

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

April 24, 2019

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

RE: **Amaran Senior Living**
9100 Holly Ave NE
Grading and Drainage Plan
Engineer's Stamp Date: 4/15/19
Hydrology File: C20D079

Dear Mr. Means,

Based on the submittal received on 4/19/19, this project is approved for Building Permit.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. The public work order will need to be closed out and accepted by the City, unless a financial guarantee has been posted.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



TREASURY DIVISION DAILY DEPOSIT

Transmittals for:
PROJECTS Only

City of Albuquerque Treasury

J-24 Deposit

Date: 4/19/2019 Office: ANNEX
Station ID Cashier: E41709
Batch: 10251 Trans: 21
Fund: 305 Activity ID7547210
Account: 461615 Project ID24_MS4
Dept ID: Bus.Unit: PCDMD

Alloc Amt: \$17,680.00

Trans Amt: \$17,680.00

Check Tendered : \$17,680.00

Payment In-Lieu for Storm Water Quality
Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 17680.00	461615	305	PCDMD	24_MS4	7547210	\$ 17680.00
TOTAL AMOUNT						TOTAL DEPOSIT	\$17,680.00

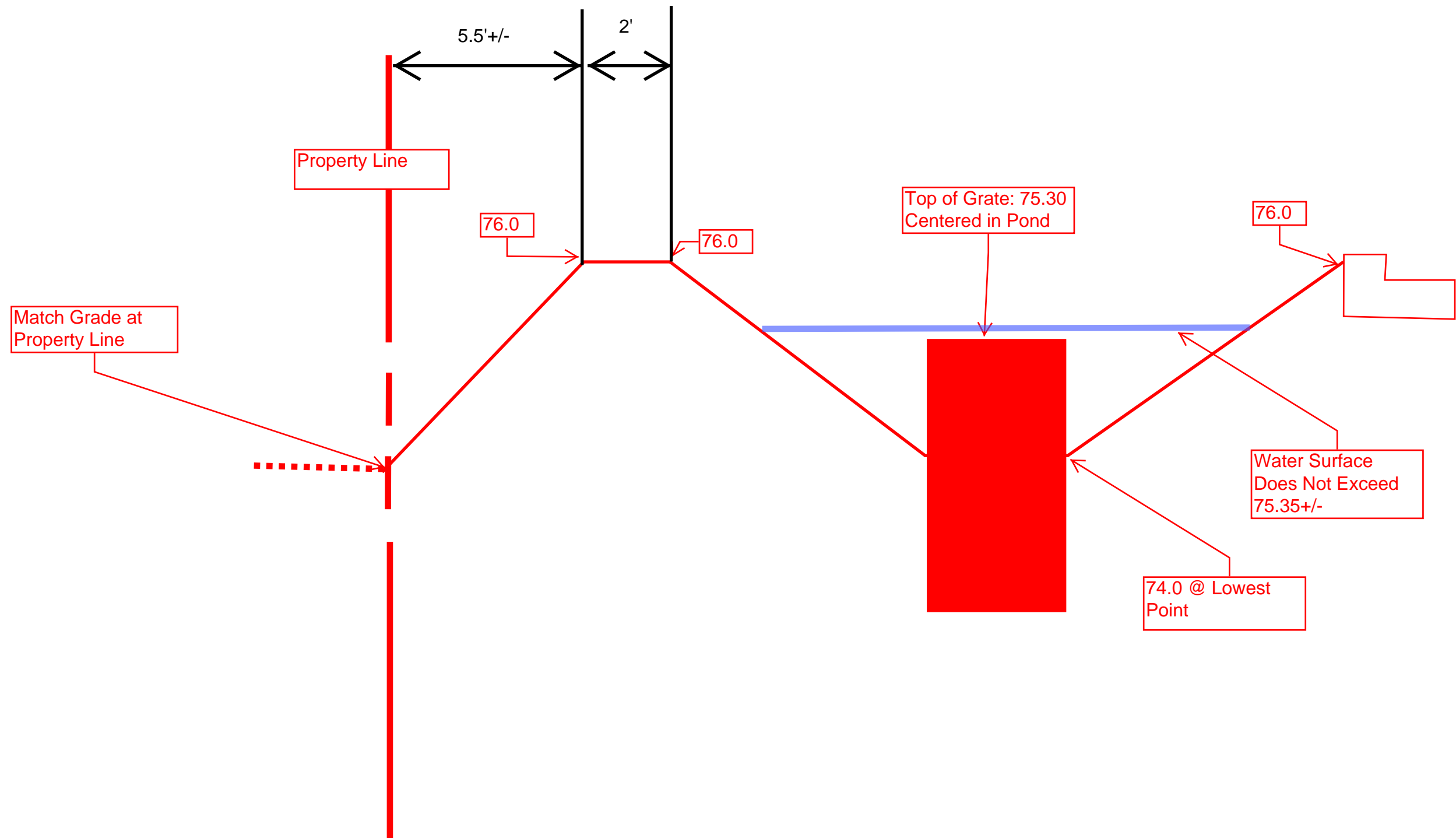
Hydrology#: C20D079 Name: Amaran Senior Living, 78,000sf imp.
Payment In-Lieu For Storm Water Quality
Volume RequirementAddress/Legal Description: 9100 Holly Ave NE
Tr A, Holly Avenue Senior Living

