

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 24, 2021

Doug Heller, RA  
Mullen Heller Architecture, PC  
1718 Central Ave SW, Ste D  
Albuquerque, NM 87104

**Re: VCA Vet Care Hospital**  
**8850 Holly Ave NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp 09-14-2021 (C20-D071)

Dear Mr. Heller,

The TCL submittal received 09-22-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

  
Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# CODE DATA AND NOTES FROM EXISTING SITE PLAN (COA APPROVED SDP IN 2006)

## SITE DATA

PROPOSED USAGE: RETAIL/RESTAURANT/BANK  
LOT AREA: 447,657.43 S.F. (10.2768 AC.)  
BUILDING AREA: 97,119 S.F.

## PARKING CALCULATIONS:

PARKING REQUIRED:  
RETAIL/BANK 87,158 GSF / 200 GSF 438 PARKING  
RESTAURANT (JINJA) 8,661 GSF / 200 GSF 69 PARKING  
RESTAURANT (SAXBY'S) 1,300 GSF / 200 GSF 22 PARKING

TOTAL PARKING: 527 SPACES

PARKING REDUCTION:

10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91) 53 SPACES

5% SITE GREATER THAN 5 ACRES 26 SPACES

10% MIXED USES/SHARED PARKING 53 SPACES

TOTAL PARKING REDUCTION: 132 SPACES

TOTAL PARKING REQUIRED: 395 SPACES

TOTAL PARKING PROVIDED: 527 SPACES

HC PARKING REQUIRED: 8 SPACES (2 VAN)

HC PARKING PROVIDED: 24 SPACES (2 VAN)

BICYCLE SPACES REQUIRED: 16 SPACES

BICYCLE SPACES PROVIDED: 20 SPACES

## GENERAL NOTES:

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.

2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAILS).

3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.

4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.

5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.

6. BUILDINGS: BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT. BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.

7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.

8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.

10. MAINTENANCE OF PUBLIC OPEN SPACE AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

## NOTES:

- 6" CONCRETE CURB PER COA STD. DWG. #2415B TYP.
- LANDSCAPING AREA.
- HC ACCESSIBLE SIDEWALK RAMP.
- NEW ASPHALT PAVING AREA.
- 6" WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING
- NEW TURN DOWN SIDEWALK.
- 6" WIDE ASPHALT PEDESTRIAN CROSSING
- NEW 4" SIDEWALK PER COA STD. DWG. #2430.
- EXISTING 6" SIDEWALK.
- EXISTING DRIVEWAY ENTRANCE
- 8" CMU REFUSE ENCLOSURE PER COA STANDARD WASTE DEPARTMENT STANDARDS.
- EXISTING CURB AND GUTTER.
- EXISTING POWER POLE.
- FUTURE CURB AND GUTTER.
- EXISTING UNIDIRECTIONAL WHEELCHAIR RAMP.
- 8' WIDE X 20' DEEP PARKING SPACES
- 9' WIDE X 18' DEEP PARKING SPACES
- HANDICAP SIGN PER COA STANDARDS.
- BICYCLE RACK
- TAM SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8').
- MONUMENT SIGN, REFER TO ELEVATION PLAN.
- TRANSFORMER
- CART RETURN

## KEYED NOTES FOR CURRENT TCL:

- INSTALL TRUNCATED DOME ON EXISTING ADA CURB RAMPS PER COA STANDARD DETAILS (#2446).
- PROPOSED MOTORCYCLE PARKING SPACES, 4' WIDE X 8' LONG, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE. SEE TCL-003.
- EXISTING BICYCLE RACK.
- PROPOSED BICYCLE RACK. REFER TO TCL-002 AND TCL-003.

## CODE DATA: FOR CURRENT TCL

### PROJECT DESCRIPTION:

THE PROJECT SCOPE IS AN INTERIOR RENOVATION OF A FORMER RETAIL STORE INTO A SPECIALTY ANIMAL HOSPITAL. THERE IS NO PROPOSED BUILDING AREA INCREASE.

