

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

October 1, 2024

Hannah Feil Greenhood, R.A  
Dekker Design  
7601 Jefferson St. NE  
Albuquerque, NM 87109

**Re: Allaso Vineyards Apartments PHASE 1-3/ 8901 Holly Ave. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 09-01-21 (C20-D086)  
Certification dated 09-24-24

Dear Ms. Greenhood,

Based upon the information provided in your submittal received 09-26-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

\xxx via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:**      Plat (# of lots) \_\_\_\_\_      Single Family Home  
All other Developments

RE-SUBMITTAL:      YES      NO

**DEPARTMENT:**      TRANSPORTATION      HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy -      Temp      Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

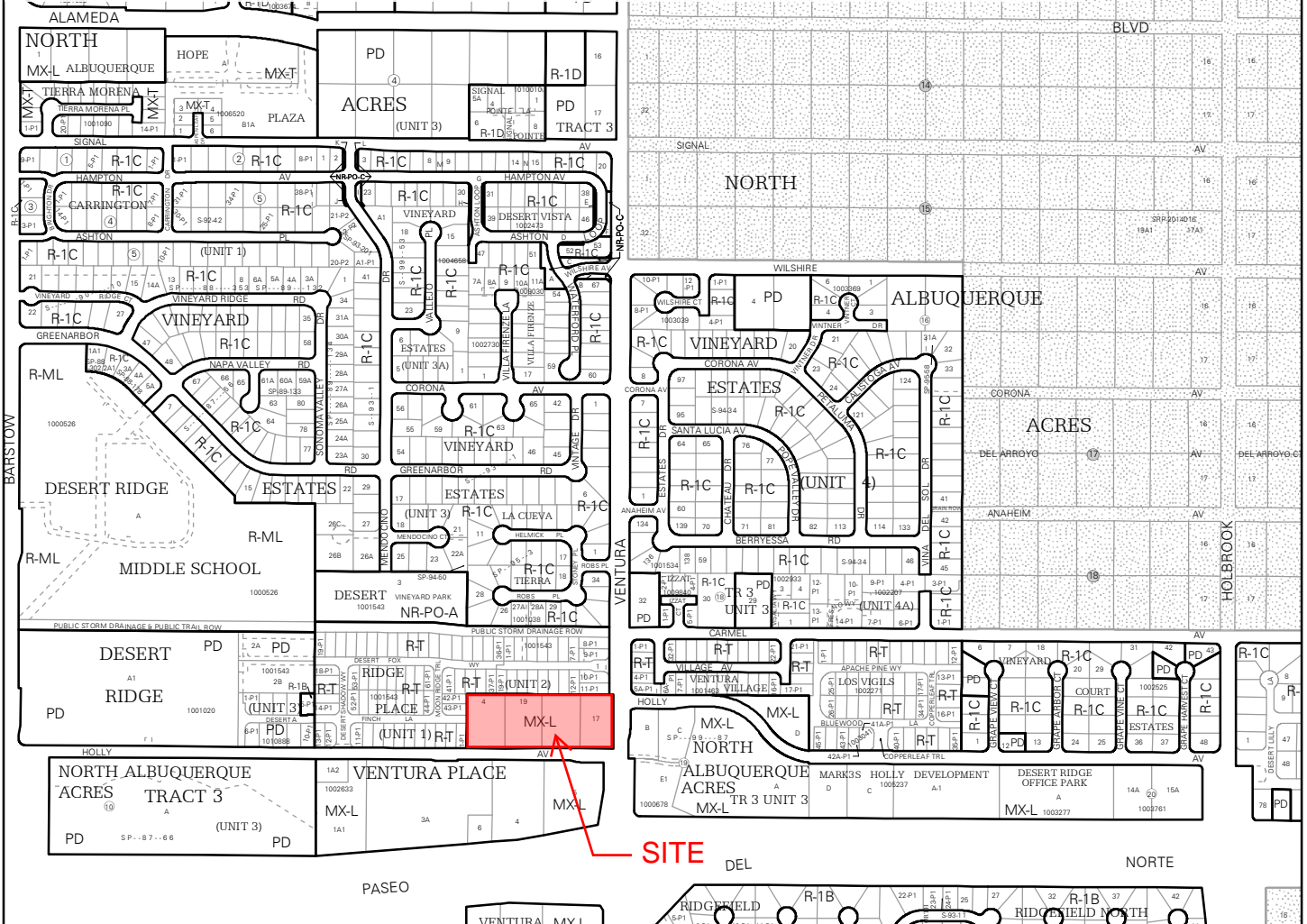
DATE SUBMITTED: \_\_\_\_\_

# **ADDITIONAL INFORMATION REGARDING PROPERTY LOCATION AND LEGAL DESCRIPTION:**

3.306 acres located at 8901 Holly Ave NE, Albuquerque, NM 87122

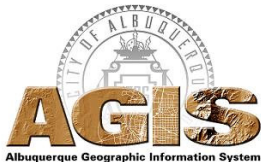
**Legal Description: LOTS 17 THRU 20, BLOCK 9, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 AND PARCEL 4, SUBDIVISION PLAT OF DESERT RIDGE PLACE UNIT 1.**

