CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

October 8, 2024

John Stapleton
Community Design Solutions, LLC
9384 Valley View Dr. NW, Suite 100
Albuquerque, NM 87114

RE: Allaso Vineyards Apartments – Phase 1
8901 Holly Avenue NE
Permanent CO (Phase 1 only) – Approved
Engineer's Certification Date: 10/02/2024
Engineer's Stamp Date: 11/19/2021
Hydrology File: C20D086

Dear Mr. Stapleton:

Based upon the information provided in your submittal received 10/03/2024, and the site visit on 9/17/2024, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy for **Phase 1 (only) of the Allaso Vineyards Apartments** project to be issued by the Building and Safety Division.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Allaso Vineyards Apartments Holly & Ventura Hydrology File # C20D086
Legal Description: Lots 17-19 NAA Tract 3 Unit 3 Block 9 and Lot 4 Unit 1 Desert Ridge
City Address, UPC, OR Parcel: 8901 Holly Avenue NE, Albuquerque, NM 87122

Applicant/Agent: Community Design Solutions, LLC Contact: Sheldon Greer
Address: 9384 Valley View Dr NW, Suite 100, Albuquerque, NM 87114 Phone: 505-264-0472
Email: Sheldon.Greer@cdsnm.com

Applicant/Owner: Titan Development Contact: Josh Rogers
Address: 6300 Riverside Plaza Lane NW, Suite 200 Albuquerque, NM 87120 Phone: 505 362-6047
Email: jrogers@titan-development.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☑ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☑ YES ☐ NO

DEPARTMENT: ☐ TRANSPORTATION ☑ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☑ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)_____

TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☑ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY)_____

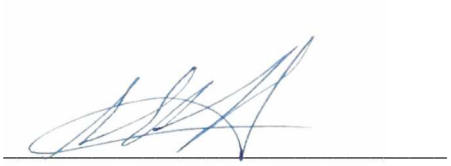
DATE SUBMITTED: 10/02/2024

REV. 09/13/23

DRAINAGE CERTIFICATION

I, SHELDON GREER, NMPE, OF THE FIRM COMMUNITY DESIGN SOLUTIONS, LLC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/14/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOSEPH M. SOLOMON JR., NMPS, OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 1, 2024, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



SHELDON GREER, NMPE NO. 17154

10/02/2024
Date

DRAINAGE CERTIFICATION: PHASE 1

I, SHELDON E. GREER, NMPE, OF THE FIRM COMMUNITY DESIGN SOLUTIONS, LLC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/14/2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOSEPH M. SOLOMON JR., NMPS, OF THE FIRM HIGH MESA CONSULTANT GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON OCTOBER 1, 2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 1 OF THIS PROJECT. PHASE 2 WILL BE ADDRESSED IN FUTURE APPLICATIONS.GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHELDON E. GREER, P.E. 17154

10/01/2024
DATE

SHELDON E. GREER · NEW MEXICO · 17154 · LICENSED PROFESSIONAL ENGINEER

(SEAL)

VICINITY MAP

SCALE 1" = 1000'

GENERAL NOTES

1. AN AS-BUILT SURVEY WAS PERFORMED IN JULY, 2024. THIS IS NOT A BOUNDARY SURVEY OR A RIGHT-OF-WAY SURVEY.
2. SITE LOCATED WITHIN PROJECTED SECTION 20, TOWNSHIP 11 NORTH, RANGE 4 EAST, N.M.P.M. (ELENA GALLEGOS GRANT).
3. ALL DISTANCES ARE GROUND DISTANCES.
4. SCREENED INFORMATION IS FROM PLANS BY RESPEC, ALLASO VINEYARDS, SHEETS C-101 AND C-102, SIGNED NOVEMBER 19, 2021.
5. **THIS SURVEY HAS BEEN PREPARED BASED UPON NAVD 88 DATUM. PREVIOUS SURVEYS OF THIS AREA CONDUCTED BY OTHER CONSULTANTS MAY HAVE BEEN CONDUCTED BASED UPON NGVD 29 DATUM. SPECIAL CARE SHOULD BE EXERCISED WHEN COMPARING ELEVATIONS FROM THIS SURVEY TO CURRENT AND PREVIOUS SURVEYS, PLANS AND AS-BUILT DOCUMENTS.**