THE PROJECT PROPOSES A CHANGE OF OCCUPANCY FROM THE EXISTING M (MERCANTILE) TO B (BUSINESS).

THE PROJECT SCOPE INCLUDES LIMITED SITE WORK TO RECONFIGURE AN EXISTING LOADING DOCK AREA ON THE NORTH INTO A FENCED PET WALKING/RELIEF AREA.

ALL OTHER EXISTING SITE FEATURES, PARKING, FIRE ACCESS AISLES, DRIVEWAYS, FIRE HYDRANTS, FIRE LANES, LANDSCAPING, STRIPING, AND TRAFFIC FLOW ELEMENTS ARE TO REMAIN.

NOTE: THE BASE UNDERLAY SITE PLAN IS FROM THE EXISTING COA APPROVED DRAWING SET FOR THE SITE DEVELOPMENT, WHICH WAS NOT GENERATED BY MULLEN HELLER ARCHITECTURE.

### BUILDING ADDRESS:

8850 HOLLY AVE. N.E., ALBUQUERQUE, NM 87122

### UPC:

102006417002830121

### LEGAL DESCRIPTION:

LOT 3-A PLAT OF LOTS 2-A AND 3-A VENTURA PLACE 4.4407 AC

### IDO ZONE DISTRICT:

MX-L

### ZONE ATLAS PAGE:

C-20-2

### BUILDING GROSS AREA:

28,000 SF (BUILDING AREA OF PROJECT SCOPE)

### TOTAL LOT AREA:

10.2768 ACRES (ENTIRE SITE)

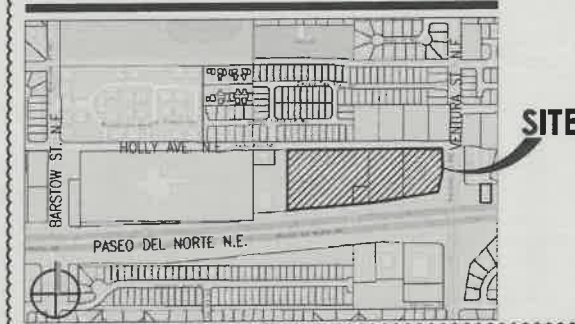
### MOTORCYCLE PARKING:

REQUIRED MOTORCYCLE PARKING PER IDO TABLE 5-5-4:

FOR REQUIRED OFF-STREET VEHICLE PARKING SPACES 51-100 (SEE FOLLOWING PARKING CALCULATIONS), PROVIDE 3 MOTORCYCLE SPACES MINIMUM.

PROVIDED MOTORCYCLE PARKING: 4 SPACES

## VICINITY MAP



### PARKING CALCULATIONS:

EXISTING OCCUPANCY: M (MERCANTILE)

PRE-IDO PARKING CALCULATION (EXISTING PARKING):  
RETAIL: 1 SPACE/200 GSF: 28,000 GSF/200 = 140 SPACES REQUIRED

PARKING REDUCTIONS:

10% WITHIN 300' OF TRANSIT SYSTEM: 14 SPACES

5% SITE GREATER THAN 5 ACRES: 7 SPACES

10% MIXED USES/SHARED PARKING: 14 SPACES

TOTAL REDUCTIONS: 35 SPACES

THUS, TOTAL EXISTING PARKING REQUIREMENT: 105 SPACES

PROPOSED OCCUPANCY: B (BUSINESS: VETERINARY HOSPITAL)

IDO PARKING CALCULATION FOR FOR B (BUSINESS: VETERINARY HOSPITAL):  
2.5 SPACES / 1,000 GSF = 70 SPACES REQUIRED

THUS, EXISTING PARKING PROVIDES ADEQUATE SPACES FOR PROPOSED CHANGE OF OCCUPANCY.

## GENERAL NOTES FOR CURRENT TCL:

- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- ANY ENCROACHMENT OR OVERHANG INTO THE R.O.W. FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- ALL CURBS SURROUNDING LANDSCAPING SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).