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Dana Peterson PHONE 924-3695

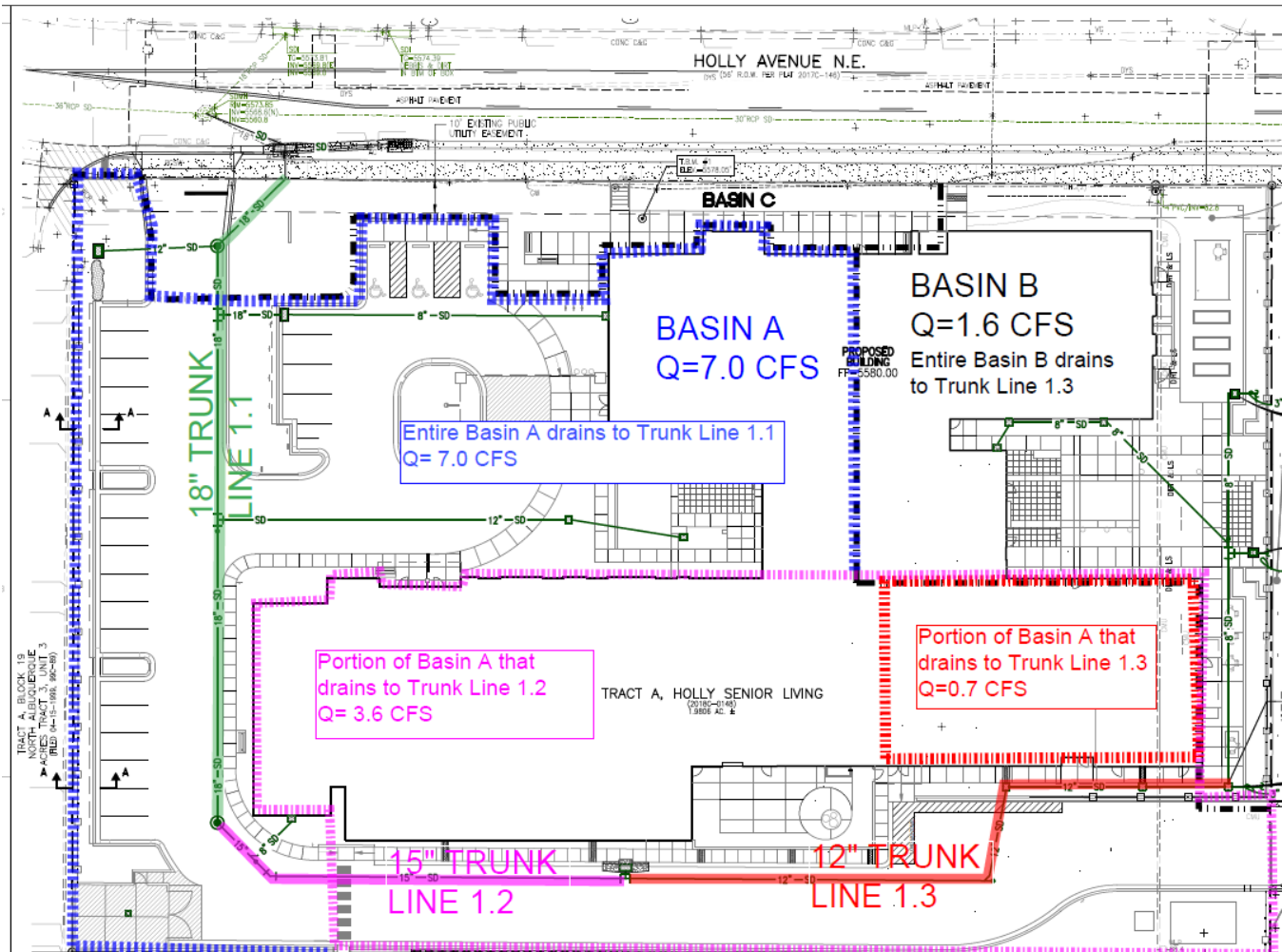
BUSINESS DATE 4/12/19

DUAL VERIFICATION OF DEPOSIT 
EMPLOYEE SIGNATUREAND BY
EMPLOYEE SIGNATUREREMITTER: Mark 3S, Inc.
AMOUNT: \$17,680.00
BANK: First Savings Bank
CHECK #: 3013 DATE ON CHECK: 4/19/19The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring two copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.



Engineers, Surveyors & Subsurface Utility Consultants

Amaran Senior Living (Hydrology File C20/D079)



Private Storm Drain Trunk Line Capacities

- A. 18" Trunk Line 1.1
 S min = 0.008
 Q_{CAP} = 9.4 CFS
 Combined Q₁₀₀ from Basin A + B = 8.6 CFS
 Q_{CAP} > Q₁₀₀
 HGL contained within pipe.

Principals: Charles G. Cala, Jr., P.S. • Juan M. Cala • Joseph M. Solomon, Jr., P.S. • J. Graeme Means, P.E. • Joseph E. Gonzales