CONTROL SURVEY NOTE

A CONTROL SURVEY WAS CONDUCTED AT THE SITE BY PRECISION SURVEYS, INC, IN OCTOBER 2020 (SURVEY CONTROL REPORTED ON TOPOGRAPHIC SURVEY OF LOTS 17, 18, & 19, BLOCK 9, TRACT 3, UNIT 3, NORTH ALBUQUERQUE ACRES BY PRECISION SURVEYS, INC. DATED OCTOBER, 2020, UNSIGNED) AND VERIFIED BY HMCG ON JANUARY 27, 2022 AND JULY 24, 2024. CONTROL WAS PROJECTED ONTO THE SUBJECT SITE UTILIZING RTK GPS OBSERVATIONS COMBINED WITH GEOID MODEL 18 TO ESTABLISH HORIZONTAL AND VERTICAL POSITIONS BASED UPON NAD 83/NAVD 88 DATUM.

ALL HORIZONTAL COORDINATES ARE NAD 83 GRID VALUES AND HAVE NOT BEEN ADJUSTED TO THE GROUND. THE ELEVATIONS ARE BASED UPON THE NAVD DATUM AND REQUIRE NO FURTHER ADJUSTMENT.

TEMPORARY BENCHMARK #2 (T.B.M.)

A SCRIBED "+" IN CONCRETE WEST APPROXIMATELY 10 FEET FROM THE WHEEL CHAIR RAMP AND NORTHWEST FROM THE TRADER JOE'S SIGN, AS SHOWN ON THIS SHEET.
ELEVATION = 5548.06 FEET (NAVD 1988)

TEMPORARY BENCHMARK #214 (T.B.M.)

A HUB WITH TAC, SET IN THE CENTER OF THE ROUNDABOUT BETWEEN VENTURA RD NE AND HOLLY AVE NE, AS SHOWN ON THIS SHEET.
ELEVATION = 5550.78 FEET (NAVD 1988)

SURVEYOR'S CERTIFICATION

I, JOSEPH M. SOLOMON, JR., A DULY QUALIFIED LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY; THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION; THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION; AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