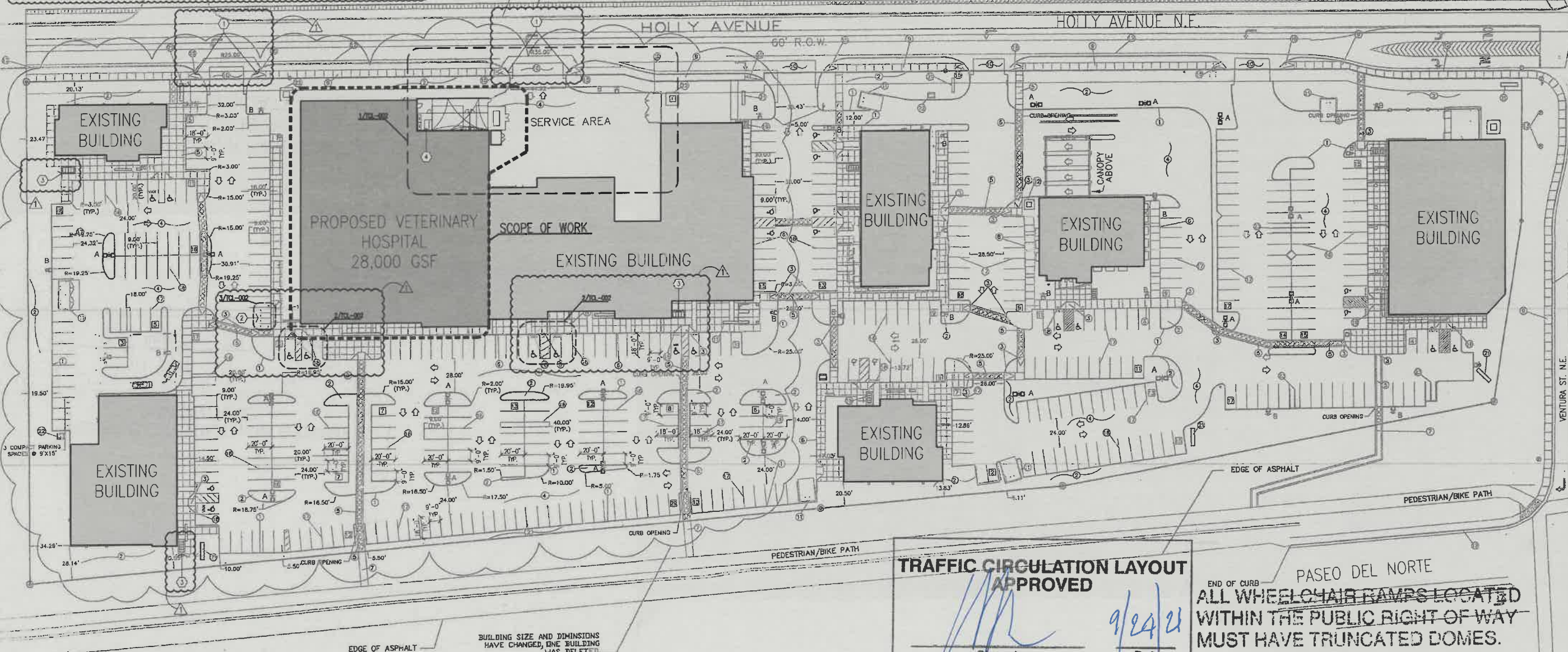
E. ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.

F. ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRC APPROVED PLANS.

G. CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.

H. ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.

I. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.



TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed

Date

END OF CURB  
PASEO DEL NORTE  
ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOME.



