWER SERVICE LATERALS SHALL BE PROVIDED WITH ELECTRONIC MARKER DISCS (EMD) AS PER CITY OF ALBUQUERQUE STANDARD DRAWING 2125 EMD SHALL BE PROVIDED IN ACCORDANCE WITH THE STANDARD SPECIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING APPROPRIATE MEANS AND METHODS TO EXCAVATE AND TRENCH AND INSTALL PIPE SO AS TO NOT EXCEED RIGHT-OF-WAY OR EASEMENT LIMITS, AND SO AS NOT TO INTERFERE WITH OTHER UTILITIES. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND REPLACING, IF DAMAGED, ALL OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO TRENCHING, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.
- WHERE WATER AND SANITARY SEWER LINES CROSS, THE SANITARY SEWER LINE SHALL BE INSTALLED AS PRESSURE PIPE BETWEEN MANHOLES IF 18 INCHES OF VERTICAL SEPARATION DOES NOT EXIST.

PAVING LEGEND

EXISTING TEMPORARY PAVEMENT
 TO BE REMOVED, DISPOSED
 AND REPLACED PER C.O.A.
 STD. DWG. 2405

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
FIELD NOTES		THE ACS STATION "HEAVEN" (TED PRIOR TO 1999 PASO DEL NORTE CONSTRUCTION) REPRESENTS THE "PROJECT DATUM" PREVIOUS ELEV.= 5378.79 FEET (NGVD 1929). NOTE: THE ELEVATION OF ACS STATION "5-C20", AN ACS 1 3/4" ALUMINUM DISK EXPOSED TO THE TOP OF A STORM INLET AT THE N.E. CURB RETURN AT THE N.E. QUADRANT OF THE INTERSECTION OF VENTURA ST AND ANAHEIM AVE. BASED ON THE "PROJECT DATUM" IS 5552.84 FEET (NGVD 1929). THE C.O.A. PUBLISHED ELEVATION FOR STA "5-C20" IS 5552.71 FEET (NGVD 1929) AND THEREFORE VARIES BY 0.13 FEET (NGVD 1929) FROM THE "PROJECT DATUM".		CONTRACTOR A.E.J.	
NO.	DATE	BY	DATE	WORK STAGED BY	DATE
10602	11/02	JMA		JMA	
10592	01/02	JMA		INSPECTOR'S ACCEPTANCE BY JMA	
				FIELD VERIFICATION BY JMA	
				DRAWINGS CORRECTED BY JMA	
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE

693481
 54.7A



FINISHED GRADING
OF THE PORTION OF
CARMEL DELETED DUE
TO ISSUANCE OF WORK
ORDER FOR VENTURA
VILLAGE (CPN/699981)

1. ALL STATIONING SHOWN HEREON BASELINE UNLESS OTHERWISE INDICATED. TRUE LENGTH OF PIPE. REFER TO SHEETS 4 & 5 FOR BASELINE CORRECTIONS.
2. ALL STORM DRAIN SHALL BE CLAY PIPE (RCP) UNLESS OTHERWISE INDICATED.
3. UNLESS OTHERWISE INDICATED, ALL RCP STORM DRAIN SHALL BE 18" DIA. MANHOLES WITH 48" DIA. RISER. 920.4.5 AND N.M.A.P.W.A. STANDARD MANHOLES ON 78" AND SMALLER SIZES. STD. DWG. 2101, DIAMETER AS NOTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPROPRIATE MEANS AND METHODS TO PROTECT AND INSTALL PIPE SO AS TO NOT VIOLATE EASEMENT LIMITS, AND SO AS NOT TO DAMAGE UTILITIES OR IMPROVEMENTS. REFER TO TRENCHING, THEREFORE, NO TRENCHING SHALL BE REQUIRED.
5. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, SUPPORTING AND BRACING UTILITIES ENCOUNTERED DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES BE CONSIDERED INCIDENTAL TO THE WORK. A SEPARATE PAYMENT WILL BE MADE FOR DAMAGE TO UTILITIES.
6. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXPENSE OF CORNERS WHICH MAY BE DAMAGED DURING COURSE OF CONSTRUCTION. PROTECT CORNERS SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE.
7. THE CONTRACTOR SHALL NOT DISSEMINATE PRIVATE SCOUR/RETAINING WALLS. APPROXIMATE STATIONS 29+80 TO 30+00. USE OF HEAVY ROLLING EQUIPMENT TO OBTAIN THE REQUIRED DENSITY AND FILL CONSTRUCTION WILL NOT BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 24 LINEAR FEET OF TRENCH AT STA 36+00. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED COMPACTED FILL. USE TRENCHING AND CONSTRUCTION SHALL BE INJURIOUS OR DAMAGING TO THE EXISTING STRUCTURE.
8. PROPOSED "WYE" FITTINGS ARE 18" DIA. SIZE FOR GRAPHIC CLARITY.
9. SEE SHEET 16 FOR WATER LINE.
10. REFER TO SHEET 12 FOR TYPICAL REGRADING SECTIONS.

WATER LINE STA 39+00 -- FOR CONTINUATION, SEE SHEET 8

CARMEL AVENUE N.E.

SCALE:

HORIZONTAL: 1" = 50'

VERTICAL: 1" = 10'

LEI

EX1

EXI

CEB

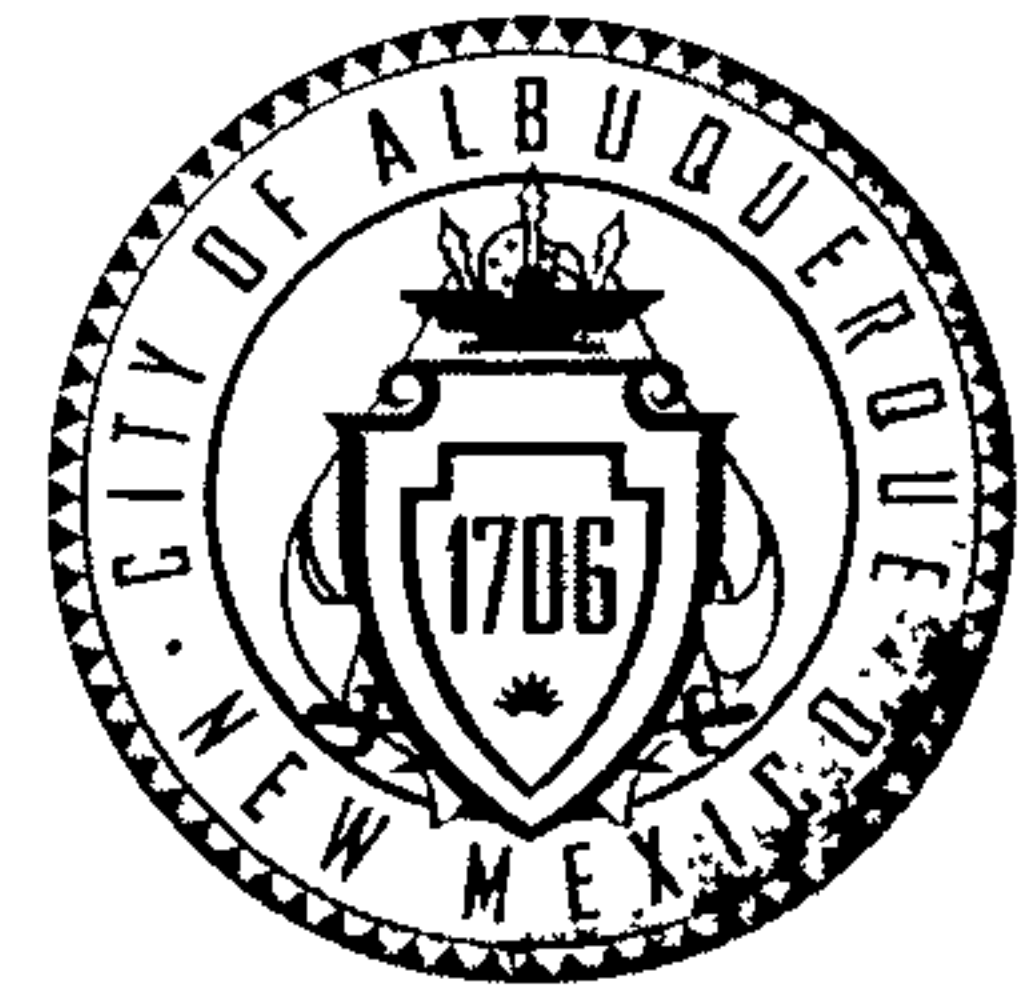
BU
101

524

PRI

693481 5h.7

CITY OF ALBUQUERQUE



January 14, 2014

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd SE
Rio Rancho, NM 87124

**Re: Izzat Subdivision
Grading and Drainage Plan
Engineer's Stamp Date 1-14-14 (C20D069)**

Dear Mr. Hensley,

Based upon the information provided in your submittal received 1-14-14, the above referenced plan is approved for Preliminary Plat action by the DRB.