JOSEPH M. SOLOMON, JR. · NEW MEXICO · 15075 · REGISTERED PROFESSIONAL SURVEYOR

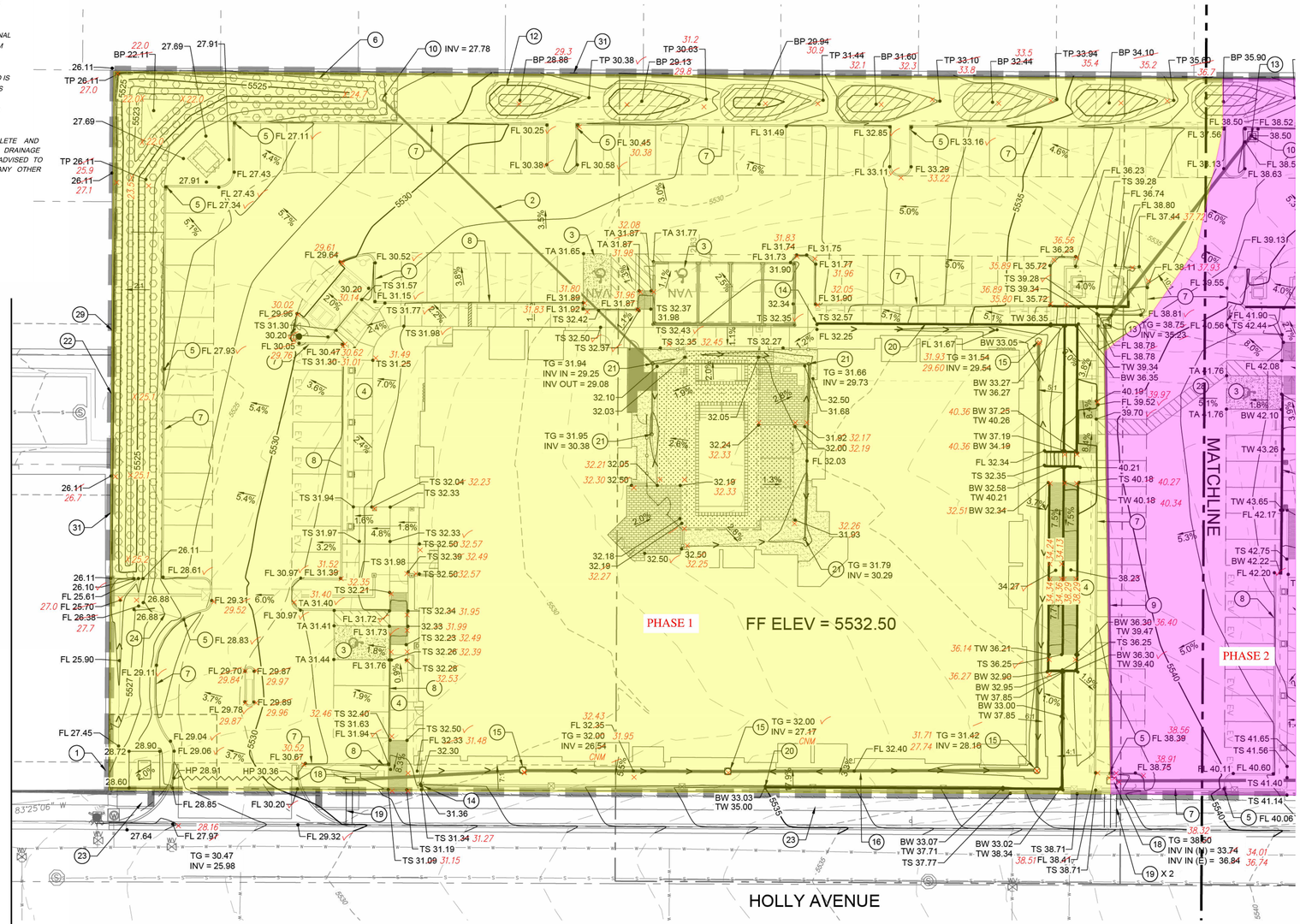
JOSEPH M. SOLOMON, JR.
NMPS NO. 15075

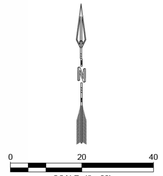
9/16/2024
DATE

4

RECORD DRAWING LEGEND

CONSTRUCT	*RECORD INFORMATION (VERIFIED BY ENGINEER)*
✓	*AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)*
36"/42"	*RECORD INFORMATION FROM AS-BUILT SURVEY*
+25.2	*RECORD INFORMATION FROM AS-BUILT SURVEY*
28.95/.92	*RECORD INFORMATION FROM AS-BUILT SURVEY*





LEGEND

EXIS
EXIS 5730
EXIS 5728
5730 PRC
5728 PRC
LIMI
PRC
PRC
3.8% SLO
PRC
WAT
PRC
PRC
PRC
PRC

KEYED NOTES

1. LIMITS OF DISTURBANCE
2. INSTALL 8" HDPE PIPE AT 1% SLOPE, TYP.
3. 1.5% MIN. SLOPE 1.8% MAX. SLOPE ALL DIRECTIONS AT ACCESSI
4. 1.8% MAX. CROSS SLOPE AT ACCESSIBLE SIDEWALK
5. INSTALL 1' WIDE CURB NOTCH PER DETAIL SHEET C-105
6. INSTALL RIP RAP PER SPECIFICATIONS THIS SHEET
7. INSTALL CONCRETE CURB & GUTTER PER DETAIL SHEET C-105
8. INSTALL CONCRETE HEADER CURB PER DETAIL SHEET C-105
9. INSTALL 6" HDPE PIPE AT 1% SLOPE, TYP.
10. PIPE INVERT
11. INSTALL RETAINING WALL PER DETAIL SHEET C-106 AND GENER
12. INSTALL WATER QUALITY POOL, TYP.
13. INSTALL 2' X 2' ADS STANDARD ROAD AND HIGHWAY GRATE
14. BEGIN NON-PERMITTED RETAINING (2' MAX. HEIGHT)
15. INSTALL ADS 24" DROP IN GRATE PER DETAIL SHEET C-105, TYP.
16. INSTALL 12" HDPE PIPE AT 1% SLOPE, TYP.
17. INSTALL DOUBLE CLEANOUT
18. INSTALL MODIFIED TYPE D INLET PER DETAIL SHEET C-105
19. INSTALL 3' WIDE SIDEWALK CULVERT PER COA DWG 2236
20. END NON-PERMITTED RETAINING (2' MAX. HEIGHT)
21. INSTALL ADS 12" DROP IN GRATE PER DETAIL SHEET C-105, TYP.
22. INSTALL 5.25' X 0.5' WEIR. INVERT AT 5525.61, SEE DETAIL SHEET
23. SIDEWALK AND ROADWAY IMPROVEMENTS BY SEPARATE PLANS
24. INSTALL 0.5' DEPTH SWALE
25. INSTALL ADA LANDING, 1.8% MAX SLOPE IN ANY DIRECTION
26. EXPOSE 6" MAXIMUM OF BUILDING FOOTER AS NECESSARY
27. 3' SLOPE BUFFER FROM RETAINING WALL, MAX 3%
28. ADA CROSSWALK 1.8% MAX CROSS SLOPE
29. APPLY WATERPROOFING ON EXPOSED PRIVACY WALL BELOW T TO GRADING. WATERPROOFING SHALL BE HYDROCIDE LIQUID M APPROVED EQUAL.
30. INSTALL 12" DEEP ROCK MULCH BENEATH PEE PAD
31. EXISTING 6' TALL PRIVACY WALL ALONG PROPERTY LINE

