

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

February 8, 2019

J. Graeme Means, P.E.
High Mesa Consulting Group
6010 B Midway Park Blvd NE
Albuquerque, NM 87109

RE: **Holly Senior Living**
9100 Holly Ave NE
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 1/29/19
Hydrology File: C20D079

Dear Mr. Means,

PO Box 1293

Based on the submittal received on 2/4/19, this project is reapproved for Site Plan Building Permit.

Albuquerque

Prior to Building Permit (For Information):

NM 87103

www.cabq.gov

1. Remove all "Conceptual" markings.
2. Hydraulic Calculations are required per DPM 22.3 documenting pipe capacity, overland flowpath capacities, pond routing and water surface elevations for the first flush and the 100-year volumes.
3. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
4. Payment of the Fee in Lieu (Amount = TBD) for the required stormwater quality volume must be made; provide updated calculations using 0.34"/12, not 0.44"/12 as the basis for determining this volume. Because the initial application for this project was made prior to enacting the current drainage ordinance (Council Bill C/S O-18-2) Fee-in-Lieu of managing the stormwater quality volume may be accepted for this project as presented. Applications made after 10/2/18 are required to comply § 14-5-2-6 (H) of the new ordinance.

Prior to Certificate of Occupancy (For Information):

5. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

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6. The public work order will need to be closed out and accepted by the City, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,



Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

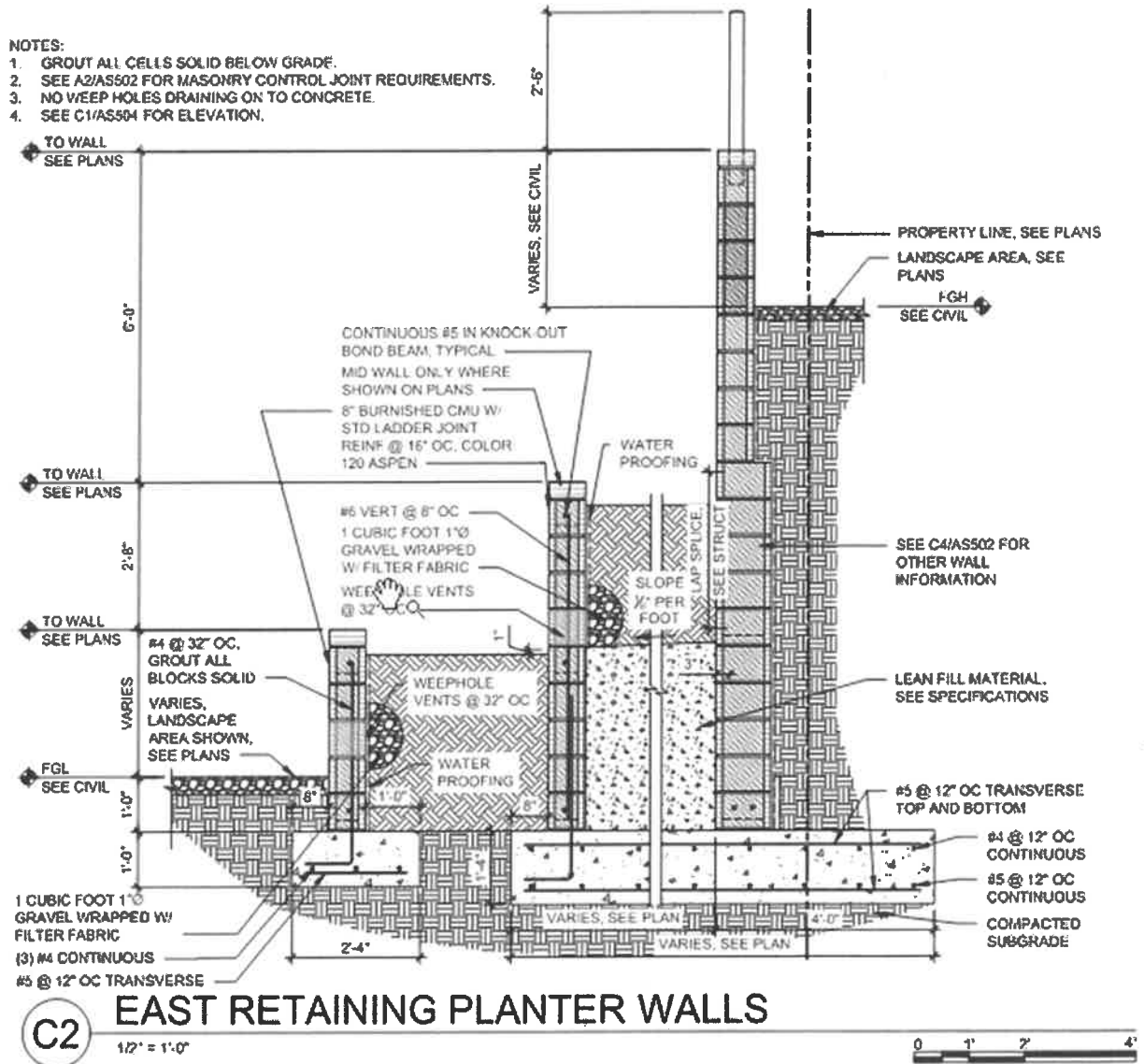
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