Site Plan for Traffic Circulation Layout  
Scale: 1" = 40'

REV	DATE	BY	DESCRIPTION
1	09-20-2021	KBP	COA PLAN REVIEW COMMENTS



MULLEN HELLER ARCHITECTURE  
1716 CENTRAL AVE SW | STE. D  
ALBUQUERQUE, NM 87104  
P | 505.268.4144  
F | 505.268.4244  
www.mullenheller.com

JOB NUMBER 21-06  
DRAWN BY KBP  
PROJECT MGR DH  
DATE 09-20-2021  
PHASE CD

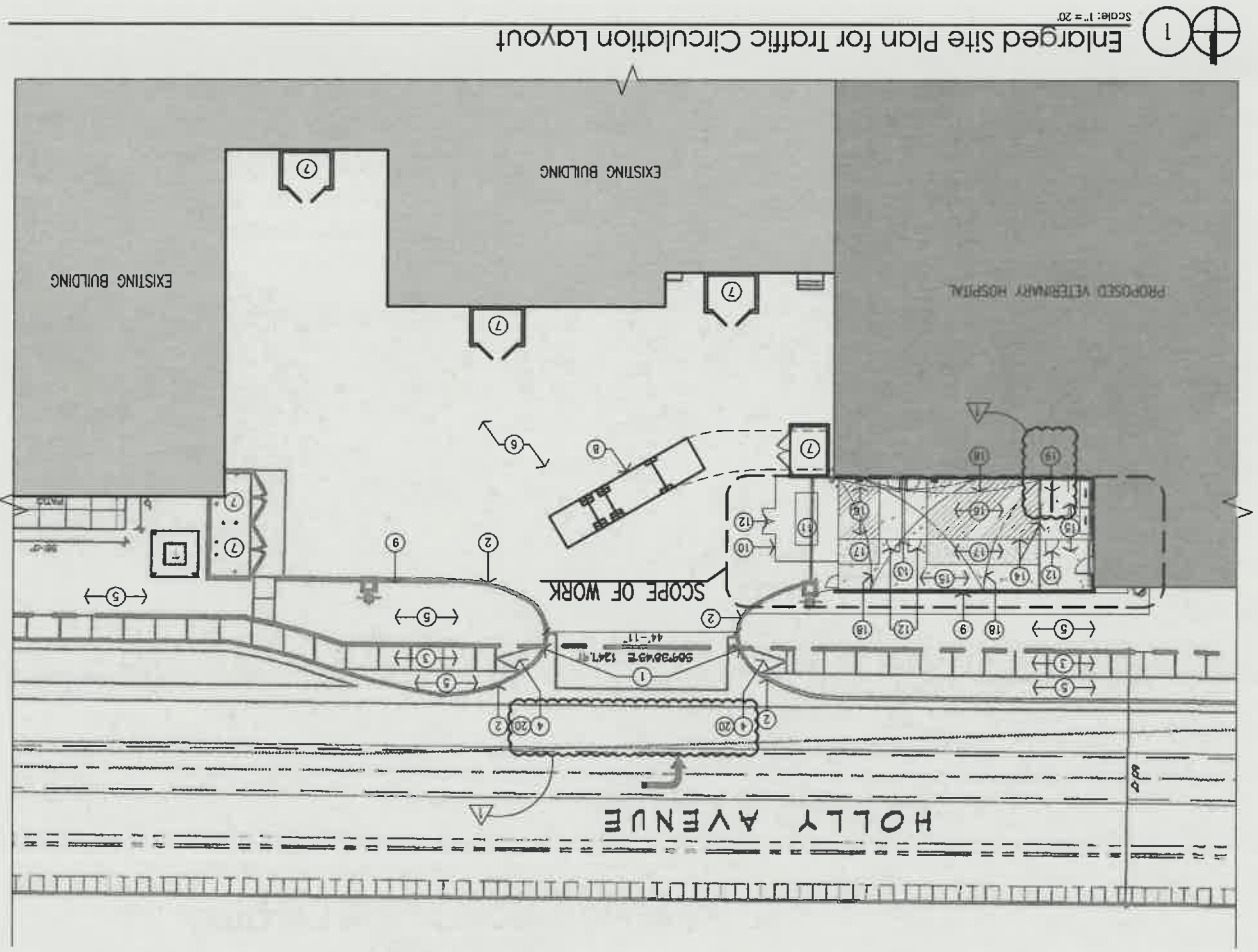
PROJECT VCA VET CARE HOSPITAL  
8850 Holly Ave Northeast  
Albuquerque, NM 87122  
TITLE Traffic Circulation Layout

