

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

March 29, 2021

Ronald Witherspoon, R.A.
Dekker/Perich/Sabatini
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

Re: Amaran Holley Senior Living
9300 Holley Ave
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 2-14-19 (DRB) (C20D079)
Certification dated 3-19-21

Dear Mr. Witherspoon,

PO Box 1293

Based upon the information provided in your submittal received 3-22-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

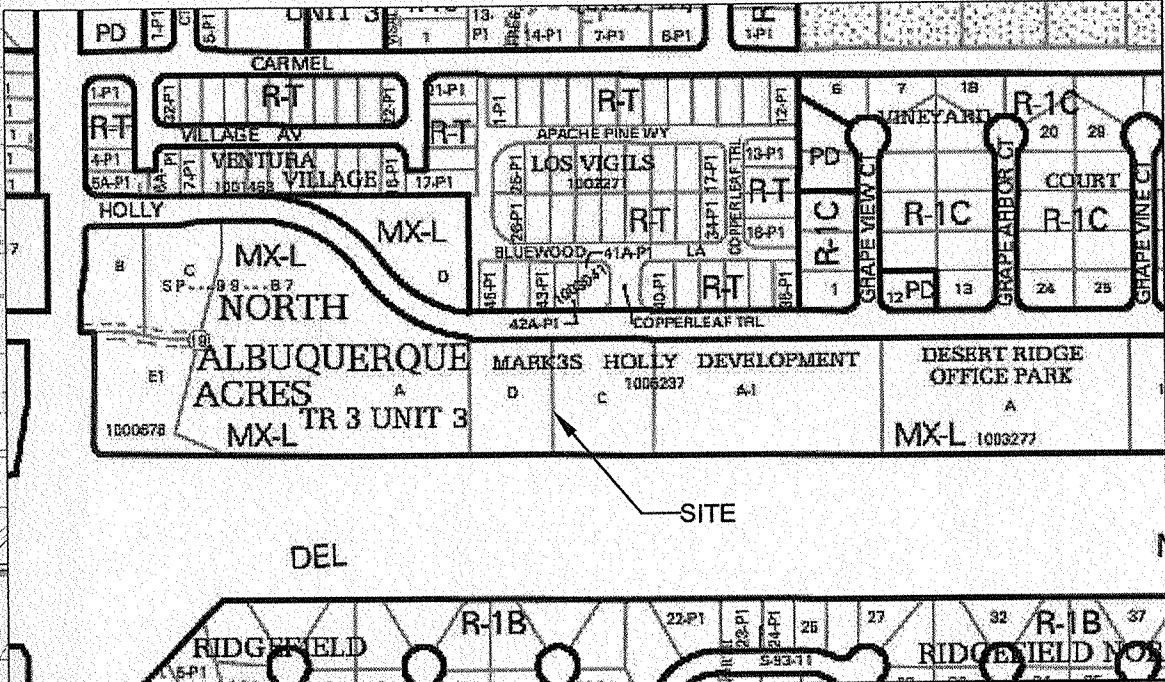
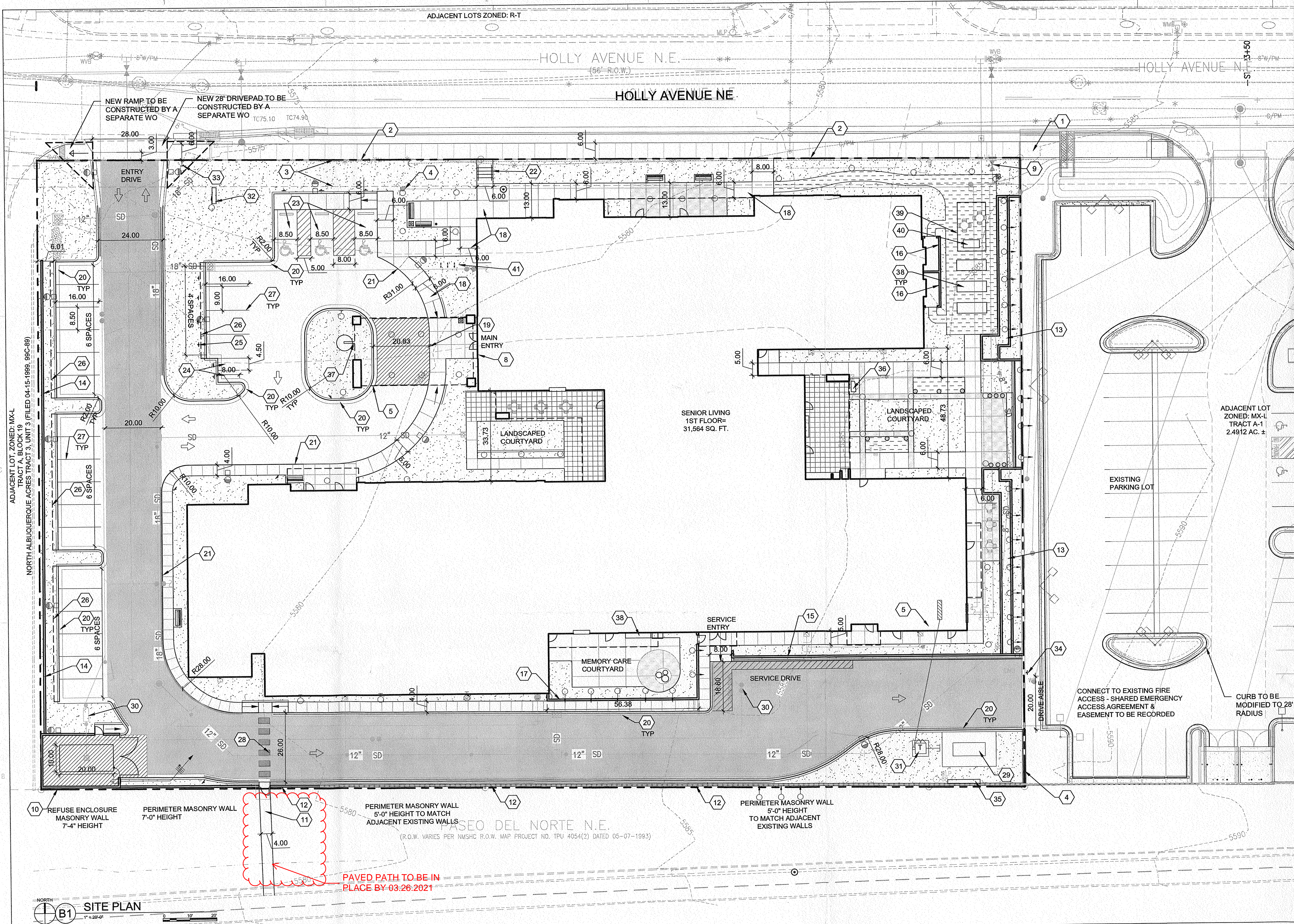
Sincerely,