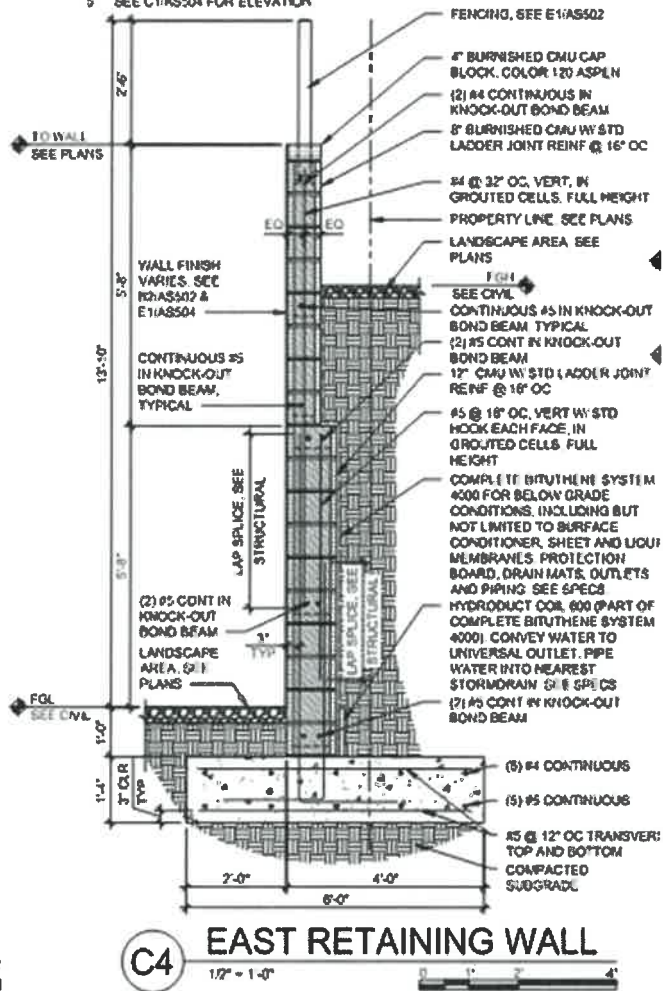
Amaran – Holly Senior Living

The proposed retaining wall Section C2 and C4, proposed along the property line at Amaran, Tract A, Holy Senior Living, encroaches on to the neighboring property, Nido Site, Tract A-1 Mark 3S Holly Development. DPS acting as authorized representative for the owner, Mark 3S Inc. indicates that Mark 3S Inc. is granting permission to construct a retaining wall between the two properties with minimal encroachment. The retaining wall footing encroaches upon the adjacent site below ground approximately 2'-0".



NOTES:

1. GROUT ALL CELLS SOLID BELOW GRADE.
2. SEE A21AS502 FOR MASONRY CONTROL JOINT REQUIREMENTS.
3. STONE VENEER, OAKWOOD SANDSTONE NATURAL BED THIN VENEER 1'-1 1/2" THICK THIN SET.
4. TEE INTO HYDRODUCT AS OFTEN AS REQUIRED AND CONNECT TO A PARALLEL PIPE THAT CONNECTS TO STORM DRAIN.
5. SEE C11AS304 FOR ELEVATION.