**Zone Atlas: C-20-Z**

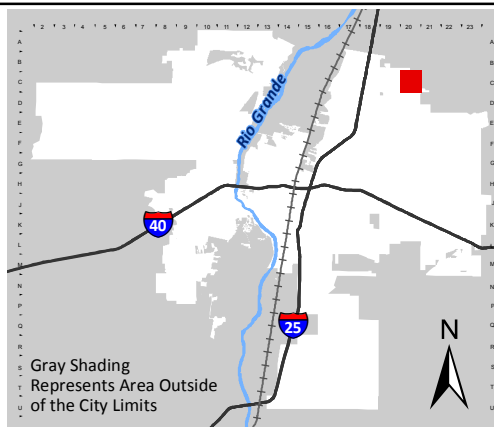


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## **IDO Zone Atlas May 2018**



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**C-20-Z**

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone
- Escarpment
- Petroglyph National Monument

0 250 500 1,000 Feet

September 24, 2024

Transportation Inspector  
City of Albuquerque

Re: Traffic Certification for Certificate of Occupancy for Allaso Vineyards, Phase 1-3

To Whom It May Concern:

TRAFFIC CERTIFICATION FOR ALLASO VINEYARDS PHASE 1-3  
BP-2021-38293

I, HANNAH FEIL GREENHOOD, NMRA NUMBER 5594, OF THE FIRM DEKKER, FORMERLY DEKKER/PERICH/SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 09/01/2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRETT FRAUENGLASS OF THE FIRM DEKKER, FORMERLY DEKKER/PERICH/SABATINI. I FURTHER CERTIFY THAT I HAVE DESIGNATED BRETT FRAUENGLASS, AIA TO PERSONALLY VISIT, ON MY BEHALF, THE PROJECT SITE ON 09/18/2024 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY FOR PHASE 1-3 OF ALLASO VINEYARDS.

*Exceptions noted below for consideration based on proposed timeline:*

1. *Handrails to be added at ramp at SW corner of Building 1.*
2. *Canopy at West end of Building 1 is not yet installed.*
3. *Handrail extension needs to be corrected at NE corner of Building 1.*
4. *Railing extensions to be cut back East of Building 1.*
5. *Lights to be installed prior to occupancy at site ramp East of Building 1.*
6. *Construction fence for Phases 1-3 is not yet installed. Emergency egress from west stairwell of Building 1 to be maintained at all times. General contractor will be responsible for maintaining this egress path.*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

 September 24, 2024  
\_\_\_\_\_  
Signature of Architect

Hannah Feil Greenhood, WELL AP, LEED AP BD+C, AIA  
Dekker, formerly Dekker/Perich/Sabatini  
Date 09/24/2024



## PROJECT DATA

**ZONING:**  
IDO - MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)

**LEGAL DESCRIPTION:**  
LOTS 17 THRU 20, BLOCK 9, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 AND  
PARCEL 4, SUBDIVISION PLAT OF DESERT RIDGE PLACE UNIT 1.

**SITE AREA:** 3.306 ACRES

**ZONE ATLAS:** C-20-2

**SETBACKS:** FRONT: 5' MIN / N/A MAX,  
STREET SIDE: 8' MIN / N/A MAX  
INTERIOR: 0', REAR: 15'

**BUILDING HEIGHT:**  
MAXIMUM ALLOWED: 38'-0" (30' WITHIN 100 FEET FROM NORTH AND WEST PROPERTY LINE)  
ACTUAL HEIGHT: 38'-0" (28' WITHIN 100 FEET FROM NORTH AND WEST PROPERTY LINE)