SHEET  
TCL-001

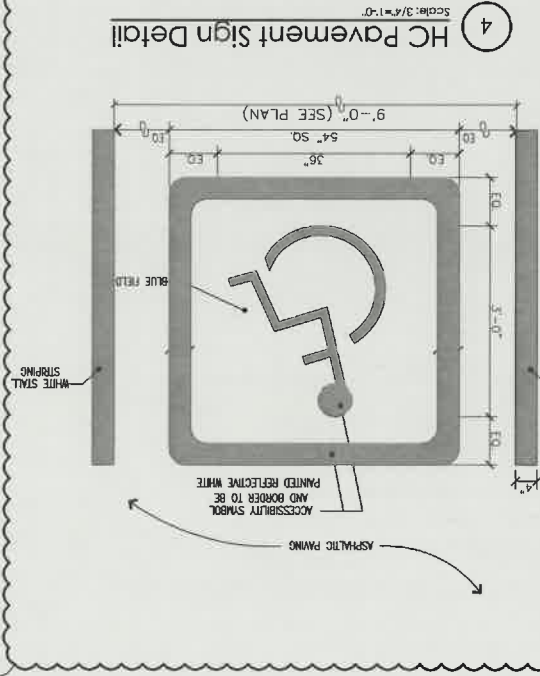
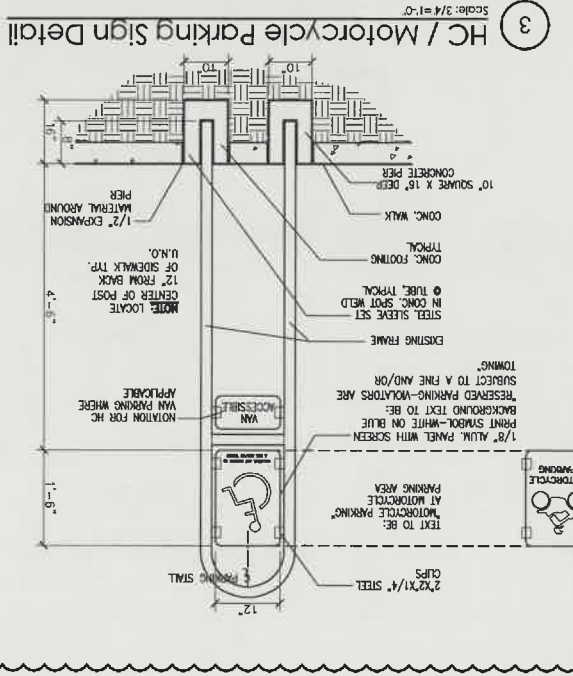
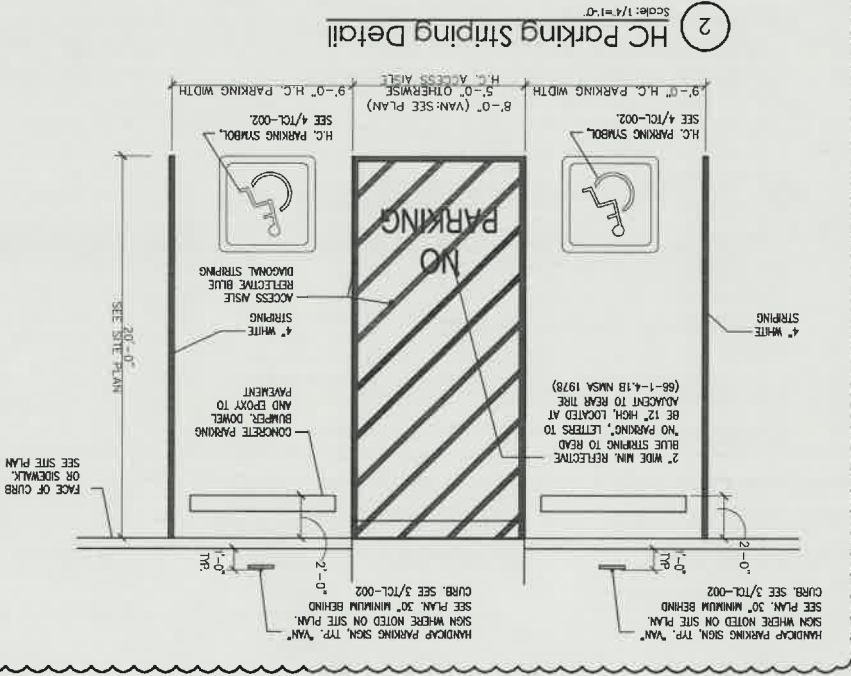