The plan cannot be approved for Grading Permit until the build note for the 4 foot wide ditch is on the plan and the DRB has approved the Preliminary Plat.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: IZZAT SUBDIVISION ZONE MAP/DRG. FILE # C-20 / 10069
DRB#: 1009840 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 31, Block 3, North Albuquerque Acres Tract 2, Unit 3
CITY ADDRESS: 9100 Carmel Ave. NE

ENGINEERING FIRM: THE Group
ADDRESS: 300 Branding Iron Rd. SE
CITY, STATE: Rio Rancho, NM

CONTACT: Ron Hensley
PHONE: 505-410-1622
ZIP CODE: 87124

OWNER: Nazish LLC
ADDRESS: 8504 Waterford Pl. N.E.
CITY, STATE: Albuquerque, NM

CONTACT: Shakeel Rizvi
PHONE: 505-315-6563
ZIP CODE: 87122

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Terrametrics
ADDRESS: 4175 Montgomery Blvd., NE
CITY, STATE: Albuquerque, NM

CONTACT: Philip Turner
PHONE: 505-379-4301
ZIP CODE: 87109

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

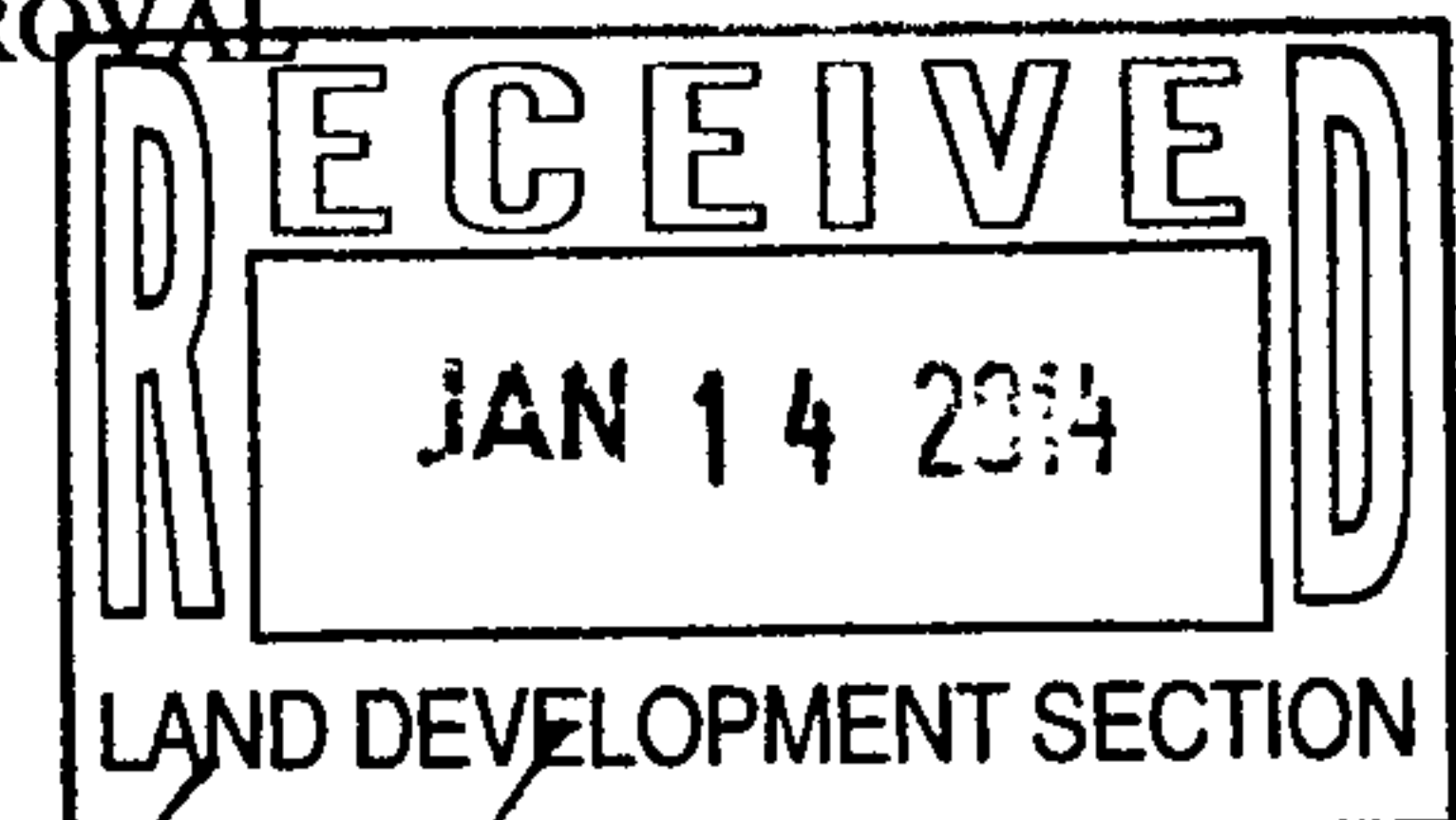
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: *Ron E. Hensley* DATE: 1/14/14



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO

DRB PROJECT NO: 1009840

AGENDA ITEM NO: 7

SUBJECT:

Subd Design Variances

Preliminary Plat

ENGINEERING COMMENTS:

Hydrology defers to Transportation and Planning

Hydrology approved a grading plan for Preliminary Plat, stamp date 1-14-13, that did not show the sidewalk on the west side of Izzat Ct.

The grading plan is still approved for Preliminary Plat approval, however, a revised plan showing the sidewalk on the west side is required prior to Work Order or Final Plat, whichever comes first.

An approved infrastructure List and recorded SIA with Financial Guarantees or completed Work Order is required for Final Plat.

RESOLUTION/COMMENTS:

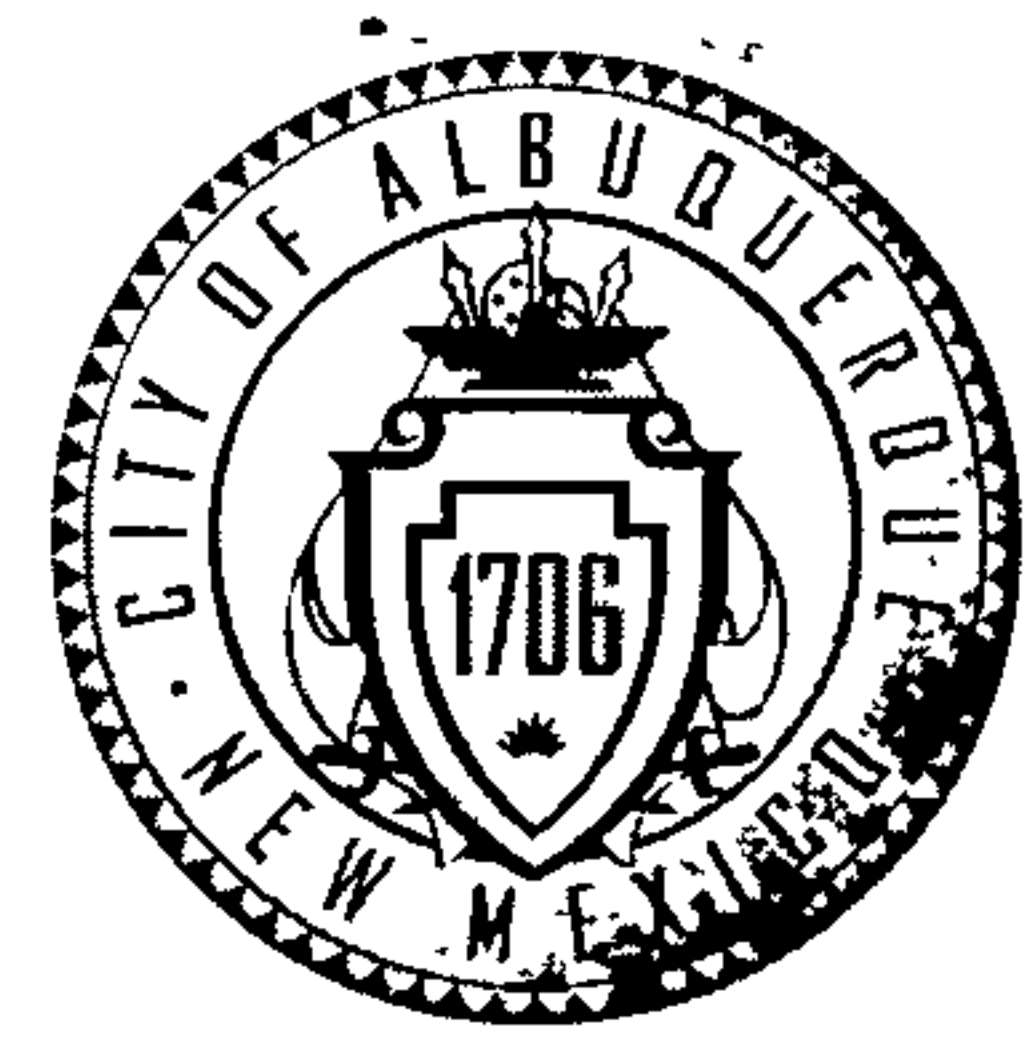
SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 1-22-14

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



December 31, 2013

Richard J. Berry, Mayor

Ron Hensley, P.E.
The Group
300 Branding Iron Road SE
Rio Rancho, New Mexico 87124

RE: **Izzat Subdivision** (5 Lot Residential)
NAA Tract 2, Unit 3, Block 3, Lot 31
Grading & Drainage Plan for Preliminary Plat & Building Permit
PE Stamp: 10/29/13

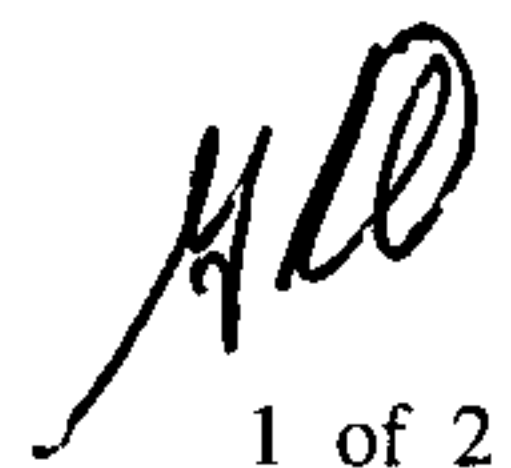
File # **C20/D069**

Dear Mr. Hensley

Based upon the information provided in your submittal received 12/16/2013, the above referenced plan cannot be approved for **Building Permit**.