SPOT ELEVATION SYMBOLS

- TA 66.00 TOP OF ASPHALT
- 66.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- TP 66.00 TOP OF POND
- BP 66.00 BOTTOM OF POND
- TS 66.00 TOP OF SIDEWALK
- FL 66.00 FLOWLINE
- BW 66.00 BOTTOM OF WALL
- TW 66.00 TOP OF WALL
- TC 66.00 TOP OF CURB
- FG 66.00 FINISHED GROUND
- TG 66.00 TOP OF GRATE

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
01/14/22
DATE:
BY: Renée Brissette
HydroTrans #
C20D086

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW. NEITHER THE APPROVAL BY THE CITY OF ALBUQUERQUE FROM ENGINEERING CORRECTION, OR ERROR OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS, SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

RIP RAP SPECIFICATIONS

RIP RAP SHALL BE OVER FILTER MATERIAL AND CONSIST OF RIP RAP AND CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

MAX DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
3"	10

FILTER MATERIAL SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

U.S. STANDARD SIEVE SIZE	% PASS BY WT
1"	100
3/4"	45-65
#4	25-45
#40	0-20
#200	0-5

FILTER MATERIAL SHALL BE PLACED UNDER THE RIP RAP CHANNEL AND COMPACTED INTO SURFACE VOIDS OF THE RIP RAP. THE SUBGRADE SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLAYING RIP RAP. THE CONTRACTOR'S OPERATIONS AND

GRADING NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EX PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UT REQUIRED.
2. PARKING LOT STRIPING AND SITE PLAN HAVE BEEN SCREENED BACK I
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION O
4. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT
5. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACC REGULATIONS.
6. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUA
7. ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PRC
8. ALL AREAS WITH SLOPES GREATER THAN 3:1 SHALL BE LANDSCAPED FRACTURED GRAVEL AND SEPARATION FABRIC.
9. INSTALL L-TOE TYPE RETAINING WALLS FOR ALL RETAINING WALLS AE BOUNDARY. FOOTER SHALL NOT EXTEND OUTSIDE OF THE PROPERTY WALL WHERE FINISHED GRADE AT THE TOP OF WALL EXCEEDS 10%. F USE RETAINING WALL TYPES A THROUGH TYPE D. RETAINING WALL TY (SEE RETAINING WALL DETAIL SHEET C-106).
10. ALL SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED

HIGH MESA
a Bowman company
6010-B Midway Park Blvd. NE, Albuquerque, NM 87109
P:505.345.4250 highmesacg.com | bowman.com

AS-BUILT SURVEY
ALLASO VINEYARDS
ALBUQUERQUE, NM

SURVEYED BY	R.G.
DRAWN BY	J.T.U.
APPROVED BY	J.M.S.

NO.	DATE	BY	REVISIONS

JOB NO: 2024.068.1
DATE: 08-2024
SHEET 1 OF 2