Jennifer Facio Maddox

Architect acting as Owner Representative

Dekker Perich Sabatini

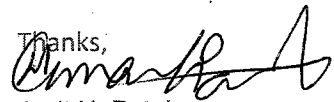
Miriam Hicks

From: Amit Patel <amit@paarugroup.com>
Sent: Tuesday, September 4, 2018 5:15 PM
To: Jennifer Facio Maddox; Ronald A. Witherspoon; Miriam Hicks
Cc: Hemal Patel; director@montessorione.net
Subject: DRB Permission for Mark3S

Jennifer,

I hereby give permission to Dekker/ Perich /Sabatini to act as agent on behalf of Mark3S, Inc. in submitting plans to the city of Albuquerque for Holly Senior Living located at 9100 Holly Avenue NE Albuquerque, New Mexico.

Thanks;



Amit N. Patel
President – Mark3S Inc.
Phone: (505) 271-1288
Fax: (505) 323-0401
Mobile: (505) 220-7625
Email: amit@paarugroup.com

CONCEPTUAL DRAINAGE NARRATIVE

THIS PROJECT IS A NEW DEVELOPMENT ON AN UNDEVELOPED SITE THAT CONSISTS OF A NEW BUILDING, PAVED PARKING AREAS, SITE WORK, COURTYARDS, SERVICE DRIVE AND NEW LANDSCAPED AREAS. THE SITE DRAINS FROM SOUTHEAST TO NORTHWEST TO HOLLY AVE NE. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE CONTINUED FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS: LOMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMC2 12/08/2003) APPROVED BY FEMA 03/23/2004.

DRAINAGE REPORT FOR LOS VIGILS SUBDIVISION (HMC2 12/31/2002, C20/D41).

GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMC2 C20/D51).

DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMC2 08/21/2003)

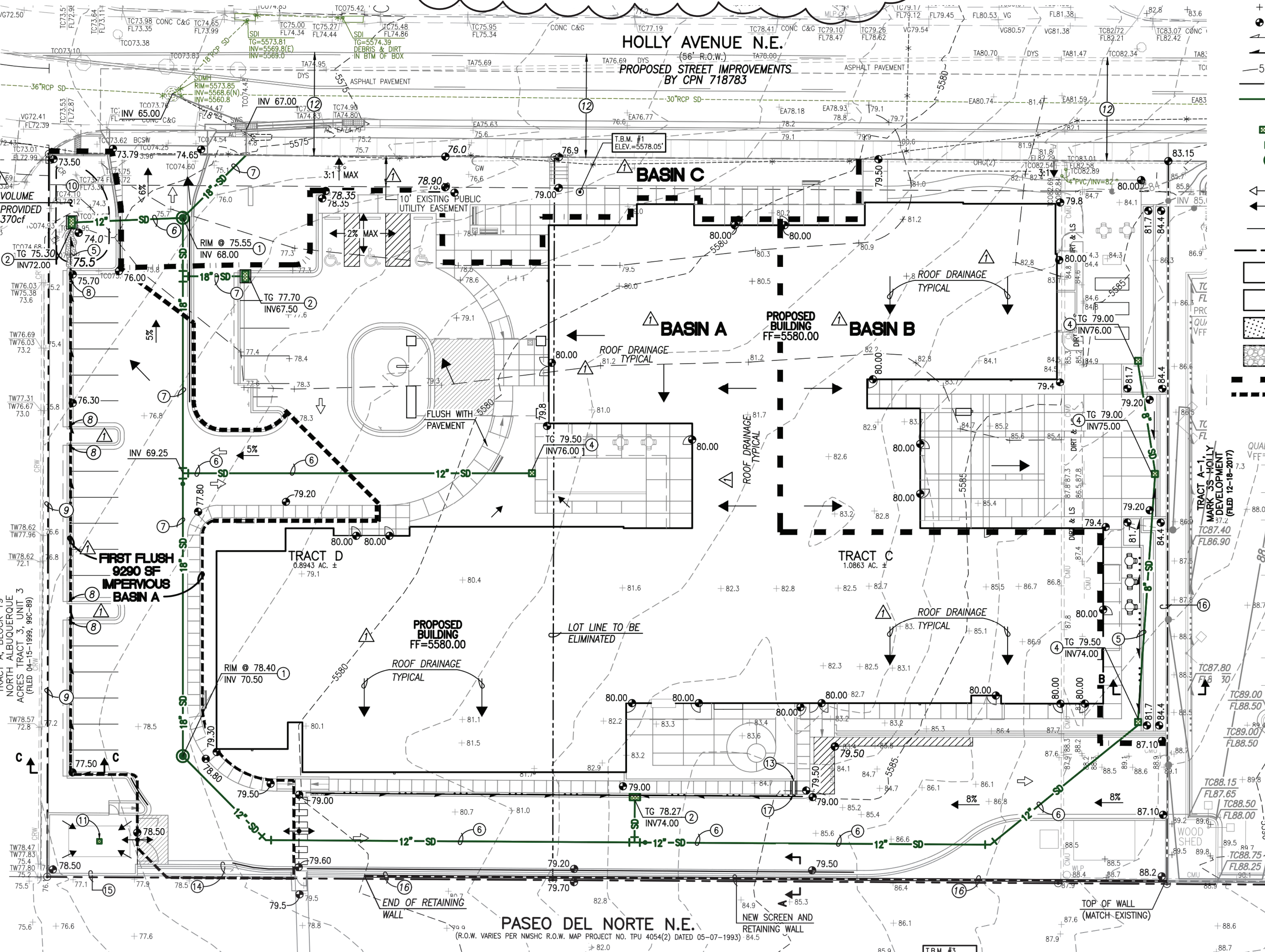
GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMC2 02/05/2007 AND 05/11/2015).

