CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

January 8, 2021

Jesus Lopez, P.E.
Respec
5971 Jefferson St. NE
Albuquerque, NM 8710

RE: Allaso Vineyards Apartments
Conceptual Drainage Report
Engineer's Stamp Date: No Engineer's Stamp Date
Hydrology File: C20D086

Dear Mr. Lopez:

Based upon the information provided in your submittal received 12/16/2020, the Conceptual Drainage Report is approved for action by the DRB on Site Plan for Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Prior to Building Permit Submittal

The following comments need to be addressed for approval:

Sheet C-101

1. Stormwater discharges across the sidewalk are not allowed on collector roads and above; provide sidewalk culverts or drain lines through the curb. (See below)

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NM 87103

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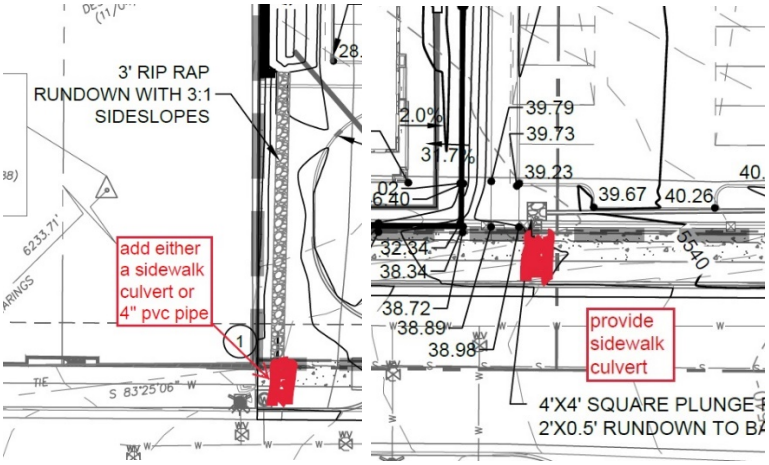
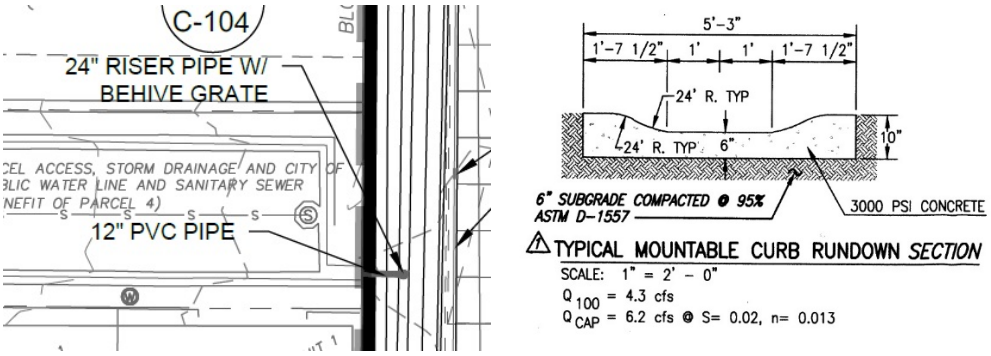


2. Please show in more detail as how the proposed 12" PVC will be outfall into the existing mountable curb rundown (see below). A section showing the riser pipe with all needed elevations may be of some help.



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Sheet C-102

1. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100-year 6-hour storm event.

2. Please follow the DPM (signed 06/08/20) Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the BMP by 0.42 inches for new development sites and 0.26 inches for redevelopment sites.

3. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$.

Sheet C-104

1. Section 2. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrance. It appears that this needs to be provided.

2. Section 8. A waterblock, 0.87' high, per COA Paving Detail No. 2426, is required at the driveway entrance. It appears that this needs to be provided.

3. Section 9. Please add a note stating that the contractor shall waterproof the existing retaining wall below the 100-yr 24-hour water surface elevation of 26.0 per City standards.