The following issues need to be addressed on this Grading and Drainage plan for Preliminary Plat and Building Permit approval:

1. The location map should be corrected by darkening Lot 31 rather than Lot 32.
2. Runoff calculations that you provided did not consider offsite drainage in the adjacent Carmel roadway. My quick review of historic flows in Carmel found that existing flows from further east, plus proposed runoff from this site will exceed the capacity of the existing Double "D" inlet on Ventura, just north of Carmel. The resulting backup will result in ponding on the west side of Lot 32. Hence, the proposal to improve channelization of the runoff to that inlet is not sufficient.
3. To mitigate the issue identified in Item 2, this development will need to include the construction of one Type "Double C" inlet on the north side of Carmel, just east of Ventura, plus one stick of 18" RCP (Capped) and at least 6 LF of Standard Curb and Gutter on the upstream side of the inlet. There is an existing 18" Storm Drain pipe stubbed to that location by the Ventura Village development (CPN 399981).
4. Call out all proposed retaining wall limits on the plan view and provide Top of Wall and Bottom of Wall (or footing) elevations at critical points.


1 of 2

C20/D069

Izzat Subdivision Grading Plan

December 31, 2013

Page 2

5. Clarify the intended drainage pattern in the "Tee" area of the site paving. Does the flow in the north gutter continue west, around the end of the tee, or does the gutter spill out across the tee to the south? I suggest an additional spot elevation in the gutter flow-line, in line with the Property Line between Lots 2 and 3.

If you have any questions, please contact me by email at grolson@cabq.gov or telephone (505) 924-3994.

Sincerely,

Handwritten signature of Gregory R. Olson with the date 12/31/13 written next to it.

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file C20-D069
c.pdf Addressee via Email: Ron@TheGroup.cc

<u>BASIN SUMMARY</u>	
<u>Basin</u>	<u>Q100 cfs</u>
Izzat Subdivision Site	12.05
Upstream Subdivisions (2)*	11.00
Upstream Carmel - R/W	0.90
Adjacent Carmel - R/W	1.85
Ventura Pavement	9.25
Totals =	35.05
* Discharge rates based upon Grading and Drainage Plans for existing development.	

? Basin A2 B2 16.07 cfs

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: IZZAT SUBDIVISION ZONE MAP/DRG. FILE # C-20 / 0069
DRB#: 1009840 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 31, Block 3, North Albuquerque Acres Tract 2, Unit 3
CITY ADDRESS: 9100 Carmel Ave. NE

ENGINEERING FIRM: THE Group
ADDRESS: 300 Branding Iron Rd. SE
CITY, STATE: Rio Rancho, NM

CONTACT: Ron Hensley
PHONE: 505-410-1622
ZIP CODE: 87124

Ron@TheGroup.CC

OWNER: Nazish LLC
ADDRESS: 8504 Waterford Pl. N.E.
CITY, STATE: Albuquerque, NM

CONTACT: Shakeel Rizvi
PHONE: 505-315-6563
ZIP CODE: 87122

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Terrametrics
ADDRESS: 4175 Montgomery Blvd., NE
CITY, STATE: Albuquerque, NM

CONTACT: Philip Turner
PHONE: 505-379-4301
ZIP CODE: 87109

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER/ARCHITECT CERT (TCL)
- ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
- ☐ OTHER

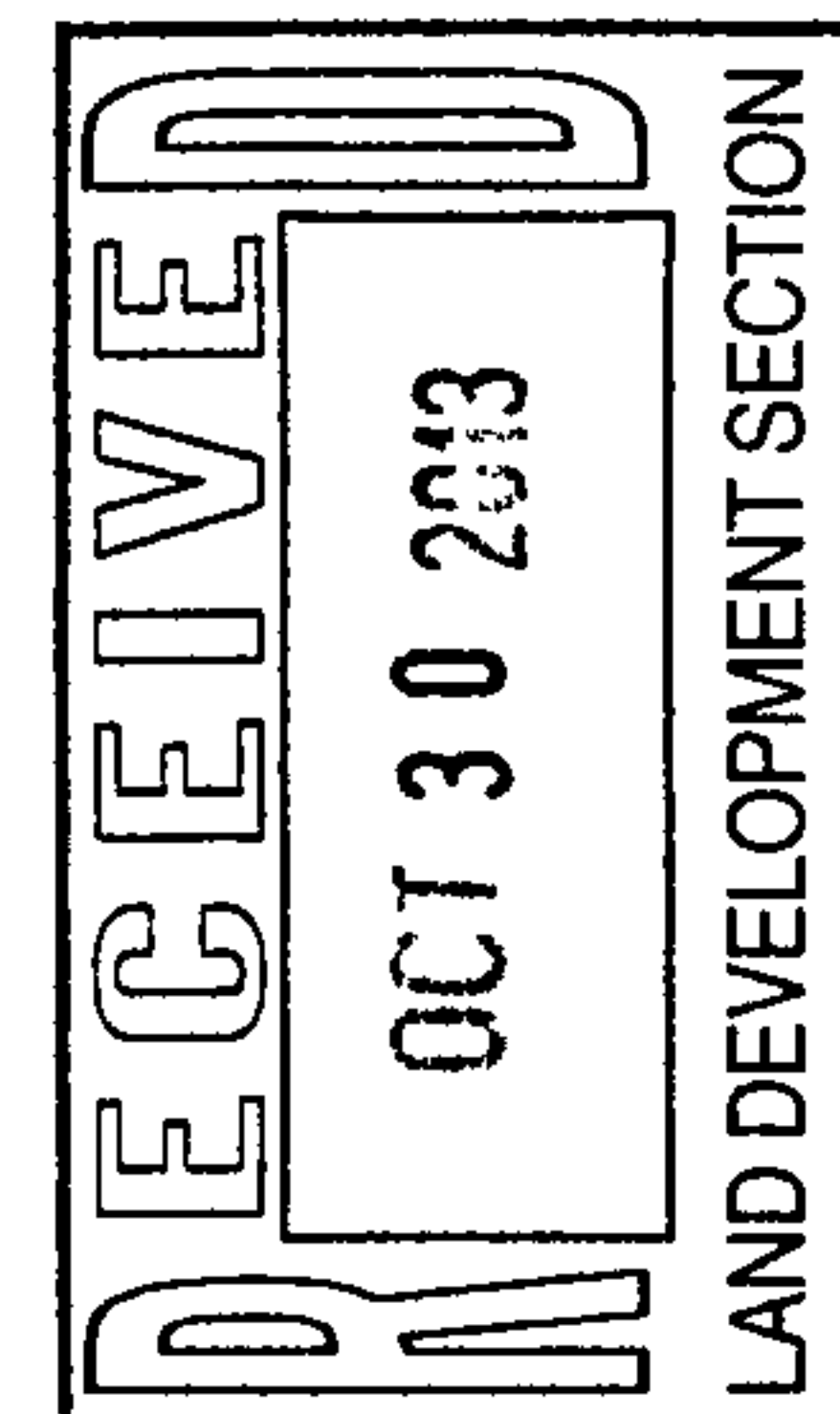
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: *[Signature]* DATE: 10/29/13



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

0425
#102^{ed}
NKE Time

C20/D69

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

11/01/2013 Issued By: PLNTES 213973

Permit Number: 2013 060 162

Category Code 970

Application Number: 13REV-60162, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: 9100 CARMEL AVE NE

Project Number: null

Applicant
THE GROUP

Agent / Contact
THE GROUP

NM
410-1622

410-1622

Application Fees

REV Actions

\$100.00

TOTAL: \$100.00

Find on
11/19/13

$$\begin{array}{r} 88478 \\ 25 \overline{) 2211950} \\ \underline{500} \\ 17119 \\ \underline{1250} \\ 46190 \\ \underline{4500} \\ 11900 \\ \underline{11750} \\ 1500 \\ \underline{1500} \\ 0 \end{array}$$

Vanessa fast 25 x 194

NOTE: CONTRACTOR SHALL COORDINATE SCHEDULE AND CONSTRUCTION WITH "VENTURA STREET IMPROVEMENTS" SEE COA. PROJ. # 7039.81

CL INTERSECTION, CARMEL AVE
* STA: 36+44.47 = STA. 10+00,
VENTURA STREET

NOTE: 96' STA. 36+60, 25' RT. 1-6' DIA. SD MANHOLE & 24" LATERAL (BY COA. PROJ. 7039-8 6934.8

NOTE:
CARMEL SE RETURN P.C.G. WC RAMP
AND VALLEY GUTTER, EAST LEG
PER COA STD DWGS 2441 & 2420
TO BE BUILT BY COA PROJ. 7039.81

NOTE:
SD LATERALS/NLETS
ON NORTH SIDE OF CARMEL
BY DEVELOPMENT OF
LOT 32—

—STA: 37+98.47, 10' L
1-8"X8"X6" TEE
L^R= 7', 8" LEGS
L^R= 5', 6" LEG
39+00

100

CITY RESIDENTIAL PAVING PER
STD. DWG. #2405, 32" F-F
CONSTRUCT 1 1/2 SECTION + 4' WIDE
TEMPORARY PAVEMENT, Northside
SEE SECTION, SHEET 8.