TRAFFIC CIRCULATION LAYOUT  
APPROVED  
Signed  
Date 9/24/24

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

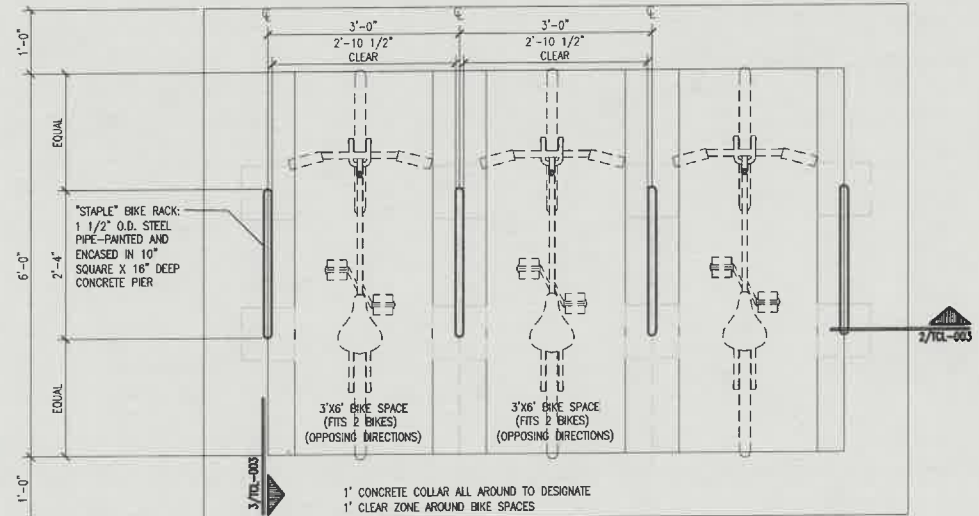


- GENERAL NOTES:
- THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
  - LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLES, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER FAN) WILL NOT BE REMOVED.
  - ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LIMBS, ETC. WILL REQUIRE AN ANNUAL REVIEWABLE EMPLOYMENT PERMIT.
  - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER WITH DRG APPROVED PLANS.
  - ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DRAWS 2430 AND 2415.
  - REPAIRS TO EXISTING SIDEWALKS AND CURBS WILL BE DESIGNED TO ALLOW FOR GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION.
  - MAINTENANCE AND REPAIR PURPOSES.
- KEYED NOTES:
- EXISTING DRIVEWAY TO REMAIN.
  - EXISTING CURB TO REMAIN.
  - EXISTING SIDEWALK TO REMAIN.
  - EXISTING SIDEWALK RAMP TO REMAIN.
  - EXISTING SIDEWALK TO REMAIN.
  - EXISTING SIDEWALK TO REMAIN.
  - EXISTING REFUSE ENCLOSURE TO REMAIN.
  - EXISTING SOLID WASTE TRUCK FOR REFERENCE ONLY.
  - EXISTING CITY STANDARD WASTE TRUCK FOR REFERENCE ONLY.
  - PROPOSED 6'-0" HIGH BLACK CHAIN-LINK FENCE AROUND PROPOSED GENERATOR W/ MESH.
