CITY OF ALBUQUERQUE



October 30, 2014

Mr. Scott McGee, PE 9700 Tanoan Drive NE Albuquerque, NM 87113

Re: Ulta Addition Ventura Place Bldg 3

Grading and Drainage Plan

Scott McGee's Engineer's Stamp 10-22-14 (C20D071)

Dear Mr. McGee,

Based upon the information provided in your submittal received October 27, 2014, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3994.

PO Box 1293

Albuquerque

New Mexico 87103

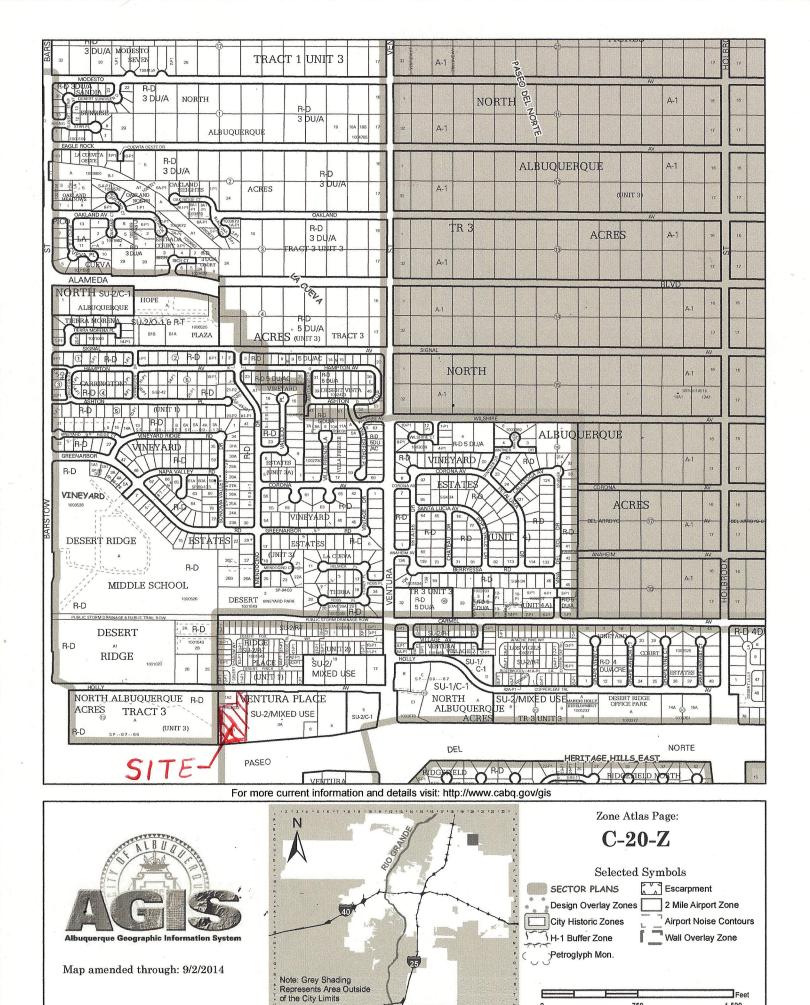
www.cabq.gov

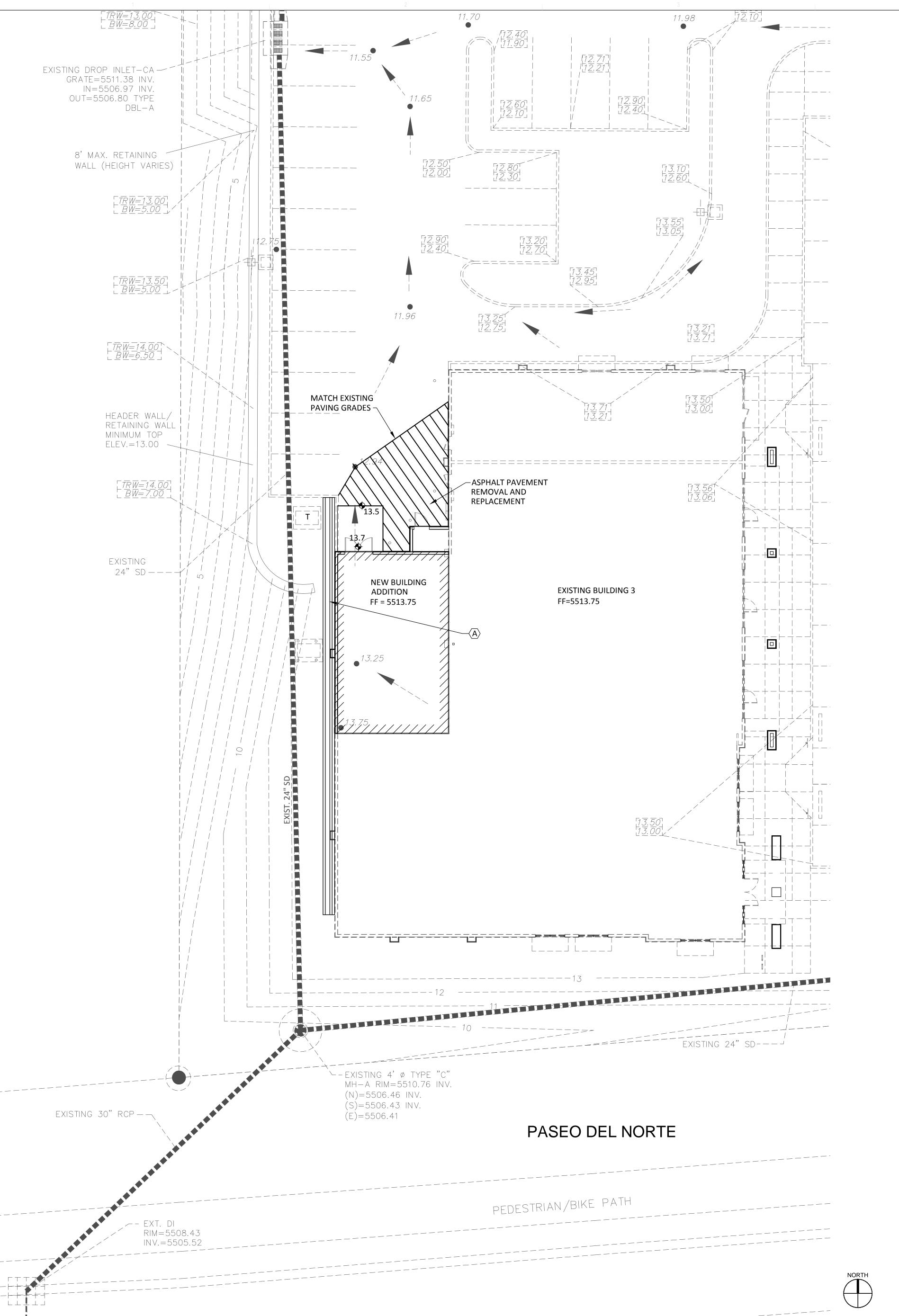
Sincerely,

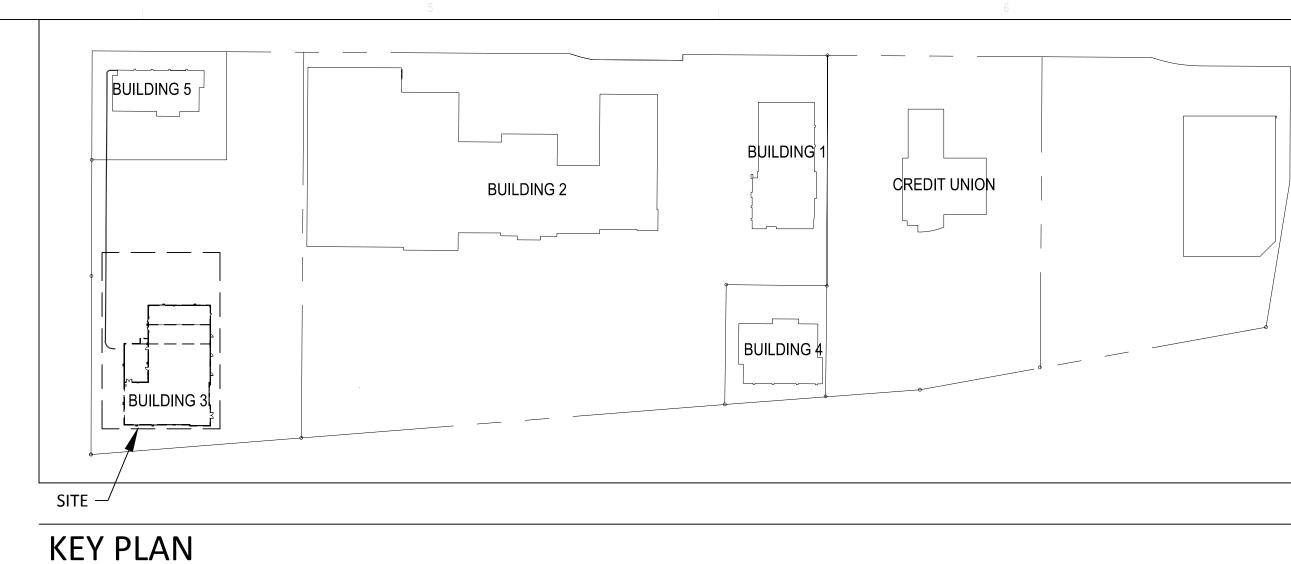
Amy L. D, Niese, PE

Senior Engineer, Hydrology

Planning Department







LEGEND

EXISTING TC
EXISTING FL

EXISTING CONSTRUCTION

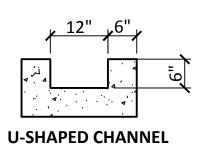
NEW CONTOUR

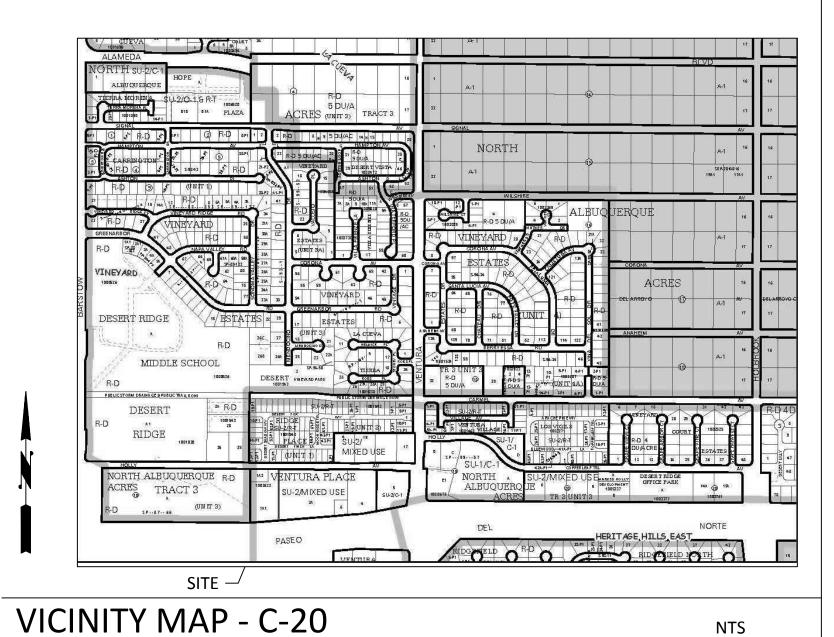
NEW SPOT ELEVATION

FINISH FLOOR ELEV

KEYED NOTES

(A) BUILD 92 LF U-SHAPED CHANNEL. REMOVE EXISTING CURB AS NEEDED TO ALLOW CHANNEL TO DISCHARGE FLOW TO NORTH.





DRAINAGE