SITE RUNOFF WILL BE DIRECTED TO LANDSCAPED AREAS FOR WATER QUALITY WHERE PRACTICABLE. BUT THE FIRST FLUSH RETENTION REQUIREMENT WILL NOT BE MET THIS SITE AND A PAYMENT WILL BE MADE IN LIEU OF MEETING THE ENTIRE REQUIREMENT. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND WHAT IS USED FOR WATER QUALITY.

SECTION A-A
SCALE: 1" = 5'

SECTION B-B
NOT TO SCALE

SECTION C-C
SCALE: 1" = 5'

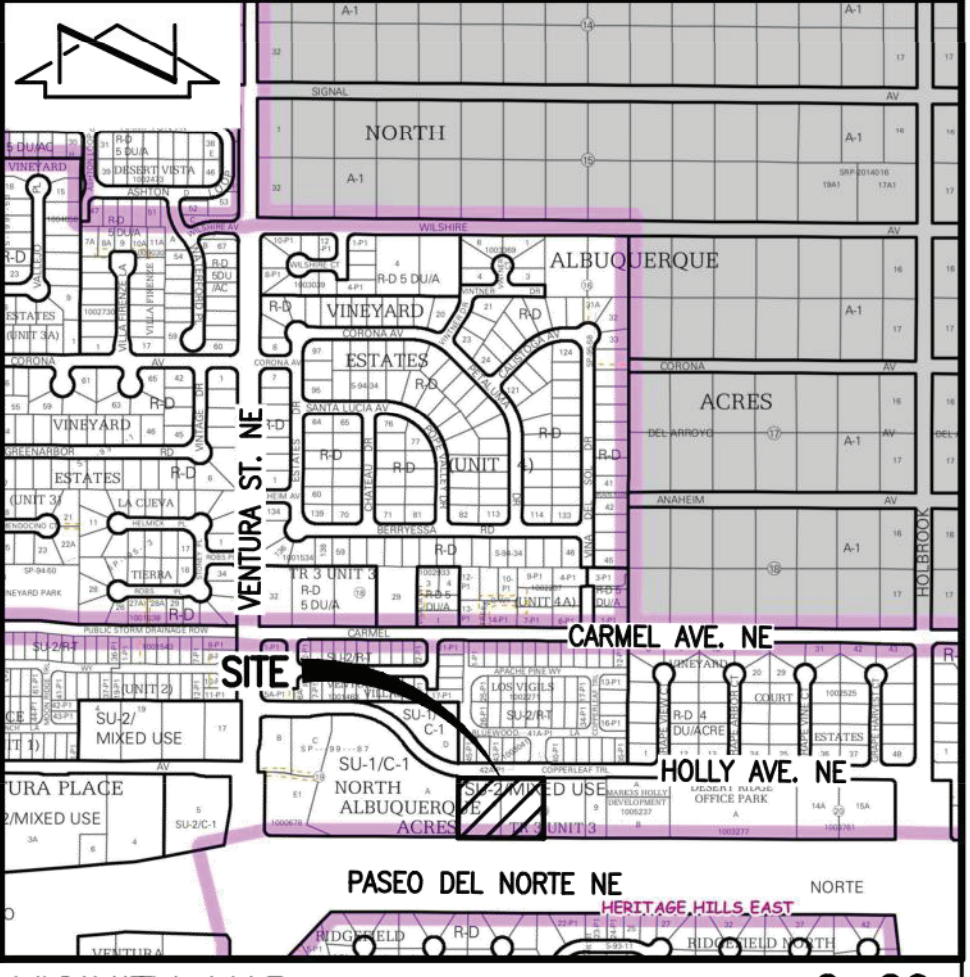


KEYED NOTES:

- CONSTRUCT 4' DIA. STORM DRAIN MANHOLE
- CONSTRUCT SINGLE 'D' STORM DRAIN INLET
- CONSTRUCT DOUBLE 'C' STORM DRAIN INLET
- CONSTRUCT 24"x24" STORM DRAIN INLET
- INSTALL 8" HDPE STORM DRAIN
- INSTALL 12" HDPE STORM DRAIN
- INSTALL 18" HDPE STORM DRAIN
- NEW 6" DRAIN OPENING
- DEPRESSED LANDSCAPING FOR WATER QUALITY PLAN
- NEW REFUSE DRAIN. SEE CONCEPTUAL UTILITY PLAN
- HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY WORK ORDER