Sheet C-105

1. Please provide all structural calculations that corresponds with the retaining details to ensure that they will work especially the ones right next to the R.O.W. These calculations can be submitted as a separate document with an engineering stamp and signature & date with the submittal.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Allaso Vineyards Apartments Holly & Ventura Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots 17-19 NAA Tract 3 Unit 3 Block 9 and Lot 4 Unit 1 Desert Ridge

City Address: _____

Applicant: RESPEC Contact: _____

Address: 5971 Jefferson Street NE Suite 101 Albuquerque NM 87109

Phone#: (505) 253-9812 Fax#: _____ E-mail: Jesus.Lopez@respec.com

Owner: Titan Development Contact: Josh Rogers

Address: 6300 Riverside Plaza Lane NW, Suite 200 Albuquerque, NM 87120

Phone#: 505 362-6047 Fax#: 505 362-6047 E-mail: jrogers@titan-development.com

TYPE OF SUBMITTAL: ____ PLAT (___# OF LOTS) ____ RESIDENCE _X_ DRB SITE ____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _X_ No

DEPARTMENT: ____ TRAFFIC/ TRANSPORTATION _X_ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
_X_ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

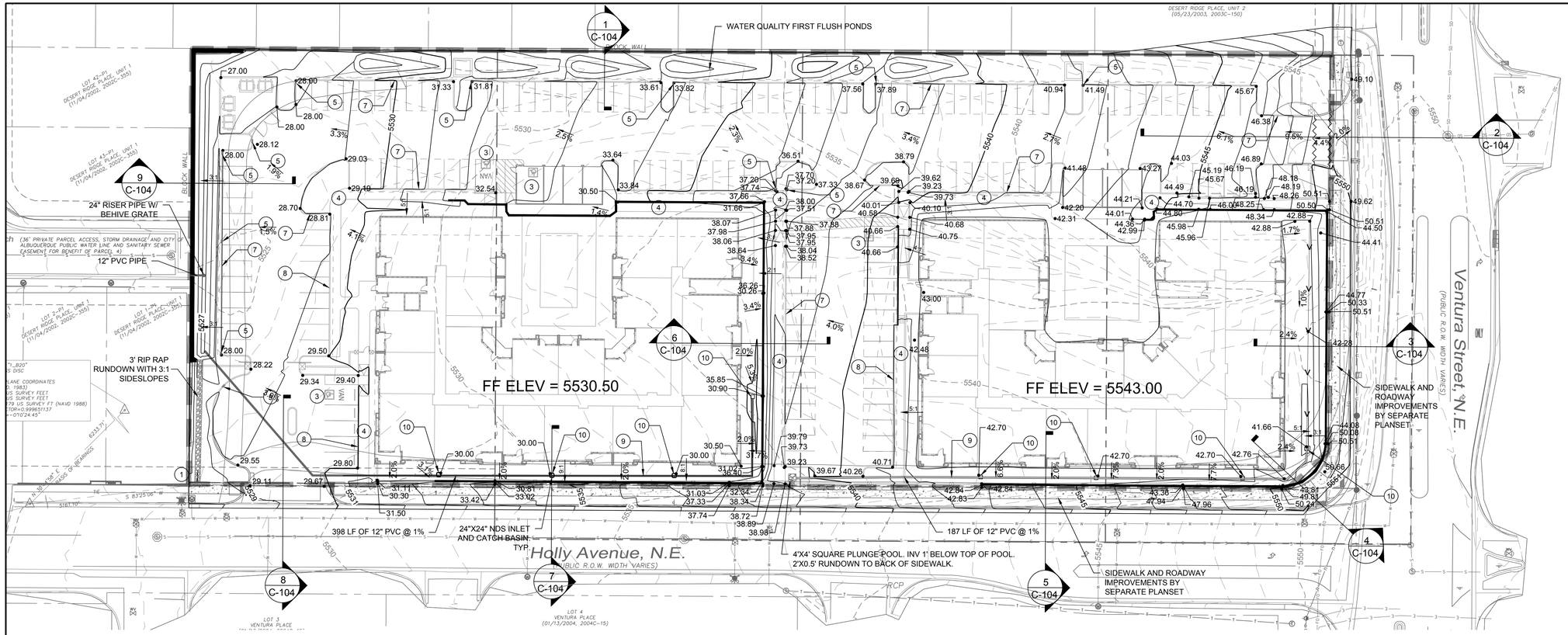
TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
_X_ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/17/2020 By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

- EXISTING PROPERTY LINE
- 5730 EXISTING MAJOR CONTOUR
- 5728 EXISTING MINOR CONTOUR
- 5730 PROPOSED MAJOR CONTOUR
- 5728 PROPOSED MINOR CONTOUR
- LIMITS OF GRADING
- PROPOSED GRADE BREAK
- PROPOSED SWALE
- 3.8% SLOPE ARROW
- PROPOSED RIP RAP

