

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 19, 2024

John Stapleton
Community Design Solutions, LLC
9384 Valley View Dr. NW, Suite 100
Albuquerque, NM 87114

RE: Allaso Vineyards Apartments
8901 Holly Avenue NE
Permanent CO – Not Accepted
Engineer's Certification Date: 09/17/2024
Engineer's Stamp Date: 11/19/21
Hydrology File: C20D086

Dear Mr. Stapleton:

PO Box 1293

Based upon the information provided in your submittal received 9/13/2024, and the site visit on 9/17/2024 the project is not approved for Permanent CO.

Albuquerque

The following items needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

NM 87103

1. C-102: The area to the east of the building, and the area along the NE corner is of concern regarding possible flooding to the adjacent apartments. There does not appear to be a slope away from the building into a swale that directs the storm water to the drop grate (see areas in yellow showing where the slope needs to be looked at. The area where the swale is supposed to be located appears to be flat and not sloped according to the cross sections shown on C-104. Also of concern is the elevation of the drop grate. Please check and verify that the As-built elevation is low enough to capture the storm water intended to prevent flooding of the nearby apartments. From the field, it appeared that the elevation might be at the same or higher elevation than the finished floor.

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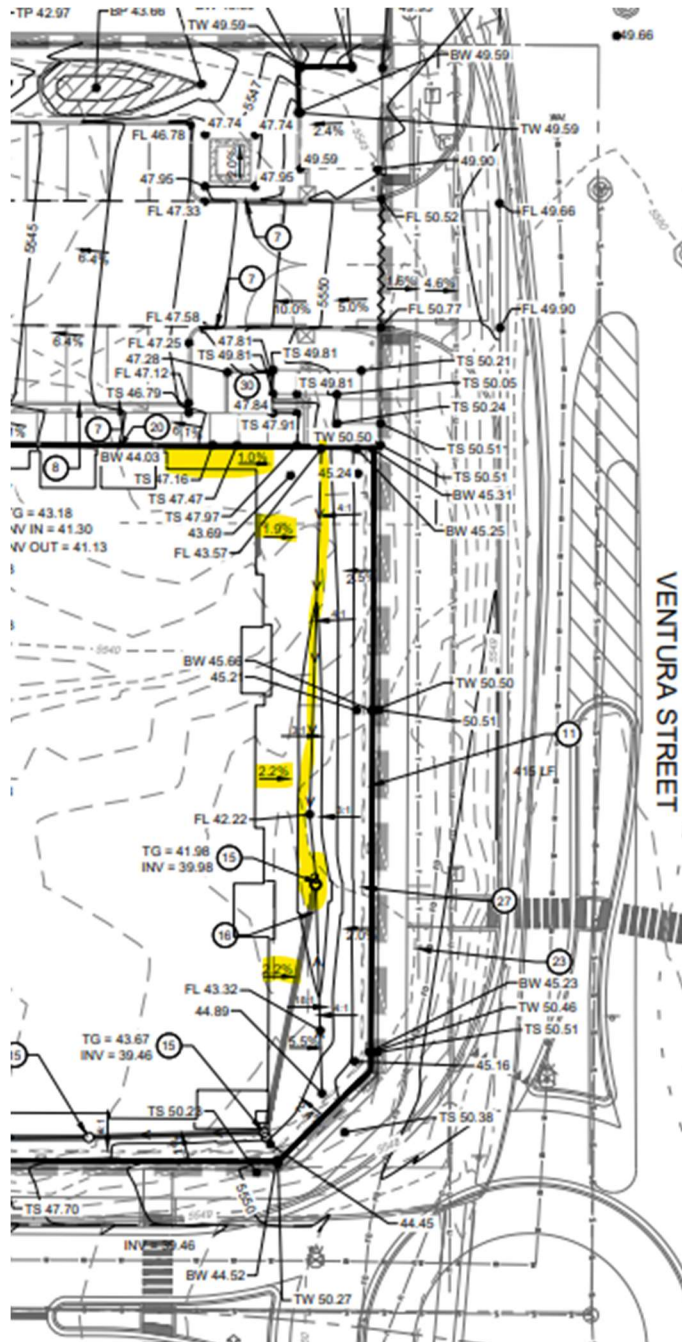