LEGAL: Lot 1 A 1, VENTURA PLACE

AREA: 1,000 SF (0.023 acre) Overall site area is 1.75 acres.

TBM: Finish Floor elevation of existing building as shown on plan FF ELEVATION = 5513.75

PRECIPITATION ZONE: 3

FLOOD HAZARD: From FEMA Panel 35001C0141G (dated 9/26/2008), this site is identified as being within Zone 'X' which is located outside the 0.2% annual chance floodplain.

FIRST FLUSH: This site was developed prior to the requirement to address the first flush volume. The runoff is carried on existing paved surfaces and existing storm drain lines to the R/W of Paseo del Norte which is then maintained by the NMDOT.

EXISTING CONDITIONS: The existing site is the western portion of a developed commercial shopping center with multiple buildings and paved parking. It is located on the west side of Ventura Street between Paseo del Norte and Holly Avenue NE. The site slopes down from the east to west at 2-4%. Site drainage is directed via existing drop inlets and storm drain lines to the Paseo del Norte R/W.

PROPOSED IMPROVEMENTS: The proposed 1,000 SF building addition is located over an existing paved service area. Runoff from the new roof area will be discharged north onto existing paving.

DRAINAGE APPROACH: The drainage plan will follow historic drainage patterns. The runoff will not be increased.

Existing land treatment: $100\% \, D$ A=0.023 acres Q= $(0.023)(5.02) = 0.1 \, CFS$ V= $(0.197)(1000) = 197 \, CF$ Proposed land treatment: $100\% \, D$ Q= $(0.023)(5.02) = 0.1 \, CFS$ V= $(0.197)(1000) = 197 \, CF$

No additional runoff volume will be created by this addition. Therefore no adverse impact to downstream drainage facilities will occur.

ARCHITECTURE / DESIGN / INSPIRATION

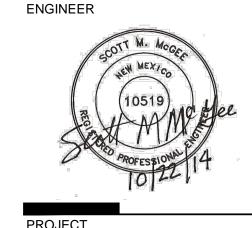
DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ISSUED FOR

ENGINEER



VENTURA PLACE
Building 3
8810 Holly Avenue NE

DRAWN BY

REVIEWED BY

DATE 10/24/2014

PROJECT NO. 14-0068.001

GRADING PLAN BUILDING 3

DRAWING NAME

C-101

