

# CITY OF ALBUQUERQUE



March 23, 2017

Richard J. Berry, Mayor

Ron Hensley, P.E.  
The Group.  
300 Branding Iron Rd. SE,  
Rio Rancho, NM, 87124

**RE:** Carmel Ridge Subdivision  
Grading and Drainage Plan  
Engineer's Stamp Date 3-15-2017 (File: C20D075)

Dear Mr. Hensley:

Based upon the information provided in your submittal received 3-15-2017, the above referenced Grading and Drainage Plan is approved for Grading Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3999.

New Mexico 87103

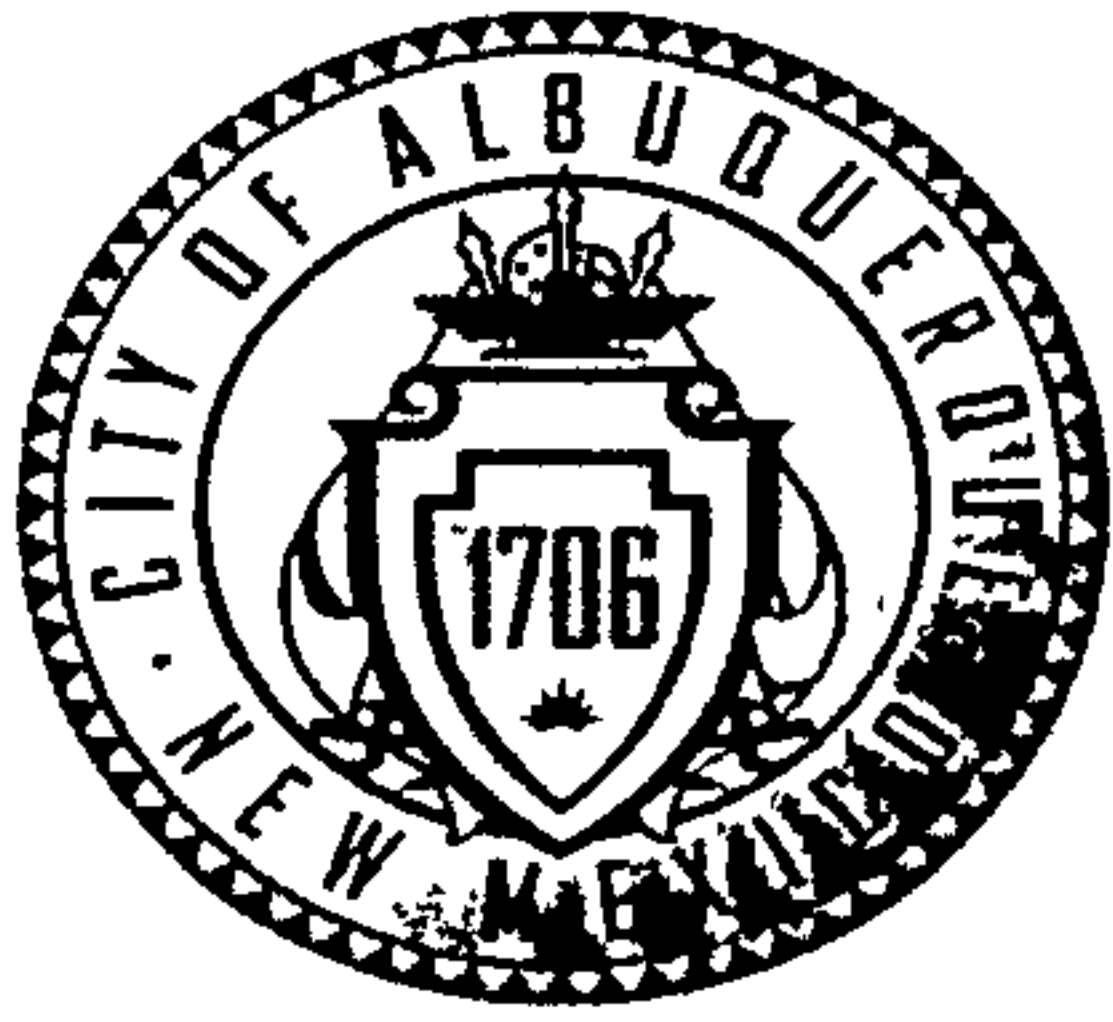
Sincerely,

[www.cabq.gov](http://www.cabq.gov)