**SPRINKLED:** YES, NFPA 13R

**FIRE FLOW:** 1,500 GPM

**HYDRANTS REQUIRED:** 2

**BUILDING OCCUPANCY:** R-2

**CONSTRUCTION TYPE:** TYPE VA

**BUILDING SF:** REFER TO GH01 AND GH02

## PARKING DATA

**PARKING CALCULATION:** (TABLE 5-5-1, UC-MS-PT)  
REQUIRED SPACES: 150 SPACES  
1.5 SPACES / DWELLING UNITS: 111 X 1.5 = 167 SPACES  
10% TRANSIT REDUCTION (NEW BUS STOP TO BE PROVIDED ON VENTURA STREET)  
167 X 10% = 17 PARKING SPACE REDUCTION  
167 - 17 = 150 REQUIRED PARKING SPACES  
PROVIDED CARPORT SPACES: 108  
PROVIDED GARAGE SPACES: 7  
PROVIDED UNCOVERED SPACES: 45  
FIRE HYDRANT: 160 TOTAL SPACES  
(2 STANDARD SPACES + 1 VAN ACCESSIBLE SPACES)

**BICYCLE PARKING REQUIRED:** (TABLE 5-5-5)  
10% SPACES PER REQUIRED OFF-STREET PARKING SPACES  
10% X 150 = 15  
**BICYCLE PARKING PROVIDED** = 20 SPACES

**ELECTRIC VEHICLE CHARGING STATION (EV)**  
E.V.C. PARKING (DO SECTION 5-5(C)(1)): 2% OF PARKING PROVIDED WHEN MORE THAN 200 OFF-STREET PARKING SPACES  
REQUIRED = NONE  
PROVIDED: 16 PARKING SPACES (SEE PARKING SPACES MARKED WITH 'EV')

## SHEET KEYED NOTES

CODE	DESCRIPTION
1	BUILDING OVERHANG
2	BUILDING PATIO WALL
3	CONCRETE ACCESSIBLE RAMP, SEE AS501
4	CONCRETE STAIRS WITH HANDRAILS
5	CONCRETE SIDEWALK/WALKWAY, SEE AS501
6	CONCRETE CURB, SEE AS501 AND CIVIL
7	CARPORT
8	CLEAR SIGHT TRIANGLE
9	GAS METER
10	ELECTRIC VEHICLE CHARGING STATION
11	EXIT ONLY ACCESS SWING GATE, PROVIDE KNOX KEY PER FIRE DEPARTMENT REQUIREMENTS
12	FENCE: MASONRY AND PICKET PERIMETER FENCE, REF: C6/AS501
13	GARAGE BUILDING
14	GATE: PEDESTRIAN 6'-0" HEIGHT, 3'-0" WIDTH, ORNAMENTAL, SEE C5/AS502
15	GATE: VEHICULAR, 6'-0" HEIGHT, PROVIDE KNOX KEY PER FIRE DEPARTMENT REQUIREMENTS
16	GATE: KEY PEDESTAL
17	ILLUMINATED MONUMENT SIGN, REF: E2/AS501 AND E2/AS501
18	PNM EASEMENT
19	PEDESTRIAN CROSSWALK
20	SHADE STRUCTURE
21	SITE SIGNAGE: ACCESSIBLE PARKING, SEE AS501
22	SITE SIGNAGE: VAN ACCESSIBLE PARKING, SEE AS501
23	TRASH ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, SEE AS501
24	USPS MAILBOXES AND PARCELS, REF: AE107 AND AE108
26	NEW BUS STOP CONCRETE PAD

## GENERAL SHEET NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- B. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. ALL CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- D. ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5.8 OUTDOOR LIGHTING.
- E. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- F. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- G. PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- H. SOLID WASTE CONNECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- I. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- J. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- K. ADERS/ KEY PADS, PUSH BUTTONS, AND CALL BOXES TO BE LOCATED ON AN ACCESSIBLE ROUTE.
- L. THE SITE GRADING SHALL BE CONSTRUCTED TO DRAIN AWAY FROM BUILDINGS, REFER TO CIVIL.
- M. SOLID WASTE TO HAVE ACCESS TO SECURED PARKING COURT VIA FOB OR REMOTE ACCESS.

## LEGEND

- CONCRETE PAVERS: BELGARD LAFIT GRANA SLAB, RANDOM 3 PIECE PATTERN, COLOR: SIERRA, SEE A1/AS503
- CONCRETE WITH INTEGRAL COLOR, DAVIS COLORS: FLAGSTONE
- KOOL DECK - POOL AREA SURFACING
- LANDSCAPE BED AREA, SEE LANDSCAPE SHEETS
- TURF GRASS AREA, SEE LANDSCAPE SHEETS
- STAMPED CONCRETE
- TRASH RECEPTACLE, SEE SPECS



ARCHITECTURE IN PROGRESS

DEKKER  
PERICH  
SABATINI

ARCHITECT



ENGINEER

PROJECT

ALLASO VINEYARDS  
8901 Holly Avenue NE  
Albuquerque, NM 87122

ISSUED FOR  
BUILDING  
PERMIT

## REVISIONS

- 08/01/2021 ADDENDUM 01
- 10.13.2021 ADDENDUM 02

DRAWN BY

AG

REVIEWED BY

RAW, HFG, JFM

DATE

09/01/2021

PROJECT NO.