STA: 43+45.
1-8"x8"x6"
L_R = 7', 8" L
L_R = 5', 6" L

STA: 43+17.55
OFFSET: 16.00 R
TC=~~61.80~~ **61.98** *FL*

STA: 43+42.55
OFFSET: 41' F

TC	F
162.24	61.5
2	61.9
362.67	62.3

4' P.C.C. SIDEWALK & STD. CURB
& GUTTER PER COA DWGS. 2430
& 2415, SEE SHEET 8.

STA. 43+26 2.5 RT.
4' DIA. M.H.

OFFSET: 20.00 R TC= 45.80
 -BUILD DOUBLE 'C' STORM INLET
 PER COA DWG. 2205, T.G.=44.97
 REMOVE 24" ROP PLUG, INV(E)=40.92, INV(N)=41.26
 -STA. 37+50.50, 20' RT., BUILD DOUBLE C
 STORM INLET PER COA DWG. 2201, T.G.=45.84
 INV(W)=41.60, INV(E)=42.04
 -STA. 37+58.50, 20' RT., BUILD TYPE A
 STORM INLET PER COA DWG. 2201, T.G.= 46.72
 INV(W)= 42.70

A.D. = -1.94
K = 51.48
100.00 VC

```
PM STA := 36+77.47
PM ELEV := 45.00
```

A.D. = 5.13
K = 11.64

[illegible]

TA = 38 + 08.47
ELEV = 49.13

VCS:	38+50
VCE:	50.61

EVCS: 39+50
EVCE: 53.21

BVCS: 40+50

BVCE: 54.84

EVCS: 41+50
EVCE: 57.08

NEW TOP OF CURB L.T. & R.T.

SCANNED BY
MESA REPRO

699981
Sh. 5.

STA. 37+07.50, 0' LT. CARMEL AVE.
BEGIN RESIDENTIAL ROADWAY CONSTRUCTION
NOTE: CONTRACTOR SHALL COORDINATE SCHEDULE
AND CONSTRUCTION WITH "VENTURA STREET IMPROVEMENTS"
SEE COA. PROJ. # 7039.81
BUILD 32 L.F. OF 24" DIA.
TYPE III RCP, 24" PLUG,
INV. 41.90 (14' LT.)

CL INTERSECTION, CARMEL AVE.
* STA: 36+44.47 = STA. 10+00,
VENTURA STREET

NOTE:
NOT IN CONTRACT
NOTE: 96", 84", AND 78" RCP STORM DRAIN
INCLUDING 42" AND 60" STUB OUTS
BY AMAFCA & PRIVATE DEVELOPMENT
(Ref: City Project 6934.81)

NOTE:
STA. 36+60, 25' RT.
1-6" DIA. SD MANHOLE
& 24" LATERAL
(BY COA. PROJ. 7039.81)
6934.81

NOTE:
CARMEL SE RETURN P.C.C. WC RAMP
AND VALLEY GUTTER, EAST LEG
PER COA STD DWGS 2441 & 2420
TO BE BUILT BY COA PROJ. 7039.81

STA. 37+12±, EXIST. 12" WATER LINE (BY COA. PROJ. 7039.81)
REMOVE RESTRAINED CAP, 10' LT.
MAKE NON-PRESSURIZED CONNECTION

NOTE:
SD LATERALS/INLETS
ON NORTH SIDE OF CARMEL
BY DEVELOPMENT OF
LOT 32

STA: 37+88.47 - 4.33' RT.
4' DIA. SAS M.H.

STA: 37+98.47, 10' L
1-8"X8"X6" TEE
L= 7', 8" LEGS
R= 5', 6" LEG
39+00

STA. 39+76,
CONSTRUCT SINGLE WATER SERVICE
WITH HEAVY WEIGHT METER BOX
COVER & LID PER STD. DWG. 2361

CITY RESIDENTIAL
STD. DWG. #
CONSTRUCT
TEMPORARY
SEE SECTION

40+00 41+
BLOCK 18
LOT 30

LOT 31

CL INTERSECTION
STA: 38+08.47 - 3.91' RT
4' DIA. SAS M.H., RIM=48.87
48.87
48.36

Future Sdkw./Curb
& Gutter

TC FL
1 49.67 49.34
2 49.27 49.27
3 50.22 49.55

STA: 38+45.47
OFFSET: 20.00 R
TC=50.49
50.64
STA: 38+21.56
OFFSET: 45' R
FL=49.40 49.82

STA: 39+26.47
OFFSET: 16.00 R
END 20:1 TAPER
TC=52.76 52.82
FL= 52.21

P.T. STA: 37+02.55
OFFSET: 20.00 R TC= 45.80
-BUILD DOUBLE 'C' STORM INLET
PER COA DWG. 2205, T.G.=44.97
REMOVE 24" RCP PLUG, INV.(E)=40.92
-STA. 37+30.50, 20' RT., BUILD DOUBLE C
STORM INLET PER COA DWG. 2201, T.G.=45.84
INV.(W)=41.60, INV.(E)=42.04
-STA. 37+58.50, 20' RT., BUILD TYPE A
STORM INLET PER COA DWG. 2201, T.G.=46.72
INV.(W)= 42.70

PVI STA = 39+00
PVI ELEV = 52.40

PVI STA = 41+
PVI ELEV = 55
A.D. = 1.22
K = 82.25

LOW POINT ELEV = 45.37
LOW POINT STA = 36+70.76
PVI STA = 36+77.47
PVI ELEV = 45.00
A.D. = 5.15
K = 11.64

5560

5550

5540

5530

CL INTERSECTION
STA. 36+44.47, CARMEL AVE.

STA. 37+12, EXIST.
12" CAP, T.P.=42.040.9±

STA. 36+34.6
EXIST. 12" WATER
LINE, PVC, T.P.37.0±

STA. 36+60
6" DIA. SD MANHOLE
INV. 42" PLUG=30.41
INV.(E)=32.10
INV.(SE)=32.60
INV. 28.12

STA. 37+88, TYPE C MANHOLE
INV.(E)=44.0' 43.93.
STA. 38+08, TYPE C MANHOLE
INV.(S)=43.39 43.86
INV.(E)=43.80 43.91
INV.(W)=43.63 43.71

STA. 37+88, TYPE C MANHOLE
INV.(E)=44.0' 43.93.
STA. 38+08, TYPE C MANHOLE
INV.(S)=43.39 43.86
INV.(E)=43.80 43.91
INV.(W)=43.63 43.71

