

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 27, 2018

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

RE: **Carmel Ridge Subdivision**
9154 Carmel Ave. NE
Engineer's Certification – Not Accepted
Engineer's Stamp Date: 3/1/17
Certification Dated: 6/20/18
Hydrology File: C20D075

Dear Mr. Hensley,

PO Box 1293

Based on the submittal provided on 6/22/18, this Engineer's Certification cannot be approved for SIA Release or Pad Certifications until the following are addressed:

Albuquerque

NM 87103

www.cabq.gov

1. Corrective action must be taken along the eastern edge of this subdivision:
 - a. The excess fill will need to be removed and graded according to the approved plan. The recent grading is inadequate; the footer is still exposed at the end of the hammerhead and there is still excess fill placed against the garden wall.
 - b. Provide complete survey data of both sides of the walls (both the existing garden wall and the new retaining walls) adjoining Visalia Way.
2. A retaining wall or stable slope (see DPM Ch. 22.5.A: *Slope Criteria*) is required between Lot 1 and Carmel Ridge Way. The slope is still erosive and there is still dirt over the sidewalk. If electing to use a new garden wall to stabilize this slope, it will need to be constructed and the post-construction survey will need to demonstrate that there is less than 2' of grade change and the flow line is not along the wall.
3. A retaining wall is required between Lot 3 and Lot 4 and Lot 3 needs to be graded to drain the front, not into Lot 4. If electing to use a new garden wall to serve this purpose, it will need to be constructed and the post-construction survey will need to demonstrate that there is less than 2' of grade change and the flow line is not along the wall.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,



Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



The **H**ENSLEY **E**NGINEERING **G**ROUP

June 21, 2018

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: C20D075 – Carmel Ridge Subdivision Drainage Certification

The as built Grading Plan for the above site is attached. The subdivision is a replat of “LOT 29, BLOCK 3, UNIT 3, TRACT 2, NORTH ALBUQUERQUE ACRES”. The previous comments have been addressed with the following:

- 1) *.Corrective action must be taken along the eastern edge of this subdivision:*
 - a. *The excess fill will need to be removed and graded according to the approved plan.*
 - b. *Provide complete survey data of both sides of the walls (both the existing garden wall and the new retaining walls) adjoining Visalia Way.*

Corrective grading has been completed on Lot 5, and additional as-built information has been included.

- 2) *A retaining wall or stable slope is required between Lot 1 and Carmel Ridge Way.*

The slope is stable, and sediment control has been installed to protect the sidewalk. A wall will be constructed with development of the lot.
- 3) *A retaining wall is required between Lot 3 and Lot 4 and Lot 3 needs to be graded to drain the front, not into Lot 4.*

The condition of Lot 3 draining onto Lot 2 will be corrected with the installation of the property line wall in conjunction with house construction. Given the elevation difference of less than 2 feet, the wall was not noted as a retaining wall on the plan. Given that the wall has not yet been constructed, I have exclude Lots 2 & 3 from the certification.

We are requesting a review for Grading Certification Approval and Release of Financial Guarantee. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Ron E. Hensley". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Ron E. Hensley P.E.

ron@thegroup.cc

VICINITY MAP C-20-Z

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.88 ACRES LOCATED ON THE NORTH SIDE OF CARMEL AVENUE EAST OF VENTURA BLVD. AS SEEN ON THE VICINITY MAP. THE SITE IS CURRENTLY UNDEVELOPED WITH A TYPICAL DEVELOPED ONE ACRE NORTH ALBUQUERQUE ACRES LOT TO THE WEST AND HIGHER DENSITY WALLED COMMUNITIES TO THE EAST AND NORTH. THE PROPOSED DEVELOPMENT WILL BE FIVE (5) SINGLE FAMILY RESIDENTIAL LOTS ON A CUL-DE-SAC.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

EXISTING DRAINAGE

THERE ARE NO OFF SITE FLOWS ENTERING THE SITE. THE SOUTH HALF OF CARMEL AVE. HAS BEEN CONSTRUCTED ADJACENT TO THIS PROPERTY AND A FULL STREET SECTION IS EXISTING EAST OF THE SITE. CARMEL AVE. CONVEYS FLOW TO AN EXISTING DROP INLET LOCATED PRIOR TO THE INTERSECTION OF VENTURA B.VD.