www.cabq.gov

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



VICINITY MAP	
PROJECT NO.	PR-2018-001032
APPLICATION NO.	91-2118-00176
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [YES] [NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i>	2/14/19
DATE:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	
<i>[Signature]</i>	11-14-18
DATE:	
ABCVUA	
<i>[Signature]</i>	11/14/18
DATE:	
PARKS & RECREATION DEPARTMENT	
<i>[Signature]</i>	11/14/18
DATE:	
CITY ENGINEER/HYDROLOGY	
<i>[Signature]</i>	2-14-2019
DATE:	
DRB CHAIRPERSON, PLANNING DEPT.	
<i>[Signature]</i>	11/14/18
DATE:	
CODE ENFORCEMENT	

LEGEND	
	ACCENT TILE PAVING
	LANDSCAPE AREA
	STABILIZED CRUSHER FINES,
	INTEGRAL COLORED CONCRETE, DAVIS COLORS: SPANISH GOLD 5084
	REINFORCED CONCRETE PAVING
	HEAVY DUTY ASPHALT CAPABLE TO SUPPORT 75,000 LBS
	FIRELANE STRIPING MARKING FIRE ACCESS LANE
	PROPERTY LINE
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION (F.D.C.)
	SITE LIGHTING
	PLANTING POT TOURNESOL, URBAN COLLECTION
	MAGLIN BENCH MLB400-M-L1, COLOR BRONZE 14, SURFACE MOUNT SEE SPECIFICATIONS
	MAGLIN TRASH RECEPTACLE MLWR400-25-M, COLOR BRONZE 14, SURFACE MOUNT, SEE SPECIFICATIONS
	MAGLIN ASH RECEPTACLE MLAU300-B3, COLOR BRONZE 14, SURFACE MOUNT, SEE SPECIFICATIONS
	MAGLIN BIKE RACKS MBR150-2, COLOR BRONZE 14, DIRECT BURY, SEE B5/AS502 AND SPECIFICATIONS
	PET WASTE STATION MDF - 395 SM, SURFACE MOUNT, COLOR TBD, SEE SPECIFICATIONS
	OUTDOOR SEATING WITH TABLES

GENERAL SHEET NOTES	
A.	DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
D.	SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
E.	ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
F.	ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-3 OUTDOOR LIGHTING.
G.	STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
H.	PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
I.	PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, GRADING AND DRAINAGE.
J.	SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
K.	LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

SHEET KEYED NOTES	
1.	EXISTING SIDEWALK TO REMAIN.
2.	WORK BEYOND PROPERTY LINE IS A PART OF A SEPARATE CITY WORK ORDER.
3.	10'-0" EXISTING PUBLIC UTILITY EASEMENT.
4.	EXISTING PERIMETER MASONRY WALL.
5.	LINE OF PORTE COCHERE ENTRY COVER.
6.	FIRE DEPARTMENT CONNECTION.
7.	FIRE RISER LOCATION.
8.	KNOW BOX LOCATION PER FIRE ONE PLAN.
9.	POST INDICATOR VALVE (PIV).
10.	TRASH COMPACTOR ENCLOSURE (7'-4" MASONRY WALL) WITH GATE.
11.	WALKWAY CONNECTION TO PASEO DEL NORTE TRAIL, A PAVED MULTI-USE TRAIL CLOSED TO AUTOMOTIVE TRAFFIC. DEVELOPER TO COORDINATE WITH NMOT ASSISTANT TRAFFIC ENGINEER ON TRAIL CONNECTION.
12.	PERIMETER MASONRY WALL TO MATCH ADJACENT EXISTING WALL (CMU SPLITFACE BUFF COLOR WITH ACCENT MANAZANO BROWN COLOR AND CAP).
13.	TERRACED RETAINING WALL WITH RAISED GARDEN.
14.	PERIMETER WALL MASONRY 3'-0" HEIGHT MAXIMUM PER IDO.
15.	RETAINING WALL.
16.	PATIO WALL.
17.	MEMORY CARE SOLID WALL.
18.	6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS.
19.	FLUSH CONCRETE SIDEWALK.
20.	CONCRETE CURB AND GUTTER.
21.	TURN DOWN SIDEWALK.
22.	CONCRETE STAIRS.
23.	ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING.
24.	MOTORCYCLE PARKING.
25.	DEDICATED RESERVED CARPOOL PARKING WITH SIGNAGE.
26.	PARKING OVERHANG.
27.	PARKING STRIPING 4" WIDE, COLOR: WHITE.
28.	PAINTED CROSSWALK, COLOR: WHITE.
29.	BACK UP STAND BY GENERATOR.
30.	GREASE INTERCEPTOR.
31.	ELECTRICAL TRANSFORMER ON 6" CONCRETE PAD.
32.	MONUMENT SIGN PER COA IDO REQUIREMENTS.
33.	STOP SIGN.
34.	DO NOT ENTER SIGN.
35.	ILLUMINATED WALL MOUNTED SIGNAGE VISIBLE FROM PASEO DEL NORTE.
36.	WATER FEATURE.
37.	RAIN CHAIN SCULPTURE.
38.	GARDEN RAISED BEDS.
39.	SHADE STRUCTURE.
40.	POTTING STATION TABLE.
41.	BICYCLE PARKING PER IDO AND DPM STANDARD WITH TWO-POINT BIKE LOCKING.