  - PROPOSED ELECTRICAL GENERATOR.
  - PROPOSED GATE.
  - PROPOSED 4'-0" HIGH 6" CMU WALL PAINTED TO MATCH BUILDING.
  - PROPOSED 6'-0" HIGH NO-CURB STYLE BLACK CHAIN-LINK FENCING.
  - PROPOSED CONCRETE PAVED SURFACE.
  - PROPOSED TIER TURF INSTALLED ON 6" DECOMPOSED GRANITE BASE.
  - PROPOSED 6" DEEP DECOMPOSED GRANITE GROUND COVER.
  - PROPOSED OVERHEAD SHADE CANOPY STRUCTURE.
  - NEW 6" WHITE BLACK ROLLED TO CONCRETE, REPAIRS 3 SPACES, SEE TOL-003 FOR DETAILS.
  - INSTALL TRUNCATED DOMES ON EXISTING ADA CURB RAMPS PER COA STANDARD DETAILS (2446).

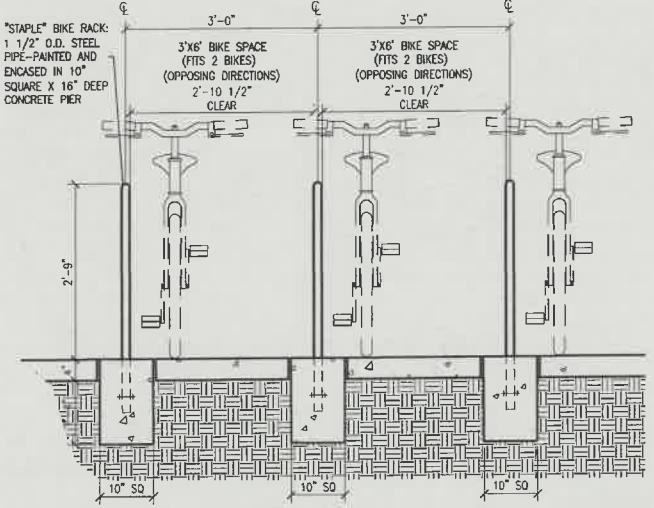


**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

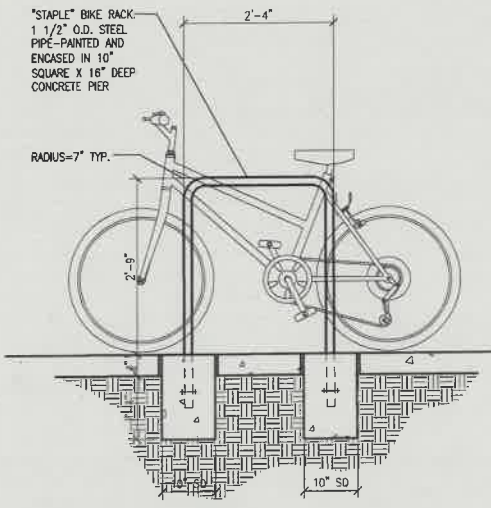
Signed \_\_\_\_\_ Date 9/29/21



**1 Bicycle Rack Partial Plan Detail**  
Scale: 3/4"=1'-0"  
REFER TO PLAN FOR TOTAL QUANTITY



**2 Bicycle Rack Front Detail**  
Scale: 3/4"=1'-0"



**3 Bicycle Rack Side Detail**  
Scale: 3/4"=1'-0"

REV	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			



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PHASE CD

PROJECT  
**VCA VET CARE HOSPITAL**  
8850 Holly Ave Northeast  
Albuquerque, NM 87122

TITLE  
**Traffic Circulation Layout**

SHEET  
**TCL-003**

*220-0071*