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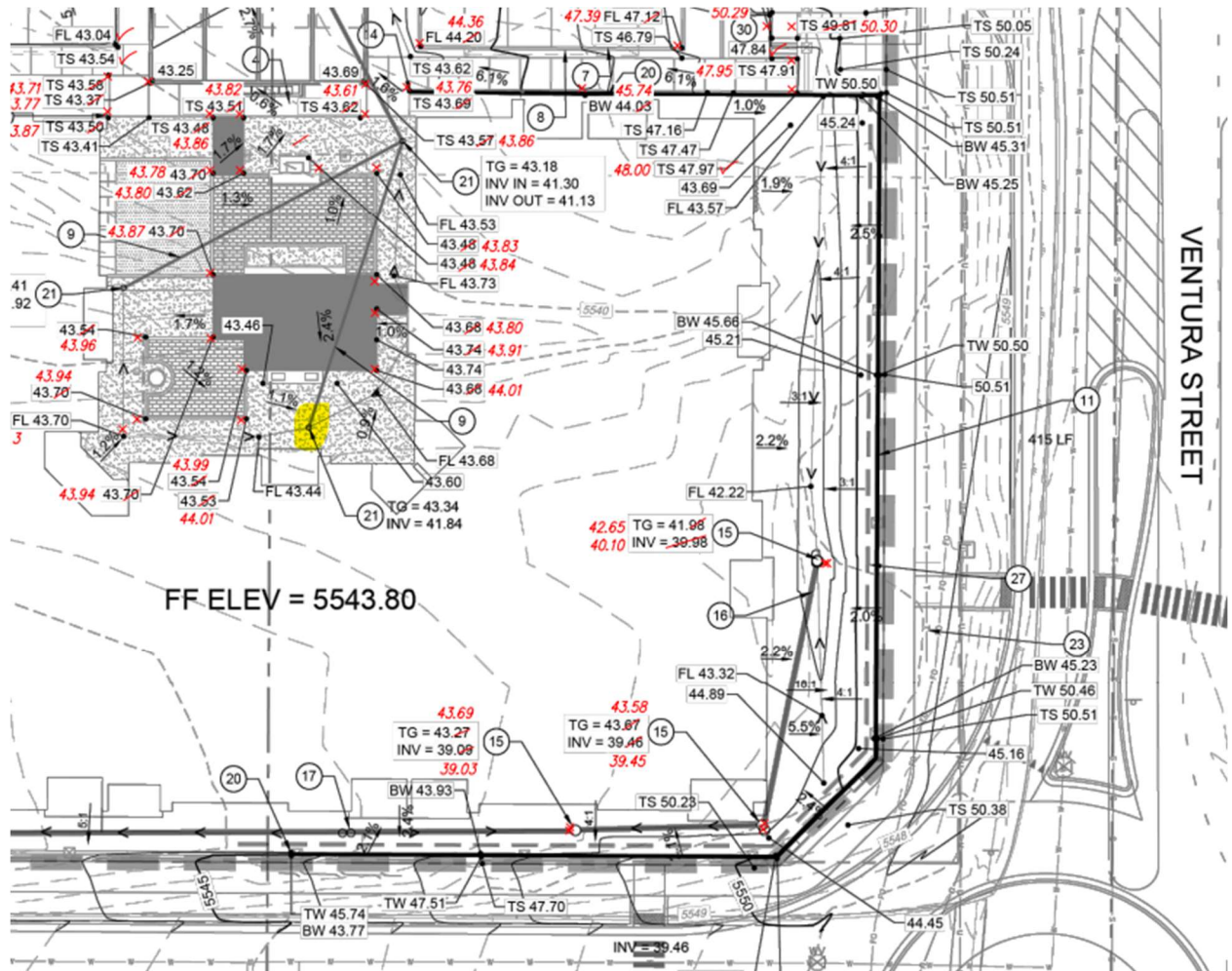
2. Inlet cover in courtyard – The inlet highlighted in yellow appeared to be too high to capture the storm water for this area. Please check and verify that the As-built elevation is low enough to capture the storm water intended to prevent flooding of the nearby apartments.

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3. Some of the drop grates were still covered with tape to prevent debris from entering the system. Please remove the coverings so that the drains will function.

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4. Part 6-11 (D) of the DPM requires fencing or similar barricade that will prevent entry is required for private and public ponds where the water depth is 18 inches or greater unless side slopes are 3:1 (H:V) or flatter and the pond drains in 96 hours or less. Fence or barricade minimum height is to be 42 inches. Due to the depth and slope of the pond at the NW corner of the site, fencing will be required.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department

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