PROJECT DATA	
ZONING: (MX-L) MIXED USE - LOW INTENSITY ZONE DISTRICT	
LEGAL DESCRIPTION: TRACT C AND D, MARK 38 HOLLY DEVELOPMENT	
SITE AREA: 0.8943 + 1.0863 = 1.9806 ACRES	
ZONE ATLAS: C-20-Z	
SETBACKS: FRONT= 5', SIDE= 5', INTERIOR= 10', REAR= 15'	
BUILDING HEIGHT: 38'-0"	
SPRINKLED: YES	
FIRE FLOW: 2500 GPM	
HYDRANTS REQUIRED: 3 TOTAL	
BUILDING OCCUPANCY: I-1 CONDITION 2, 56 UNITS OF ASSISTED LIVING, 16 UNITS OF MEMORY CARE	
CONSTRUCTION TYPE: VA, FULLY SPRINKLED	
BUILDING SF:	
FIRST LEVEL	31,837 GSF
SECOND LEVEL	24,564 GSF
THIRD LEVEL	19,771 GSF
TOTAL	76,172 GSF
PARKING CALCULATION: (TABLE 5-5-1)	
REQUIRED:	
1 SPACE / 3 BEDS = 76 / 3 = 26 PARKING SPACES REQUIRED	
USING CARPOOL PARKING CREDIT = 22 PARKING SPACES REQUIRED	
PARKING SPACES PROVIDED = 25	
(INCLUDES 3 ADA ACCESSIBLE SPACES)	
MOTORCYCLE PARKING REQUIRED AND PROVIDED = 2	
BICYCLE PARKING REQUIRED = 3	
BICYCLE PARKING PROVIDED = 6	

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER
PERICH
SABATINI

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

HOLLY SENIOR LIVING
9100 HOLLY AVENUE
ALBUQUERQUE, NM

REVISIONS

11-09-2018 DRB RE-SUBMITTAL

DRAWN BY JD

REVIEWED BY D/P/S

DATE 10-19-2018

PROJECT NO. 18-0038

DRAWING NAME

SITE PLAN

SHEET NO.

SDP1.1

OF

March 19,2021
City Of Albuquerque
Planning Department

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SABATINI

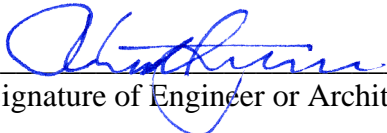
TRAFFIC CERTIFICATION

I Ron Witherspoon_ OF THE FIRM Dekker/ Perich Sabatini, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10.019.018 THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Jennifer Facio Maddox OF THE FIRM Dekker/ Perich/ Sabatini PROJECT SITE ON 9100Holly AVE. AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR approval of TCL for Holly Avenue .

The following items are noted to differ from the approved site plan:

- 1. The Asphalt paved path connecting to the Paseo del Norte Trail is planned to be completed by the end of this week.*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

03.19.2021
Date

THIS CERTIFICATION MUST BE SUBMITTED ON EITHER

1) COMPANY LETTERHEAD, WITH AN ORIGINAL STAMP AND SIGNATURE

or

2) ON THE ORIGINAL APPROVED PLAN WITH EITHER TCL STAMP OR DRB SIGNATURE BLOCK

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Ronald A. Witherspoon
Principal/Architect



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Amaran **Building Permit #:** 2019-12761 **Hydrology File #:** C20D079

DRB#: 2018-001632 **EPC#:** _____ **Work Order#:** _____

Legal Description: Tracts C and D Mark3S Holly Development, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the office of the County Clerk of Bernalillo County, NM Plat Block 2017C, Page 146, Doc #2017119919

City Address: 9300 Holly Avenue Albuquerque, NM 87122

Applicant: Dekker / Perich / Sabatini **Contact:** Jennifer Facio Maddox

Address: 7601 Jefferson NE Suite 100 Albuquerque, N 87109

Phone#: 505-301-1681 **Fax#:** _____ **E-mail:** jenniferm@dpsdesign.org

Other Contact: Mark3S Inc. **Contact:** Amit Patel

Address: 6501 Wyoming Blvd. NE Albuquerque, NM 87109

Phone#: 505-220-7625 **Fax#:** _____ **E-mail:** amit@paarugroup.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03.19.2021 **By:** Jennifer Facio Maddox

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____