- NEW 6" WALL OPENING
- NEW SCREEN WALL
- NEW REFUSE WALL
- NEW RETAINING WALL

LEGEND:

- INV INVERT
- TA TOP OF ASPHALT PAVEMENT
- TC TOP OF CURB
- TG TOP OF GRATE
- + 87.80 EXISTING SPOT ELEVATION
- 88.70 PROPOSED SPOT ELEVATION
- EXISTING FLOWLINE
- PROPOSED FLOWLINE
- 5585 EXISTING CONTOUR
- 90 PROPOSED CONTOUR
- PROPOSED HDPE STORM DRAIN
- PROPOSED 24"x24" STORM DRAIN INLET
- PROPOSED DOUBLE 'C' STORM DRAIN INLET
- PROPOSED SINGLE 'D' STORM DRAIN INLET
- PROPOSED 4' DIA. STORM DRAIN MANHOLE
- PROPOSED REFUSE DRAIN
- EXISTING DIRECTION OF FLOW
- PROPOSED DIRECTION OF FLOW
- HIGH POINT / DIVIDE
- PROPERTY LINE
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- PROPOSED LANDSCAPE AREA
- PROPOSED GRAVEL BASE COURSE
- DRAINAGE BASIN
- FIRST FLUSH BASIN



VICINITY MAP
SCALE: 1" = 500'



F.I.R.M. 141 OF 825
SCALE: 1" = 500'