for

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

MA/SB



# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Carmel Ridge Subdivision Building Permit #: \_\_\_\_\_ City Drainage #: C20D075

DRB#: 1011127 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 29, BLOCK 3, UNIT 3, TRACT 2, NORTH ALBUQUERQUE ACRES

City Address: 9154 Carmel Ave. NE

Engineering Firm: THE Group Contact: Ron Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 Fax#: \_\_\_\_\_ E-mail: ron@thegroup.cc

Owner: Nazish LLC Contact: Shakeel Rizvi

Address: 8504 Waterford Pl. N.E., Albuquerque, NM, 87122

Phone#: 505-315-6563 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Terrametrics Contact: Pjil Turner

Address: 4175 Montgomery Blvd., NE, Albuquerque, NM 87105

Phone#: 505-379-4301 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 3/15/2017 By: Ron Hensley

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**The HENSLEY ENGINEERING GROUP**

March 15, 2017

Hydrology Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: C20D075 Carmel Ridge Subdivision – Grading Plan

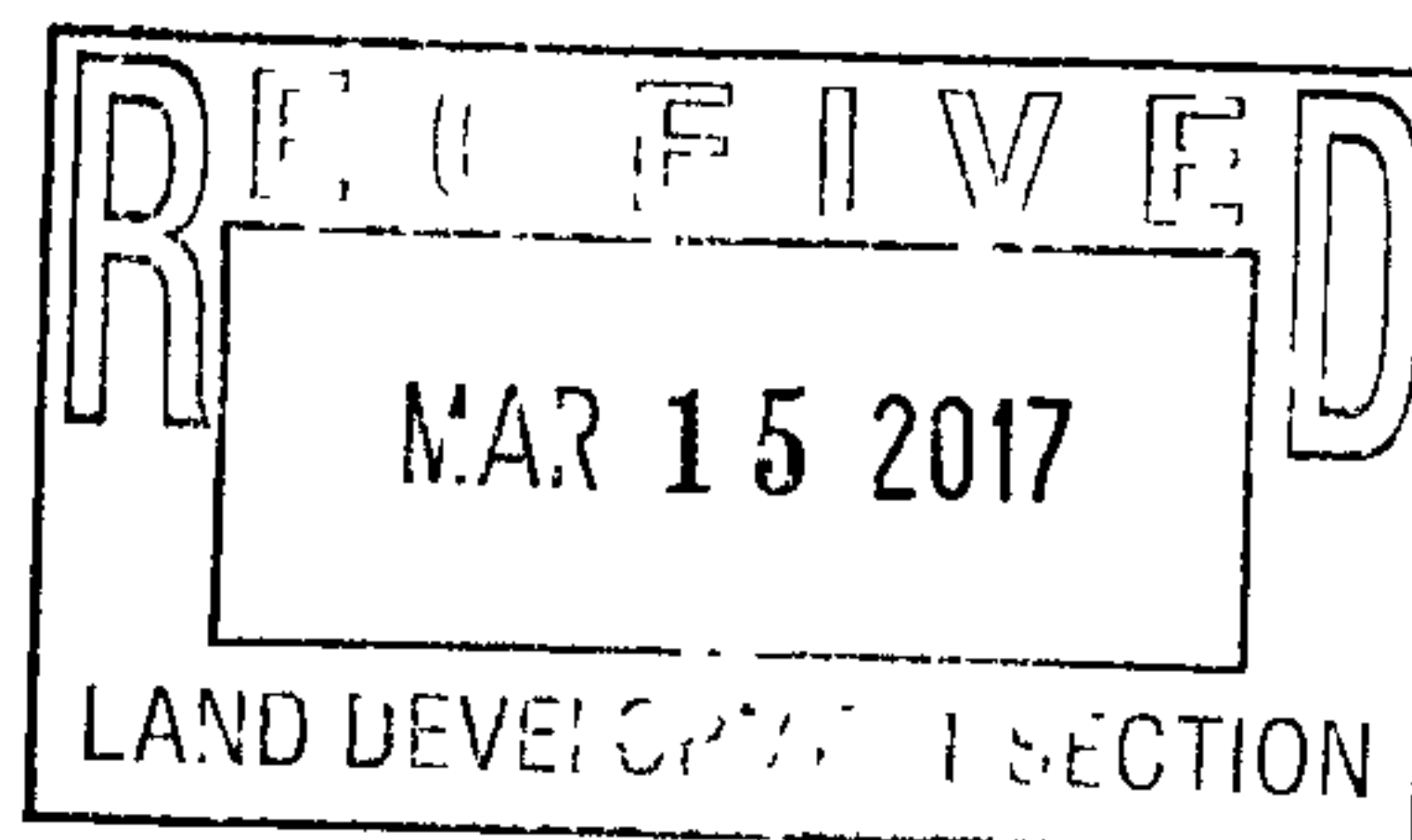
We are requesting a review of the attached plan in support of the Grading Permit of Carmel Ridge Subdivision. The subdivision is a replat of “Lot 29 Block 3 Unit 3 Tract 2 of North Albuquerque Acres” and is located at 9154 Carmel Ave. east of Ventura. The previous comments have been addressed with the following:

1. The grade of Lot 3 has been changed to closer match existing elevations, and the retaining wall has been extended.
2. Finished grade elevation is indicated
3. The elevations have been verified from flowline of mountable curb to back of sidewalk.

We are requesting a review for compliance with City requirements. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)







# City of Albuquerque

## Planning Department

### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Carmel Ridge Subdivision Building Permit #: \_\_\_\_\_ City Drainage #: C20D075

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot 29, BLOCK 3, UNIT 3, TRACT 2, NORTH ALBUQUERQUE ACRES

City Address: 9154 Carmel Ave. NE

Engineering Firm: THE Group Contact: Ron Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 Fax#: \_\_\_\_\_ E-mail: ron@thegroup.cc

Owner: Nazish LLC Contact: Shakeel Rizvi

Address: 8504 Waterford Pl. N.E., Albuquerque, NM, 87122

Phone#: 505-315-6563 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Terrametrics Contact: Pjil Turner

Address: 4175 Montgomery Blvd., NE, Albuquerque, NM 87105

Phone#: 505-379-4301 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

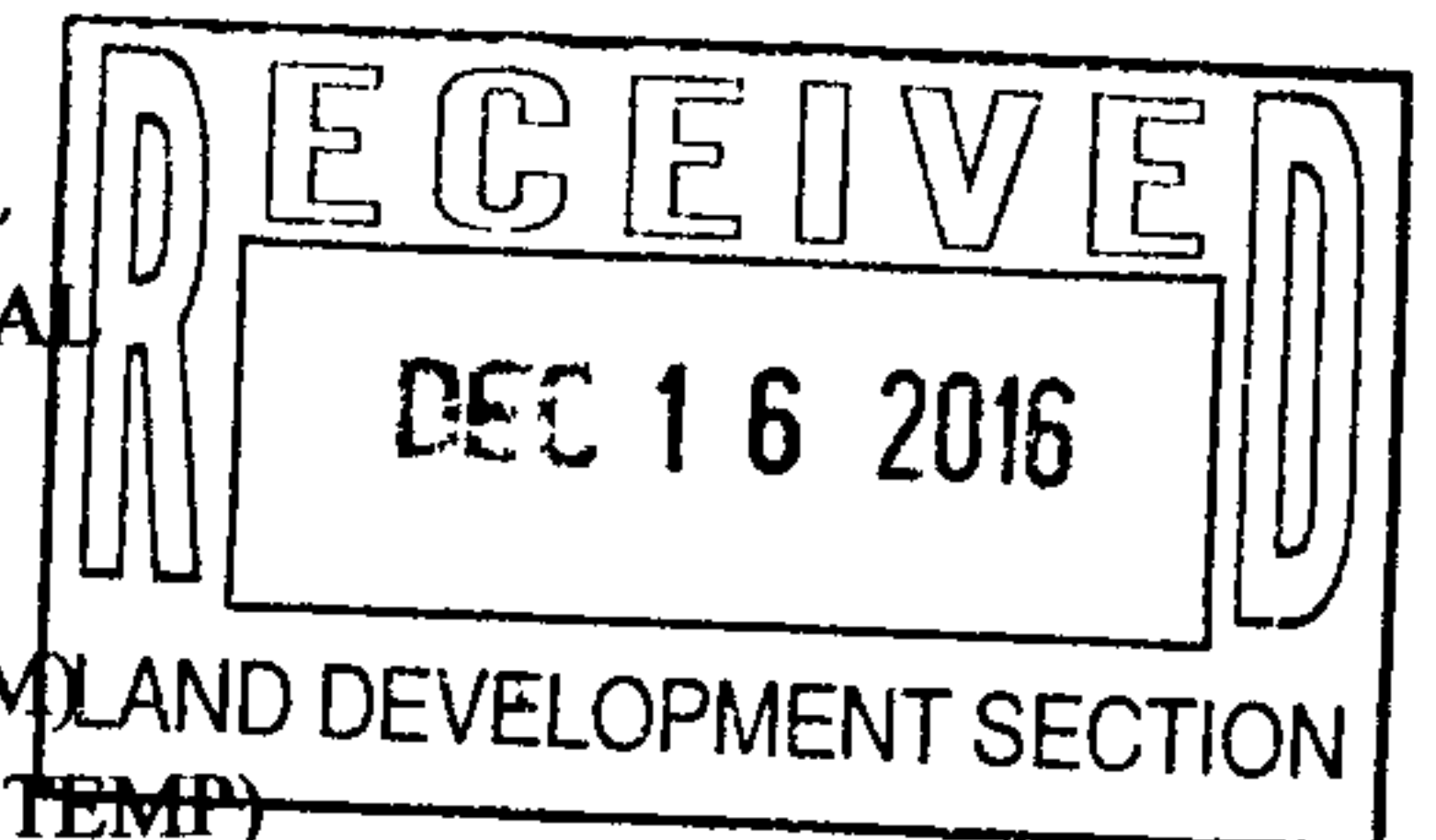
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \$100.00

#### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM) LAND DEVELOPMENT SECTION  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT: ACCEPTANCE  
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 12/15/2016 By: Ron Hensley

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**The HENSLEY ENGINEERING GROUP**