In Memoriam: Jeffrey G. Mortensen, P.E.

B. 15" Trunk Line 1.2

$$S_{\min} = 0.01$$

$$Q_{\text{CAP}} = 6.5 \text{ CFS}$$

$$\text{Combined } Q_{100} \text{ from Basin B + Portion of Basin A (See Magenta Above)} = 5.2 \text{ CFS}$$

$$Q_{\text{CAP}} > Q_{100}$$

HGL contained within pipe

C. 12" Trunk Line 1.3

$$S_{\min} = 0.011$$

$$Q_{\text{CAP}} = 3.7 \text{ CFS}$$

$$\text{Combined } Q_{100} \text{ from Basin B + Portion of Basin A (See Red Above)} = 2.3 \text{ CFS}$$

$$Q_{\text{CAP}} > Q_{100}$$

HGL contained within pipe


Signature

04/18/2019

Date



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



2/15/2019 4/15/2019
PROJECT

AMARAN SENIOR LIVING
9100 HOLLY AVENUE NE
ALBUQUERQUE, NM 87122

**PERMIT
SET**

REVISIONS
△ COA HYDROLOGY COMMENTS
△
△
△
△

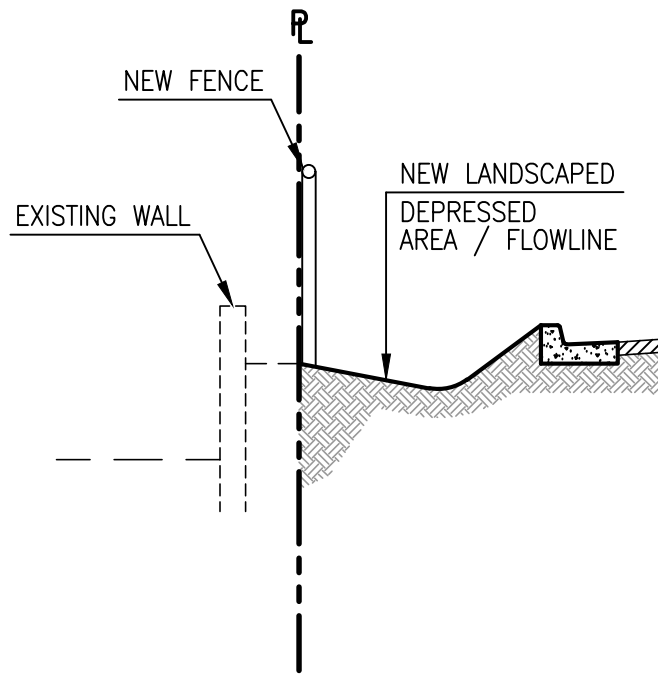
DRAWN BY J.Y.R.
REVIEWED BY G.M.
DATE 02.15.2019
PROJECT NO. 18-0038
DRAWING NAME