CALCULATIONS

I. SITE CHARACTERISTICS			
A. PRECIPITATION ZONE	3		
B. $P_{2400} = P_{3600} =$	2.60		
C. TOTAL PROJECT AREA (A_T) =			
	86,275	SF	
	1.98	AC	
D. LAND TREATMENTS			
1. EXISTING LAND TREATMENT			
a. OVERALL	AREA (SF/AC)		
	Total Area	86,275 / 1.98	%
	Treatment A Area		
	Treatment B Area		
	Treatment C Area	86,275 / 1.98	100
	Treatment D Area		
2. DEVELOPED LAND TREATMENT			
a. OVERALL	AREA (SF/AC)		
	Total Area	86,275 / 1.98	%
	Treatment A Area		
	Treatment B Area	4,762 / 0.11	6
	Treatment C Area	13,056 / 0.30	15
	Treatment D Area	68,437 / 1.57	79
II. HYDROLOGY			
A. EXISTING CONDITION			
1. BASIN A			
a. VOLUME	$E_{100} = (E_{100A} + E_{100B} + E_{100C} + E_{100D})/A_T$		
	$E_{100} = ((0.00'0.66) + ((0.00'0.92) + (1.98'1.29) + ((0.00'2.36)/1.98) = 1.29$		
	$V_{100} = (E_{100}/12)A_T = (1.29/12)1.98 = 0.2129$		
	AC-FT = 9,270		
b. PEAK DISCHARGE	$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$		
	$Q_p = Q_{pA} = ((0.00'1.87) + ((0.00'2.8) + (1.98'3.45) + ((0.00'5.02) = 6.8$		
	CFS		
B. DEVELOPED CONDITION			
1. BASIN A			
a. VOLUME	$E_{100} = (E_{100A} + E_{100B} + E_{100C} + E_{100D})/A_T$		
	$E_{100} = ((0.00'0.66) + ((0.11'0.92) + ((0.30'1.29) + (1.57'2.36)/1.98) = 2.12$		
	$V_{100} = (E_{100}/12)A_T = (2.12/12)1.98 = 0.3498$		
	AC-FT = 15,240		
b. PEAK DISCHARGE	$Q_p = Q_{pA} + Q_{pB} + Q_{pC} + Q_{pD}$		
	$Q_p = Q_{pA} = ((0.00'1.87) + ((0.11'2.8) + ((0.30'3.45) + (1.57'5.02) = 9.20$		
	CFS		
C. COMPARISON			
1. BASIN A			
a. VOLUME	ΔV_{100}	15,240 - 9,270 =	5,970.00 CF
			64.4% (INCREASE)
b. PEAK DISCHARGE	ΔQ_{100}	9.2 - 6.8 =	2.40 CFS
			35.3% (INCREASE)
c. DISCHARGE RATE	ΔQ_{100}	9.2 CFS / 1.98 AC =	4.64 CFS/AC (4.86 CFS/AC ALLOWABLE)
D. FIRST FLUSH BASIN CALCULATIONS			
1. DEVELOPED AREA			
a. DEVELOPED AREA	= 86,275 SF		
b. PERVIOUS AREA	= 17,838 SF		
c. IMPERVIOUS AREA	= 86,275 SF - 17,838 SF = 68,437 SF		
2. FIRST FLUSH VOLUME - DEVELOPED AREA			
	$V_{FF,100}$	= ((0.44/12)(68,437 SF) = 2,510 CF	
3. PROPOSED RETAINED VOLUMES & IMPERVIOUS FF CONTRIBUTION			
AREA	$V_{100,IMP}$	A_{IMP}	$V_{100,FF}$
	370 CF	9,290 SF	356 CF
A_{IMP} = IMPERVIOUS AREA DISCHARGING TO POND			
$V_{IMP,FF}$ = FIRST FLUSH VOLUME GENERATED BY IMPERVIOUS AREA			
$V_{IMP,FF}$ = FIRST FLUSH BYPASS VOLUME = 2,510 CF - 356 CF = 2,154 CF			
2018.027.1			

NOTE:
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PLAT OF RECORD (2017C-0146, RECORDED 12-18-2017).
THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1).

NOT FOR CONSTRUCTION

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

J. GRAEME MEANS
NEW MEXICO
13676
REGISTERED PROFESSIONAL ENGINEER
01/29/2019
11/05/2018 09/19/2018
PROJECT 10/17/2018

HOLLY SENIOR LIVING
9100 HOLLY AVENUE NE
ALBUQUERQUE, NM 87122

REVISIONS

HYDROLOGY COMMENTS
HYDROLOGY COMMENTS
SECTION B-B

DRAWN BY J.Y.R.
REVIEWED BY G.M.
DATE 10.29.2018
PROJECT NO. 18-0038
DRAWING NAME

CONCEPTUAL
GRADING AND
DRAINAGE PLAN

SHEET NO.

SDP 3.1
OF

HIGH
MESA Consulting Group

6010-8 MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
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