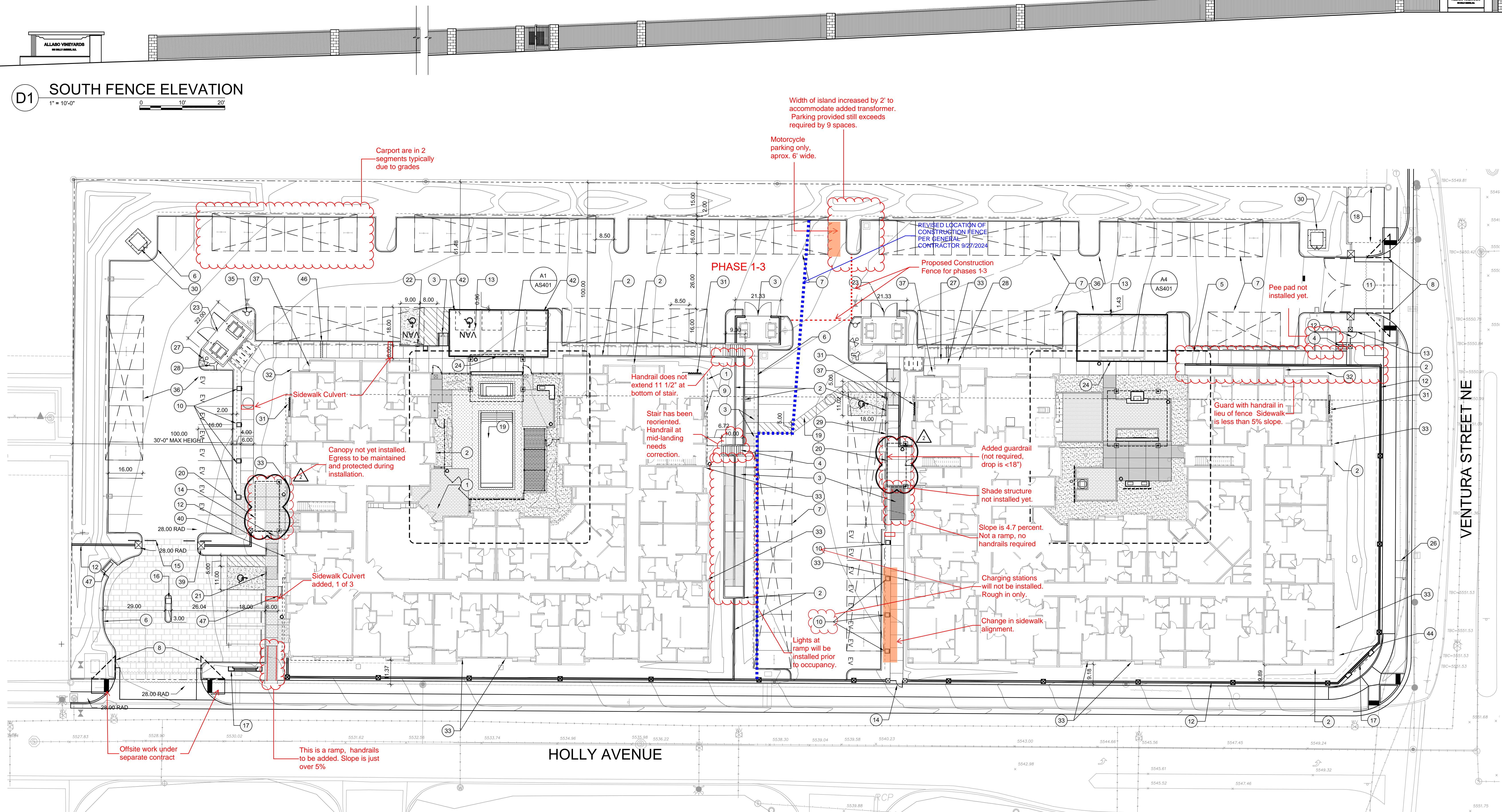
21-0031.001

DRAWING NAME

SITE PLAN

SHEET NO.

AS101  
OF



D1 SOUTH FENCE ELEVATION  
1" = 10'-0"

A1 SITE PLAN - OVERALL  
1" = 20'-0"