8" SAS, SDR. 35
0-0.0% (16 LF)
-1.4%

(IN. FRONT)
78" RCP STORM DRAIN (BY OTH
AMAFCA/COA PROJ. 6934.81

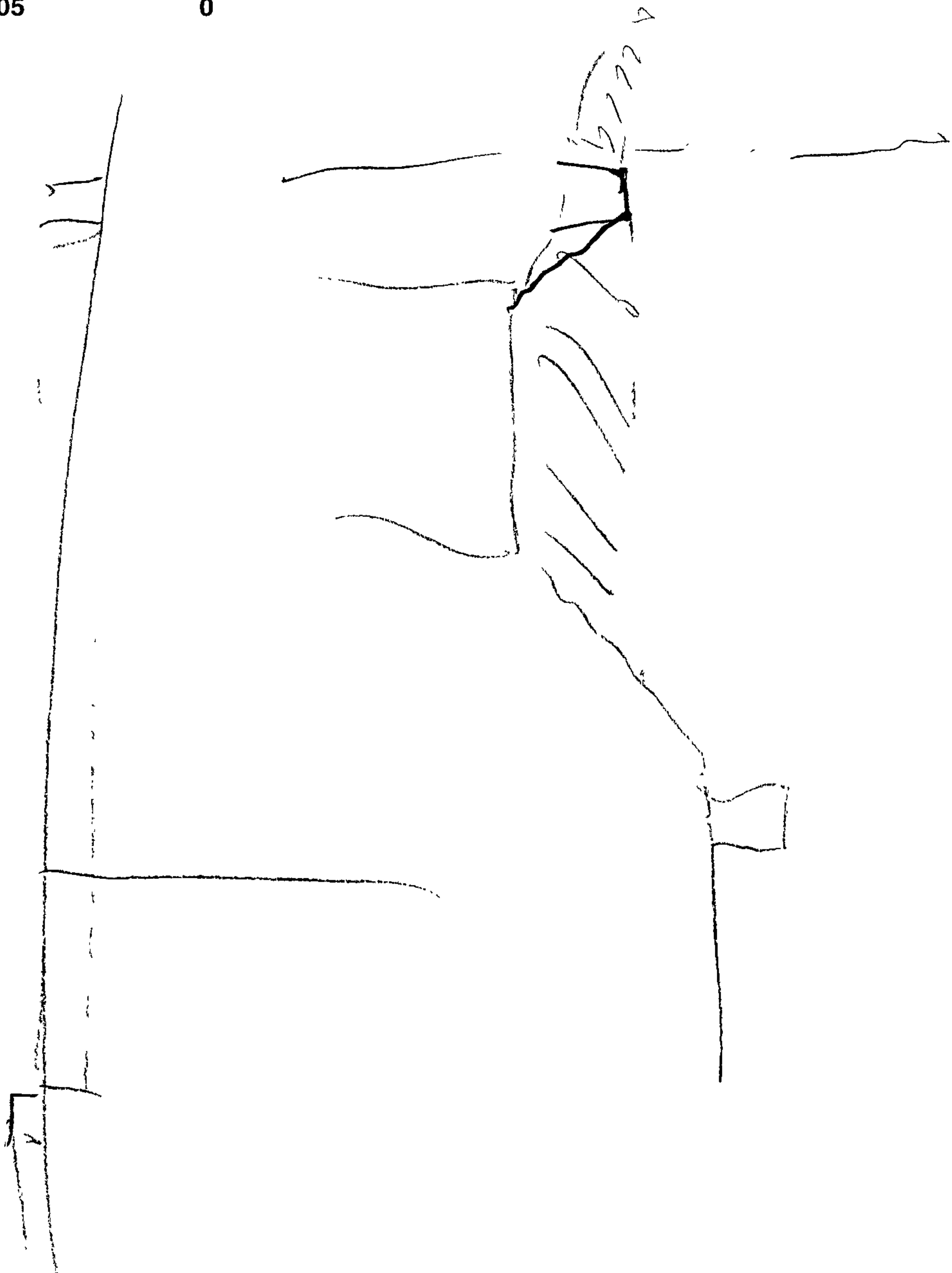
SCANNED BY
MESA REPRO

Type A = $\frac{25 \text{ cfs}}{39.1 \text{ cfs}} @ 4.35''$

Type C = $11.6 \text{ cfs} @ 5''$

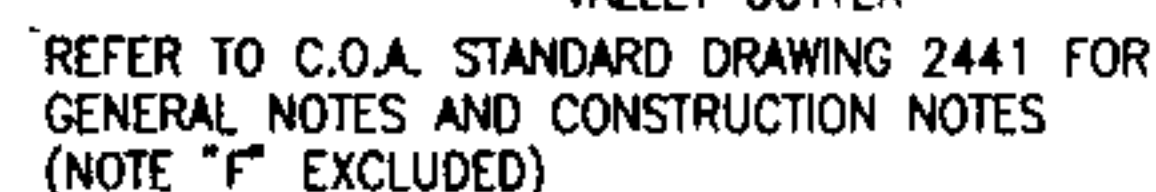
Triple D = $34.9 \text{ cfs} @ 5''$

25.80
2.1
23.60 Cfs
on Carmel



A diagram of a beam with a 2% slope. The beam is supported by a wall on the left and a roller on the right. The total length of the beam is 10'. The distance from the left support to the roller support is 4'. The distance from the roller support to the right end of the beam is 6'.

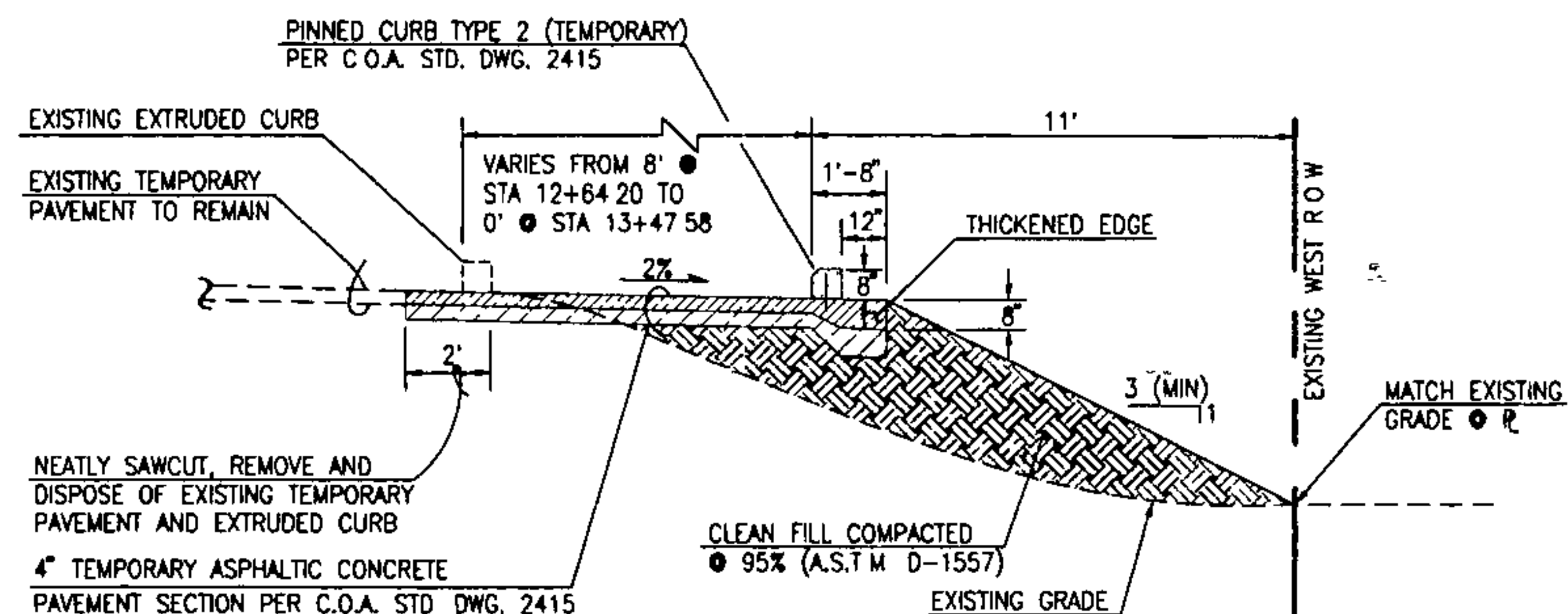
LETTER, BUREAU TO
BOSTON ALCOHOLIC BEVERAGE BOARD
THOMAS J. BRYAN, MAY 3
(FILED 09-10-1931, D-121)



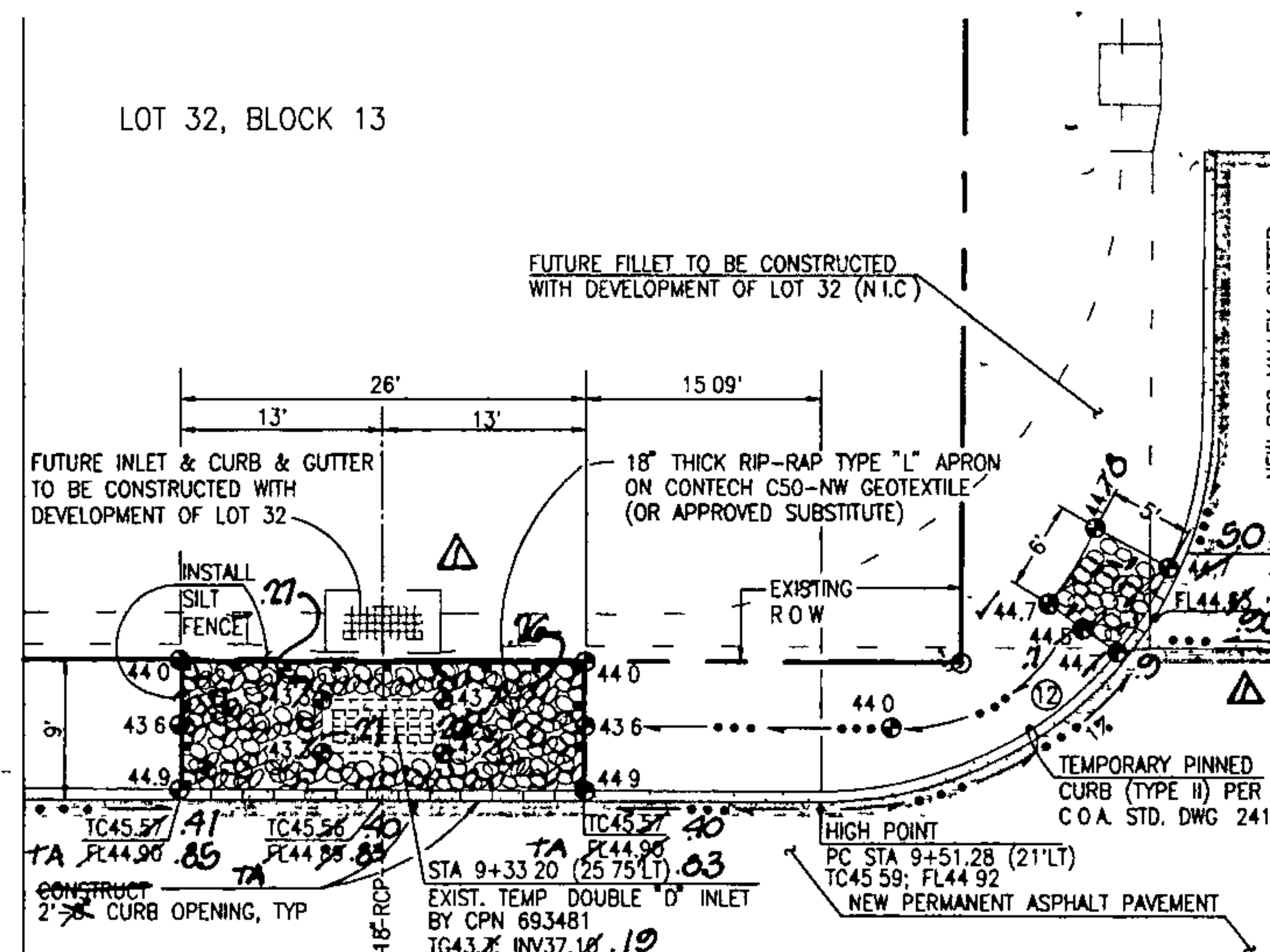
TYPICAL WHEELCHAIR RAMP DETAIL
1"=10' (STANDARD CURB AND GUTTER)