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 01/11/21
BY: Ronald R. Bohannetti
HydroTrans #: C20D086
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

KEYED NOTES

1. LIMITS OF DISTURBANCE
2. SAWCUT & MATCH GRADE AT EXISTING ASPHALT PAVEMENT
3. 1.5% MIN. SLOPE 1.8% MAX. SLOPE ALL DIRECTIONS AT ACCESSIBLE PARKING SPACES
4. 1.8% MAX. CROSS SLOPE AT ACCESSIBLE SIDEWALK
5. INSTALL 2' CURB OPENING
6. INSTALL RIP RAP PER SPECIFICATIONS THIS SHEET
7. INSTALL CONCRETE CURB & GUTTER
8. INSTALL CONCRETE CURB
9. INSTALL 12" PVC PIPE @ 1% SLOPE
10. INSTALL 24"X24" NDS CATCH BASIN SEE DETAILS THIS SHEET

RIP RAP SPECIFICATIONS

RIP RAP SHALL BE OVER FILTER MATERIAL AND CONSIST OF RIP RAP AND CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

MAX DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
3"	10

FILTER MATERIAL SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

U.S. STANDARD SIEVE SIZE	% PASS BY WT
1"	100
3/4"	45-65
#4	25-45
#40	0-20
#200	0-5

FILTER MATERIAL SHALL BE PLACED UNDER THE RIP RAP CHANNEL AND COMPACTED INTO SURFACE VOIDS OF THE RIP RAP. THE SUBGRADE SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLAYING RIP RAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEGREGATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIP RAP.

GRADING NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. PARKING LOT STRIPING HAS BEEN SCREENED BACK FOR VISUAL CLARITY
3. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS.
4. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
5. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
6. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
7. ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
8. ALL AREAS WITH SLOPES GREATER THAN 3:1 SHALL BE LANDSCAPED WITH 3/4" MINUS ALL FACED FRACTURED GRAVEL AND SEPARATION FABRIC.

SPOT ELEVATION SYMBOLS

1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.

- TA 66.00 TOP OF ASPHALT
- 66.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- TP 66.00 TOP OF POND
- BP 66.00 BOTTOM OF POND
- TS 66.00 TOP OF SIDEWALK
- FL 66.00 FLOWLINE
- BW 66.00 BOTTOM WALL

0 30 60
SCALE: 1" = 30'

DESIGNED JL
DRAWN JMS
CHECKED JL
DATE 12.17.2020

REVISION

RESPEC
5971 Jefferson Street Suite 101
Albuquerque, New Mexico 87109
Water and Natural Resources
respec.com 505.253.9718

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12/2020

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nm811 Know what's below. Call before you dig.