**GRADING AND
DRAINAGE PLAN**

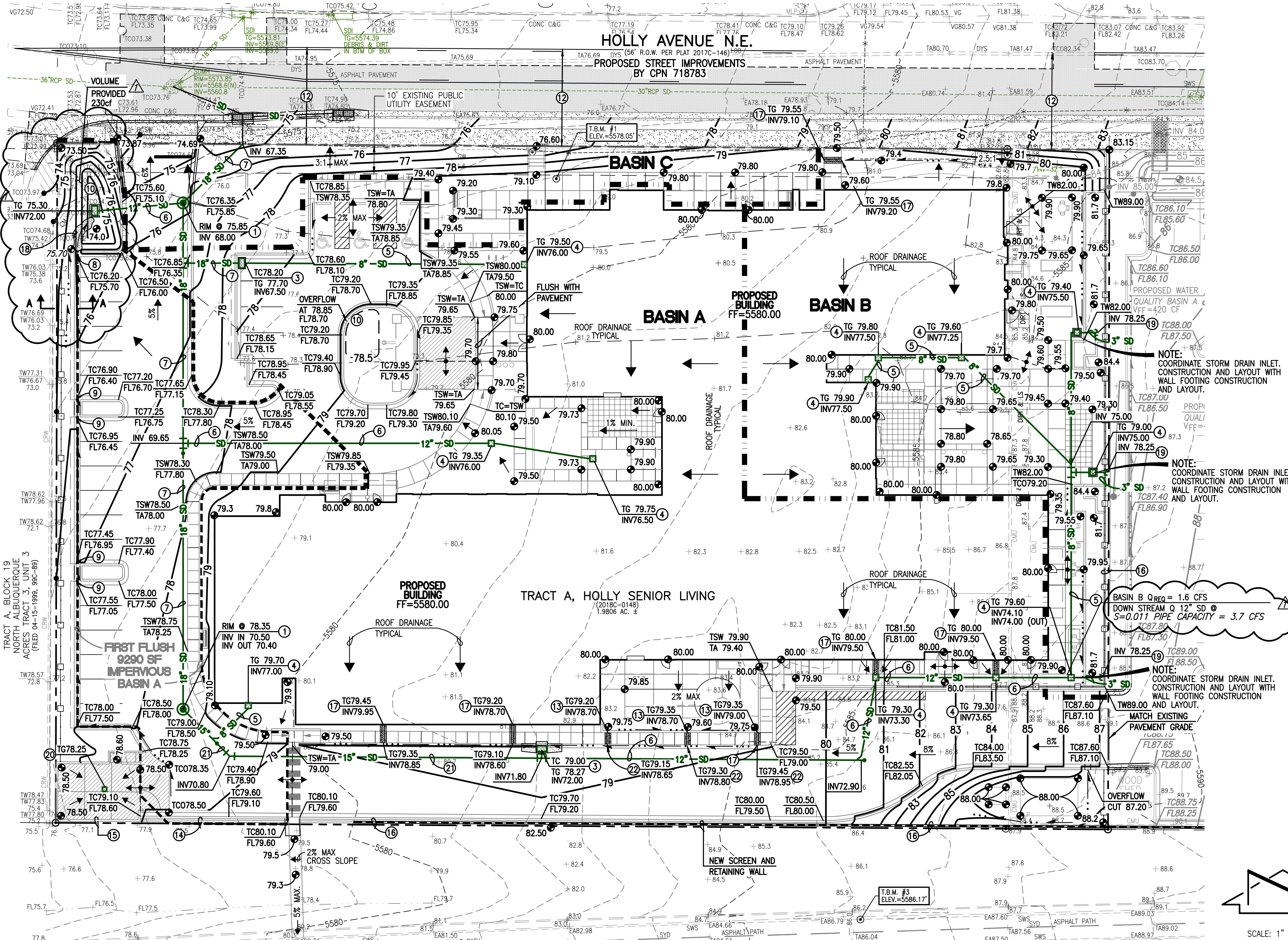
SHEET NO.