- ALL SUBGRADE MATERIAL SHALL HAVE A MINIMUM R-VALUE OF 50 PER C.O.A. SPECIFICATION SECTION 301. SOIL NOT HAVING THE MINIMUM R-VALUE OF 50 SHALL BE REMOVED TO A DEPTH OF 2 FEET AND REPLACED BY THE CONTRACTOR WITH SUITABLE MATERIAL. OR, A PAVEMENT SECTION SHALL BE DESIGNED BY THE CONSULTANT ACCOMMODATING THE EXISTING R-VALUE PER C.O.A. STANDARD SPECIFICATIONS

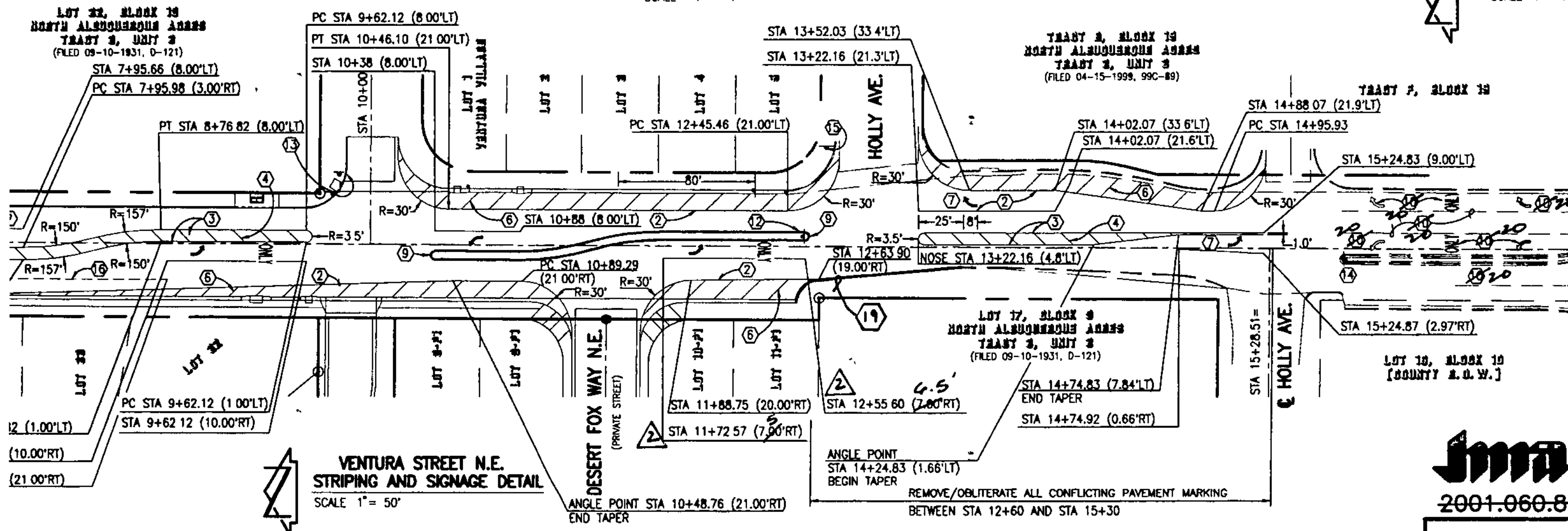
RECORD DRAWING



SECTION D - D
SCALE: 1" = 4'



DETAIL 
SCALE 1" = 10'



IF CURBS PAINTED YELLOW
E MARKINGS
STRIPING TO REMAIN.

NOTES: 1. A STRIPING ERADICATION SHALL BE ACCOMPLISHED BY WATER BLASTING OR SURFACE PLANING OF THE ROADWAY TO A MAX. DEPTH OF $\frac{1}{4}$ INCH (MAX.) AND FOR A WIDTH EQUAL TO 2 TIMES THE WIDTH OF THE STRIPE OR MARKING TO BE REMOVED.

2. REDUCTION IN TURN LANE WIDTH REQUESTED BY IVAN CHAVEZ, STREET MAINTENANCE, PWD
01-16-2004

2 ELEVATIONS ARE IN NGVD 1929



~~2001.060.8~~ 2002.076.6

JEFF MORTENSEN & ASSOCIATES, INC.
☐ 6030-B MIDWAY PARK BLVD. NE
☐ ALBUQUERQUE ☐ NEW MEXICO 87109
☐ ENGINEERS ☐ SURVEYORS (505) 343-4250
☐ FAX: 505 343-4254 ☐ Email: jmort@jwco.co

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: VENTURA STREET N.E.- ROB'S PLACE N.E. TO HOLLY AVE. N.E.
PAVING AND STORM DRAINAGE SECTIONS AND DETAILS

Design Review Committee

City Engineer Approval _____

Cost Design Update

APPROVED
JUN 16 2 09
DESIGN

JUN 15 2001

City Project No.

703981

Zone Map No. C-20

Sheet 7 Of 10

ST. DOUBLE "D" STORM INLET
CPN 693481

CONSTRUCT TEMPORARY PCC
CURB (TYPE II) PER
A. STD. DWG. 2415

CONSTRUCTION OF
TEMPORARY IMPROVEMENTS
THIS AREA

9+33.20 (14'LT)
DIA. SDMH BY CPN 693481

9+33.20 (32.46'RT)
MOVE & DISPOSE OF 18"
RCP BY CPN 693481
CONSTRUCT DBL "C" STORM INLET
C.O.A. STD. DWG. 2205
4.37' INV IN 38.85' INV OUT 38.84'
INSTALL 30.78LF 18" RCP (CLASS III)
STORM DRAIN S=0.0150
S=0.01450'W

9+63.98 (32.46'RT)
CONSTRUCT TYPE "A" STORM INLET
C.O.A. STD. DWG. 2201
4.37' INV 39.31'

SCANNED BY
MESA REPRO

MATCH LINE STA 9+00
FOR CONTINUATION, SEE SHEET 4

T.B.M. #1
ELEV.=5544.89'
#5 REBAR

TC	FL
1 45.39	44.72
2 45.38	44.71
3 45.48	44.81

TA

LOT 32
LA JOLITA VILLAGE
(FILED 06-01-1995, 95C-195)

FUTURE CURB AND GUTTER AND
STORM INLETS TO BE CONSTRUCTED
WITH DEVELOPMENT OF VENTURA VILLAGE

CARMEL AVE. N.E.

LOT 3-PT
DEBART ALONG PLAZA
UNIT 3
(PROPOSED)

PUBLIC STORM DRAIN
IMPROVEMENTS CONSTRUCTED
BY AMAFCA UNDER CPN 693481

CONSTRUCT 30' WIDE DRIVEPAD PER
C.O.A. STD. DWG. 2425 WITH
3' ACCESSIBLE ROUTE PER SECTION E-E

CONSTRUCT 3' RESIDENTIAL
PAVEMENT PER C.O.A. STD.
DWG. 2405 (R VALUE >=50)
BY CPN 699981

LOT 1-PT
VENTURA VILLAGE
(PROPOSED)

LOT 3-PT
(PROPOSED)

LOT 3-PT
(PROPOSED)

LOT 4-PT

24" RCP (CLASS III) STORM
DRAIN BY CPN 693481
CONSTRUCT PCC WHEELCHAIR RAMP
PER TYPICAL DETAIL, SHEET 7
STA 10+21.11 (19.60'LT)
6' SDMH BY CPN 693481

INSTALL 18" RCP (CLASS III) STORM
DRAIN BY CPN 693481

TC	FL
1 45.26	45.09
2 -	45.23
3 45.89	45.22

PTCR STA 10+45.32 (33'LT)
TC45.28; FL45.81

CONSTRUCT 1-SGL "C" STORM
INLET PER C.O.A. STD. DWG. 2205
TG44.83; INV OUT 38.85'
INV IN 39.20'

CONSTRUCT FILLETS & PCC
VALLEY GUTTER PER C.O.A.
STD. DWG. 2420

PT STA 10+38.20 (4'RT)
TC46.31; FL45.81

PT STA 10+38.20 (8'RT)
TC46.07; FL45.57

CONSTRUCT STD. C&G PER
C.O.A. STD. DWG. 2415

PCCR STA 10+94.53 (33'RT)
TC46.00; FL45.33

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430

EXISTING OVERHEAD
UTILITIES TO BE
RELOCATED PRIOR
TO PROJECT BY
UTILITY OWNER
UNDER CONTRACT
WITH DEVELOPER

TC	FL
1 46.17	45.20
2 -	45.85
3 46.37	46.04

LOT 3-PT
(PROPOSED)
PUBLIC ACCESS
EASEMENT

CONSTRUCT 3'
RESIDENTIAL PAVEMENT PER
C.O.A. STD. DWG. 2405
(R VALUE >=50)