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED WITH A SINGLE STREET INTERCEPTING ALL OF THE SITE RUNOFF. THE RUNOFF WILL FREE DISCHARGE INTO CARMEL AVENUE. CARMEL AVENUE WILL CONVEY FLOW ALONG THE CURB TO A EXISTING INLET IN CARMEL AVE. (COA PROJ. #705284) PER C220D069 DRAINAGE PLAN, THE FLOW TO THE INLET IS CURRENTLY 23.66 CFS. THE 1.03 CFS INCREASE OF FLOW, FOR THE 100-YEAR PEAK RUNOFF, DUE TO THIS DEVELOPMENT IS INSIGNIFICANT AND WILL HAVE MINIMAL IMPACT ON DOWNSTREAM FACILITIES WITH A TOTAL FLOW OF 24.69 CFS.

HYDROLOGIC DATA – EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰ (ac)
		A	B	C	D			
A	0.88	0	80	20	50	3.26	2.87	0.0

HYDROLOGIC DATA - PROPOSED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰ (ac)
		A	B	C	D			
A	0.88	0	10	20	70	4.41	3.90	0.1

LEGAL DESCRIPTION

**CARMEL RIDGE SUBDIVISION
(BEING A REPLAT OF LOT 29, BLOCK 3, UNIT 3, TRACT 2)
WITHIN NORTH ALBUQUERQUE ACRES
IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO**

REQUIRED FIRST FLUSH VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR
MAINTAINING FIRST FLUSH RUNOFF RETENTION ON THE LOT
IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE
EQUAL TO: ROOF AREA * (0.44-0.10)/12 IN CUBIC FEET.

ROOF AREA = 2734 SQ.FT.

REQUIRED VOLUME = $2734 * (0.44 - 0.10) / 12 = 78 \text{ CU.FT}$
VOLUME PROVIDED = 83 CU.FT.

LEGEND

- | | |
|--|--------------------|
| | FLOW ARROW |
| | SLOPE ARROW |
| | PROPOSED ELEVATION |
| | EXISTING ELEVATION |
| | GRADE BREAK |
| | EXISTING CONTOUR |
| | EXISTING CONTOUR |
| | PROPOSED EASEMENT |
| | PROPOSED GRADE |
| | EXISTING WALL |
| | PROPOSED WALL |

DRB No. _____

CITY PROJECT No.

ZONE MAP NO.

SHEET 2 OF 6

DRAINAGE CERTIFICATION

ORANGE CERTIFICATION
 I, RON E. HENSELY, NMP# 21850, OF THE FIRM THE GREGG, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN 14/2/2017, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THE GREGG ON 5/14/2018. THE FIRM FIERRO & COMPANY, EXCLUDING LOTS 2 & 3 AS NOTED BELIEVES THAT THE SURVEY DATA I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/14/2018, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION AND BUILDING PERMIT APPROVAL.

DRAINAGE SWALE FOR LOTS 2 & 3 IS NOT PRESENT. THE DRAINAGE SHALL BE COMPLETED AND CONSTRUCTED COINCIDENT TO THE CONSTRUCTION OF THE PROPERTY LINE WALL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


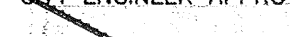

Professional Engineer Seal for Ron E. Hensley, New Mexico, No. 21650, dated 3/1/17.

NO.	DATE	REMARKS	BY
REVISIONS			
DESIGN			
DESIGNED BY	REH	DATE DEC. 2016	
DRAWN BY	REH	DATE DEC. 2016	
CHECKED BY	REH	DATE MAR. 2016	

THE Group

300 Branding Iron Rd. SE
Rio Rancho, New Mexico 87124
Phone: (505) 514-0995

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP <u>CARMEL RIDGE SUBDIVISION</u> BEING A REPLAT OF LOT 29, BLOCK 3, UNIT 3, TRACT 2, NAA GRADING & DRAINAGE PLAN
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DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE		Mo./DAY/YR.	Mo./DAY/YR.
							
CITY PROJECT No. 705285		ZONE MAP No. C-20-N		SHEET 3 OF 6			