CG101
OF

FIRST FLUSH POND GRATE CAPACITY:
HEC-22, EQUATION 4-27; $Q = CA(2GD)^{0.5}$
 $C = 0.67$, $G = 32.2$, $D = \text{DEPTH (FT)}$, $A = \text{CLEAR OPENING AREA}$
CITY GRATE AREA = 3.72 SF (CLEAR)
ASSUME 50% CLOGGED; NET AREA = 1.86 SF;
USE 1.86
 $D_{MAX} = T.O.P. = 76.00 - TG 75.30 = 0.7\text{ FT}$
 $Q_{CAP} = 8.36 \text{ CFS}$
BASIN A = 9,290 SF
 $Q_{REQ} = Q_{AA} + Q_{AB} + Q_{AC} + Q_{AD}$
 $Q_{REQ} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.00) + (5.02 \times 2.1) = 1.1 \text{ cfs}$
 $D_{REQ} = \left(\frac{Q}{C}\right)^2 = 0.012 \text{ FT FOR } 1.1 \text{ cfs}$
 $Q_{CAP} > Q_{REQ}$
 $D_{MAX} > D_{REQ}$



SECTION A-A
SCALE: 1" = 5'



CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 811, FOR DESIGNATION (LINE-SPOTTING) OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. UTILITY INFORMATION SHOWN HEREON IS BASED UPON ONSITE SURFACE EVIDENCE, REVIEW OF AVAILABLE ABCUWA AND CITY OF ALBUQUERQUE RECORD DRAWINGS AND DISTRIBUTION MAPS AND UTILITY LINE-SPOTS PROVIDED BY HIGH MESA CONSULTING GROUP (2016.059.1 AND 2016.059.2). IN ADDITION, UTILITY LINE-SPOTS WERE REQUESTED VIA THE NEW MEXICO ONE CALL SERVICE (TICKET NOS. 16DE200007 AND 17AP210205). UTILITY LINES THAT APPEAR ON THESE DRAWINGS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.
7. THE GRADES INDICATED ON THIS PLAN ARE FINISHED GRADES UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING SUBGRADE AT ELEVATIONS THAT SHALL ACCOMMODATE PROPOSED IMPROVEMENTS AS INDICATED ON THE PLANS INCLUDING, BUT NOT LIMITED TO, SURFACE DRAINAGE STRUCTURES, PAVING AND LANDSCAPING SURFACING.
8. CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR EARTHWORK REQUIREMENTS, AS APPLICABLE.

KEYED NOTES:

1. CONSTRUCT 4" DIA. STORM DRAIN MANHOLE
2. CONSTRUCT SINGLE 'D' STORM DRAIN INLET
3. CONSTRUCT SINGLE TYPE 'C' STORM DRAIN INLET
4. CONSTRUCT 24"x24" STORM DRAIN INLET
5. INSTALL 8" HDPE STORM DRAIN
6. INSTALL 12" HDPE STORM DRAIN
7. INSTALL 18" HDPE STORM DRAIN
8. NEW 2'-0" CURB CUT PER STANDARD SECTION, CP501
9. CONSTRUCT 16" WIDE CONCRETE RUNDOWN
10. DEPRESSED LANDSCAPING FOR WATER QUALITY
11. NEW REFUSE DRAIN. SEE CONCEPTUAL UTILITY PLAN
12. HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY WORK ORDER
13. NEW 4" WALL OPENING. ALIGN OPENING WITH SIDEWALK CULVERT
14. NEW SCREEN WALL
15. NEW REFUSE WALL
16. NEW RETAINING WALL
17. INSTALL SIDEWALK CULVERT. INVERT TO MATCH ROOF DRAIN DOWN SPOUT OR WALL OPENING
18. NEW COBBLES FOR SLOPE PROTECTION
19. EXTEND 3" STORM DRAIN LINE FROM HYDRODUCT COIL SYSTEM TO INLET
20. INSTALL 12" HEAVY DUTY DRAIN, SEE SHEET CU101 FOR CONTINUATION
21. INSTALL 15" HDPE STORM DRAIN
22. INSTALL NEW SIDEWALK CULVERT WITH DECORATIVE GRATED LID. ALIGN WITH WALL OPENING.

NOTE:

THIS IS NOT A BOUNDARY SURVEY OR RIGHT-OF-WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT-OF-WAY LINES OR PROPERTY LINES AS SHOWN ARE DERIVED FROM THE PLAT OF RECORD (2018C-0148, #2018103144, RECORDED 11-29-2018) PREPARED BY HIGH MESA CONSULTING GROUP, NMPS 11184, DATED 11/06/2018 (2016.059.5) AND IS NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1).

2018.027.1

**HIGH
MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.hghmesacg.com