STA 10+71 TO STA 10+81
18" RCP ENCASED PER
C.O.A. STD DWG 2140 (4000
PSI CONCRETE)

STA 10+40 (50'LT TO 46'RT)
INSTALL 1-6" PVC SCH 40 GAS CONDUIT (36" COVER)
1-6" PVC SCH 40 ELECT. CONDUIT (54" COVER)
2-4" PVC SCH 40 PHONE AND CABLE CONDUITS (54" COVER)

INSTALL 36.94LF 18" RCP (CLASS III)
STORM DRAIN S=0.0200
BRG: S0014'50"W

REMOVE AND DISPOSE OF
EXISTING TEMPORARY PAVEMENT
AND EXTRUDED CONCRETE CURB

CONSTRUCT 1-SGL "C" STORM
INLET PER C.O.A. STD. DWG. 2205
TG45.07; INV 39.90'

PC STA 10+88.20 (4'RT)
TC46.63; FL46.13
PRC STA 11+29.93 (1.92'LT)
TC46.77; FL46.27

PC STA 10+88.20 (8'RT)
TC46.38; FL45.89

CONSTRUCT MEDIAN CURB AND
GUTTER PER C.O.A. STD. DWG. 2415

FL45.49

REMOVE AND DISPOSE OF
EXISTING 24" x 35"
CMAP (TYP. OF 19)

PT STA 11+72.77 (8'LT)
TC46.92; FL46.42

PRC STA 11+31.04 (1.92'RT)
TC46.78; FL46.28

PT STA 11+72.77 (4'LT)
TC47.16; FL46.66

CONSTRUCT CURB
C.O.A. STD. DWG. 2415
SEE SHEET 8

FL45.74

U/G-TELE

CONSTRUCT CONCRETE
CUTOFF WALL PER
C.O.A. STD. DWG. 2445

CONSTRUCT 40' PRIVATE ENTRANCE
C.O.A. STD. DWG. 2426, WITH MOUNTABLE TO STAIN
TRANSITION PER C.O.A. STD. DWG. 2418

CONSTRUCT 40' PRIVATE ENTRANCE

CONSTRUCT 40' PRIVATE ENTRANCE

CONSTRUCT 40' PRIVATE ENTRANCE

CONSTRUCT 40' PRIVATE ENTRANCE

CONSTRUCT 40' PRIVATE ENTRANCE

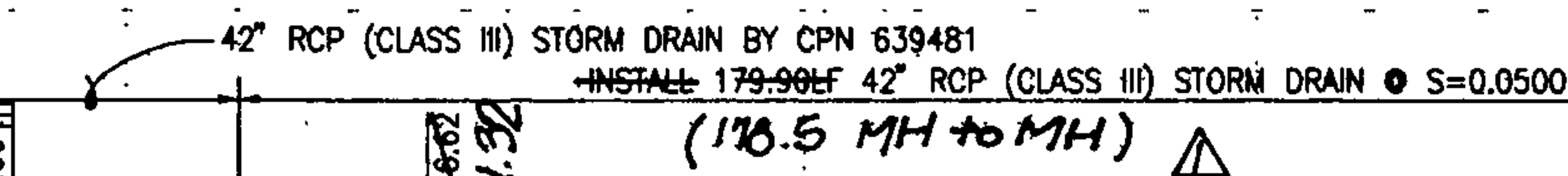
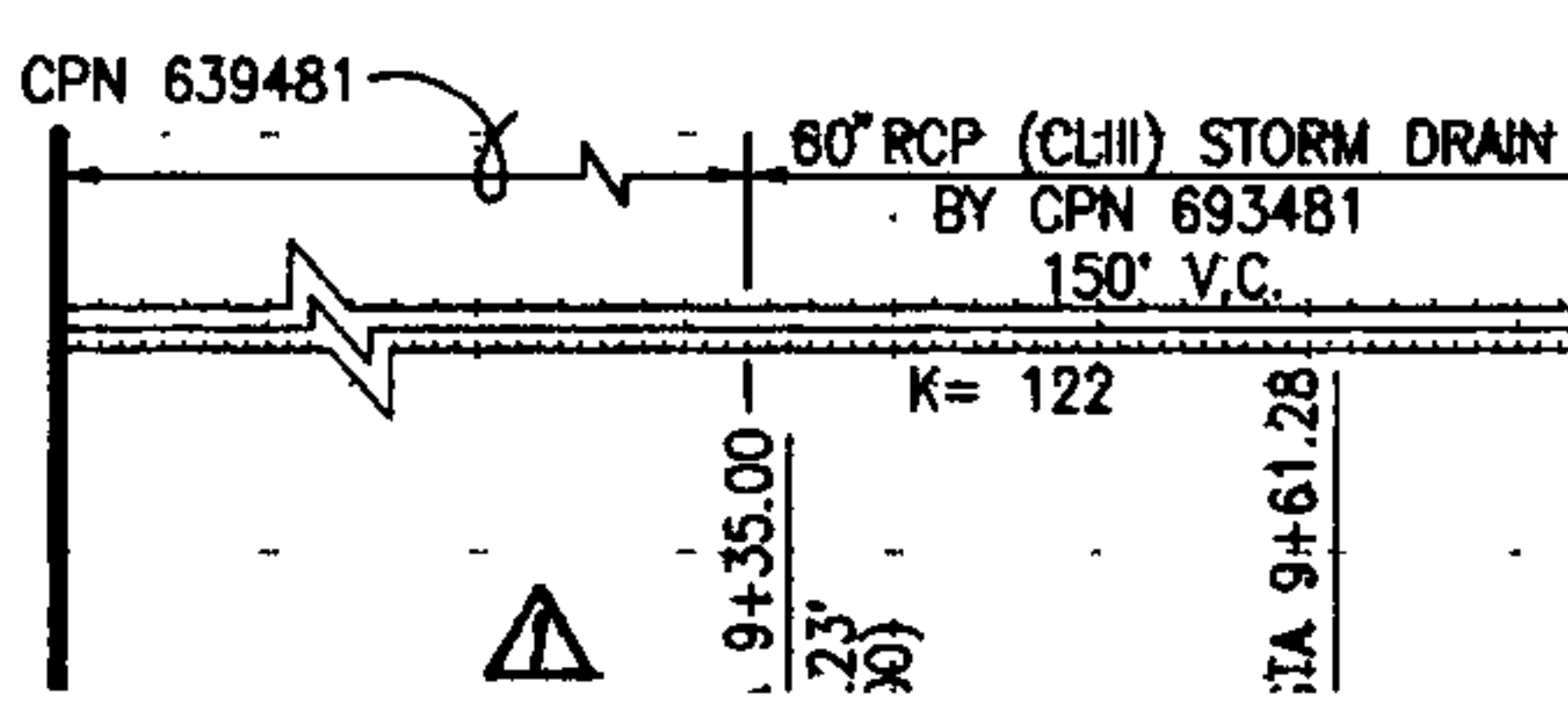
CONSTRUCT 40' PRIVATE ENTRANCE