December 15, 2016

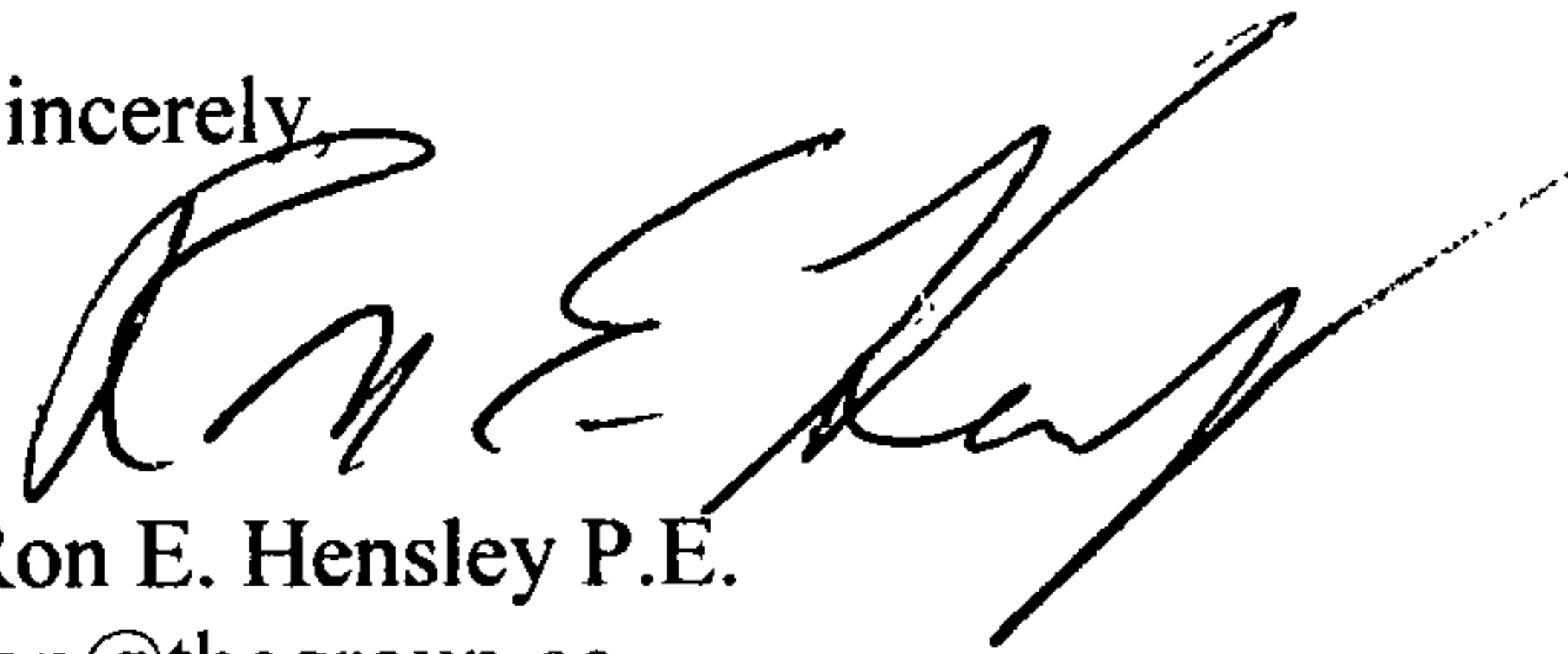
Hydrology Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Carmel Ridge Subdivision – Grading Plan

We are requesting a review of the attached plan in support of the Preliminary Plat and Grading Permit of Carmel Ridge Subdivision. The subdivision is a replat of “Lot 29 Block 3 Unit 3 Tract 2 of North Albuquerque Acres” and is located at 9154 Carmel Ave. east of Ventura. The plan covers ~~the~~ impact of the development on existing drainage infrastructure. We are requesting a review for compliance with City requirements.