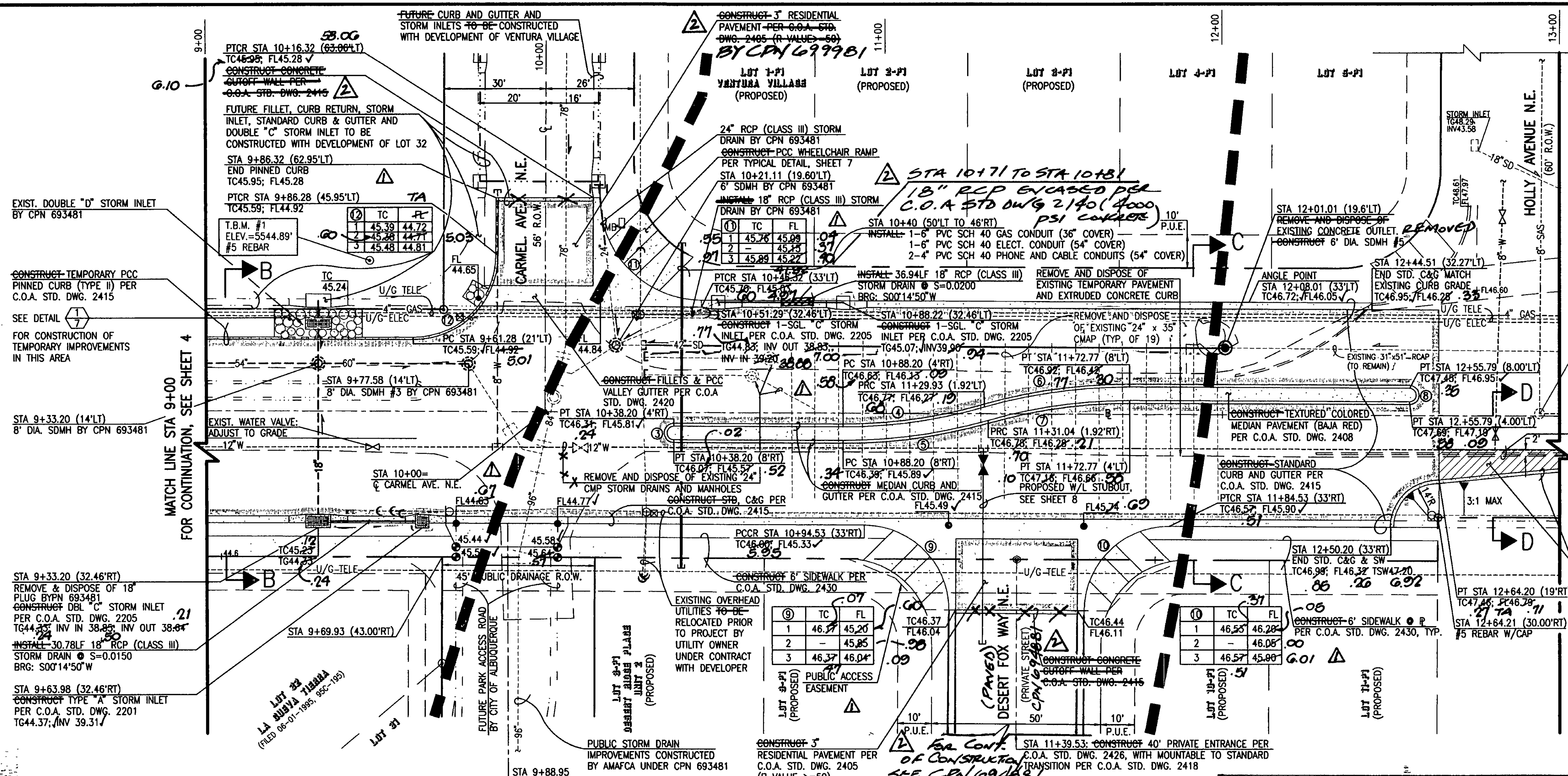
CONSTRUCT 40' PRIVATE ENTRANCE

VENTURA STREET N.E. (MINOR ARTERIAL)

703981

sh. 5





EXIST. DOUBLE "D" STORM INLET
BY CPN 693481

CONSTRUCT TEMPORARY PCC
PINNED CURB (TYPE II) PER
C.O.A. STD. DWG. 2415

SEE DETAIL 1
FOR CONSTRUCTION OF
TEMPORARY IMPROVEMENTS
IN THIS AREA

STA 9+33.20 (14'LT)
8' DIA. SDMH BY CPN 693481

STA 9+33.20 (32.46'RT)
REMOVE & DISPOSE OF 18"
PLUG BYPN 693481
CONSTRUCT DBL "C" STORM INLET
PER C.O.A. STD. DWG. 2205
TC44.33; INV IN 38.85; INV OUT 38.84
INSTALL 30.78LF 18" RCP (CLASS III)
STORM DRAIN S=0.0150
BRG: S00°14'50"W

STA 9+63.98 (32.46'RT)
CONSTRUCT TYPE "A" STORM INLET
PER C.O.A. STD. DWG. 2201
TG44.37; INV 39.31

IN BY
REPRO

54" RCP BY CPN 639481

60" RCP (CLASS III) STORM DRAIN

STA 9+88.95
CONSTRUCT 30' WIDE DRIVEPAD PER
C.O.A. STD. DWG. 2425 WITH
3' ACCESSIBLE ROUTE PER SECTION E-E

EXISTING OVERHEAD
UTILITIES TO BE
RELOCATED PRIOR
TO PROJECT BY
UTILITY OWNER
UNDER CONTRACT
WITH DEVELOPER

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430

⑨	TC	FL
1	46.17	45.20
2	-	45.85
3	46.37	46.04

LOT 3-P1
(PROPOSED)
PUBLIC ACCESS
EASEMENT

CONSTRUCT 3'
RESIDENTIAL PAVEMENT PER
C.O.A. STD. DWG. 2405
(R VALUE >=50)

CONSTRUCT 3' RESIDENTIAL
PAVEMENT PER C.O.A. STD.
DWG. 2405 (R VALUE >=50)
BY CPN 699981

LOT 1-P1
VENTURA VILLAGE
(PROPOSED)

LOT 2-P1
(PROPOSED)

LOT 3-P1
(PROPOSED)

LOT 4-P1

LOT 5-P1

24" RCP (CLASS III) STORM
DRAIN BY CPN 693481

CONSTRUCT PCC WHEELCHAIR RAMP
PER TYPICAL DETAIL, SHEET 7
STA 10+21.11 (19.60'LT)

6" SDMH BY CPN 693481
INSTALL 18" RCP (CLASS III) STORM
DRAIN BY CPN 693481

①	TC	FL
1	45.78	45.09
2	-	45.33
3	45.89	45.22

PTCR STA 10+45.32 (33'LT)
TC45.20; FL45.83

STA 10+51.29 (32.46'LT)
CONSTRUCT 1-SGL "C" STORM
INLET PER C.O.A. STD. DWG. 2205
TC44.83; INV OUT 38.83
INV IN 39.20

CONSTRUCT FILLETS & PCC
VALLEY GUTTER PER C.O.A.
STD. DWG. 2420

PT STA 10+38.20 (4'RT)
TC46.34; FL45.81

PT STA 10+38.20 (8'RT)
TC46.07; FL45.57

REMOVE AND DISPOSE OF EXISTING 24"
CMP STORM DRAINS AND MANHOLES
CONSTRUCT STD. C&G PER
C.O.A. STD. DWG. 2415

PC STA 10+88.20 (8'RT)
TC46.39; FL45.89

CONSTRUCT MEDIAN CURB AND
GUTTER PER C.O.A. STD. DWG. 2415
FL45.49

PCCR STA 10+94.53 (33'RT)
TC46.07; FL45.33

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430

CONSTRUCT 3'
RESIDENTIAL PAVEMENT PER
C.O.A. STD. DWG. 2405
(R VALUE >=50)

STA 10+71 TO STA 10+81
18" RCP ENCASED PER
C.O.A. STD DWG 2140 (4000
PSI CONCRETE)

STA 10+40 (50'LT TO 46'RT)
INSTALL 1-6" PVC SCH 40 GAS CONDUIT (36" COVER)
1-6" PVC SCH 40 ELECT. CONDUIT (54" COVER)
2-4" PVC SCH 40 PHONE AND CABLE CONDUITS (54" COVER)

INSTALL 36.94LF 18" RCP (CLASS III)
STORM DRAIN S=0.0200
BRG: S00°14'50"W

REMOVE AND DISPOSE OF
EXISTING TEMPORARY PAVEMENT
AND EXTRUDED CONCRETE CURB

REMOVE AND DISPOSE OF
EXISTING 24" x 35"
CMAP (TYP. OF 19)

PC STA 10+88.20 (4'RT)
TC46.83; FL46.33

PC STA 10+88.20 (8'RT)
TC46.39; FL45.89

PT STA 11+29.93 (1.92'LT)
TC46.77; FL46.27

PT STA 11+31.04 (1.92'RT)
TC46.78; FL46.28

PT STA 11+72.77 (4'LT)
TC47.18; FL46.66

PT STA 11+72.77 (8'LT)
TC46.92; FL46.42

PT STA 11+84.53 (33'RT)
TC46.57; FL45.90

CONSTRUCT STANDARD
CURB AND GUTTER PER
C.O.A. STD. DWG. 2415

CONSTRUCT TEXTURED COLORED
MEDIAN PAVEMENT (BAJA RED)
PER C.O.A. STD. DWG. 2408

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT CONCRETE
GUTTER WALL PER
C.O.A. STD. DWG. 2415

CONSTRUCT 40' PRIVATE ENTRANCE PER
C.O.A. STD. DWG. 2426, WITH MOUNTABLE TO STANDARD
TRANSITION PER C.O.A. STD. DWG. 2418

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

STA 12+01.01 (19.6'LT)
REMOVE AND DISPOSE OF
EXISTING CONCRETE OUTLET
CONSTRUCT 6" DIA. SDMH #5

ANGLE POINT
STA 12+08.01 (33'LT)
TC46.72; FL46.05

STA 12+44.51 (32.27'LT)
END STD. C&G MATCH
EXISTING CURB GRADE
TC46.95; FL46.28

PT STA 12+55.79 (8.00'LT)
TC47.48; FL46.95

PT STA 12+55.79 (4.00'LT)
TC47.89; FL47.18

PT STA 12+64.20 (19'RT)
TC47.46; FL46.38

PT STA 12+64.21 (30.00'RT)
#5 REBAR W/CAP

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

STA 12+01.01 (19.6'LT)
REMOVE AND DISPOSE OF
EXISTING CONCRETE OUTLET
CONSTRUCT 6" DIA. SDMH #5

ANGLE POINT
STA 12+08.01 (33'LT)
TC46.72; FL46.05

STA 12+44.51 (32.27'LT)
END STD. C&G MATCH
EXISTING CURB GRADE
TC46.95; FL46.28

PT STA 12+55.79 (8.00'LT)
TC47.48; FL46.95

PT STA 12+55.79 (4.00'LT)
TC47.89; FL47.18

PT STA 12+64.20 (19'RT)
TC47.46; FL46.38

PT STA 12+64.21 (30.00'RT)
#5 REBAR W/CAP

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

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C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

CONSTRUCT 6' SIDEWALK PER
C.O.A. STD. DWG. 2430, TYP.

VENTURA STREET N.E. (MINOR ARTERIAL)

RECORD DRAWING

70-981-693781 SH. 5
COA