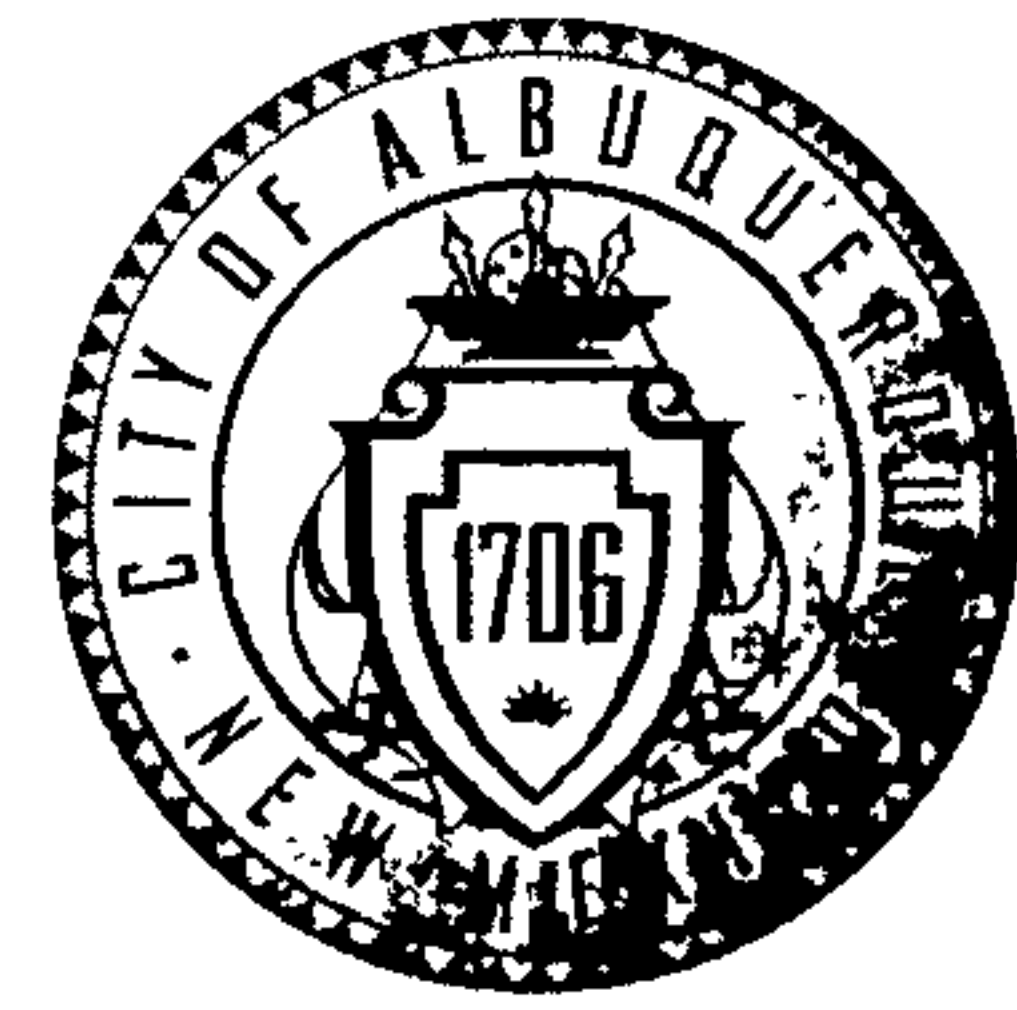
Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,



Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)

# CITY OF ALBUQUERQUE



January 12, 2017

Richard J. Berry, Mayor

Ron Hensley, P.E.  
The Group.  
300 Branding Iron Rd. SE,  
Rio Rancho, NM, 87124

**RE:** Carmel Ridge Subdivision  
Grading and Drainage Plan  
Engineer's Stamp Date 12-16-2016 (File: C20D075)

Dear Mr. Hensley:

Based upon the information provided in your submittal received 12-16-2016, the above referenced Grading Plan is approved for Preliminary Plat action by the DRB.

When submitting for Grading approval please address the following comments:

PO Box 1293

Albuquerque

New Mexico 87103

- ✓1. Provide a retaining wall on the north of lot 3 and lot 4, where difference between existing and proposed grades is 2 feet or greater.
- ✓2. Provide FG grades in the south east area of lot 4. There are TW grades, but no BW/FG grades
- ✓3. Please check the grade elevation between the flow line and back of side walk, as it seems to not meet the city standard; curb height plus 2% from top of curb to back of sidewalk.

If you have any questions, you can contact me at 924-3999.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

MA/SB