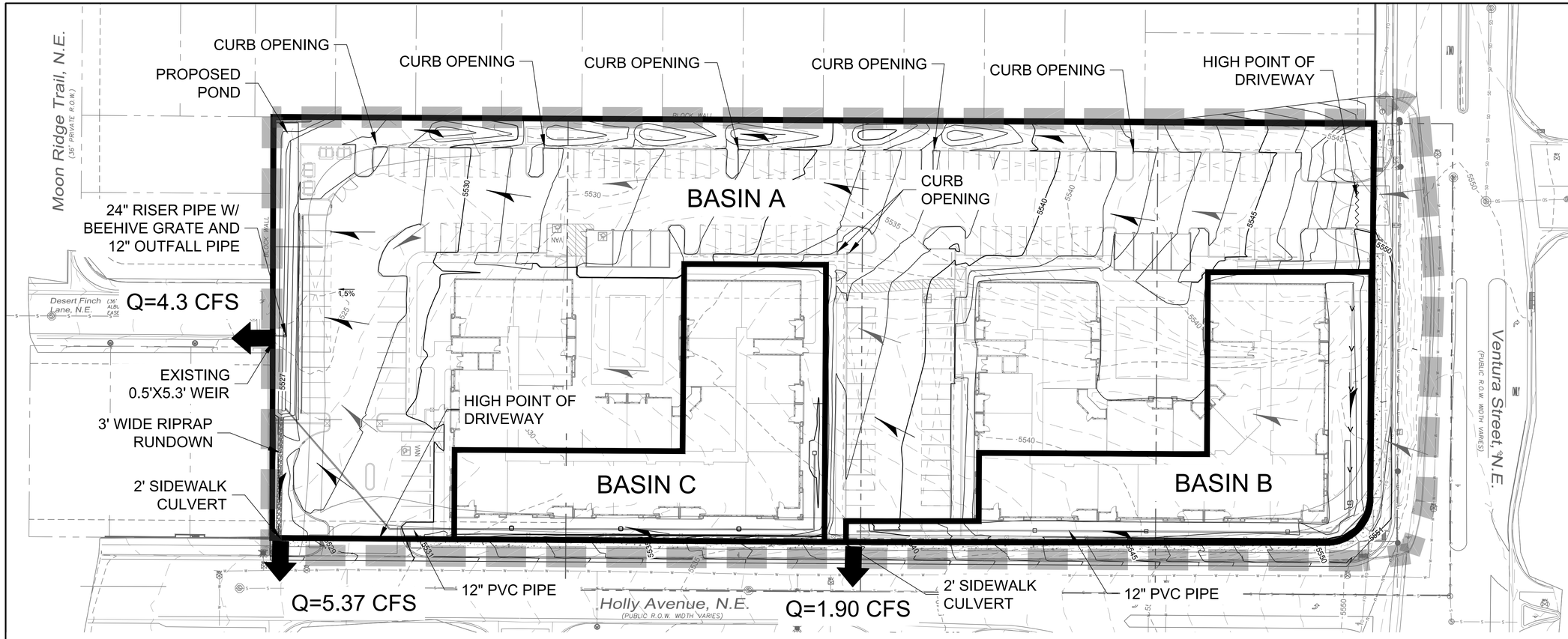
PROJECT NAME: ALLASO VINEYARDS APARTMENTS HOLLY & VENTURA

SHEET TITLE: GRADING PLAN

SUBMITTED FOR:

SHEET NUMBER: C-101

NAME: L:\Active Projects\04012 Titan Holly Apts\3. DWG\Sheets\04012 Grading Plan.dwg PLOT DATE: Dec 17, 2020 9:29am



DRAINAGE SUMMARY

Background
Lots 17-19 NAA Tract 3 Unit 3 Block 9 and Lot 4 Unit 1 Desert Ridge are located at the Northwest corner of Holly Ave. and Ventura St. NE in Albuquerque, New Mexico, and contains approximately 3.6 acres. The site is currently undeveloped and does not appear to receive any offsite flows. The proposed development is an approximately 110-unit apartment complex containing 2 buildings, asphalt paved parking lot, and landscaping areas. The drainage intent under developed conditions is to match the stormwater drainage characteristics as outlined in the approved "Desert Ridge Place Drainage Plan and Calculations" (JMA, 2002).

Methodology
The assumptions and criteria including land treatment types and impervious areas as well as the hydrologic analysis for the site were performed in accordance with the city of Albuquerque Development Process Manual (DPM). AHYMO-S4 (April 2018) was used to develop peak flow rates for the 100-year 24-hour design storm in accordance with Section 22.2 of the DPM. Hydraulic calculations were performed per section 22.3 of the DPM.

Existing Conditions
The existing site is currently undeveloped with moderate vegetation and has mild to steep slopes from east to west ranging from 3% to 50%. Most of the flows are conveyed to the west property line via two natural channels that run through the site from east to west. The flow discharge into Desert Finch Lane via a 5.3' wide by 0.5' tall weir in the block wall.

Proposed Conditions
In general, Basin DEV A will surface drain via sheet flow and concentrated gutter flows towards the northern portion of the site. A landscape swale with retention pools will pick up first flush flows from the parking lot. the remainder of the flows will be conveyed to the detention pond at the west end of the site.

Basin DEV B includes a portion of the roof drainage of the east building and the southeast area of the site. These flows will be conveyed towards a series of inlets and into a 12" storm drain, with eventual discharge into a rip-rap lined plunge pool and french drain for first flush water quality purposes. The flows will then discharge into Holly Ave. via a single sidewalk culvert.

Basin DEV C includes a portion of the roof drainage on the west building and the surrounding southern area. The flows in this area will also be intercepted by a series of inlets and a 12" storm drain, which further conveys the flows to the detention pond at the western end of the site. The flows will be reduced to match the allowable discharge per the approved Desert Ridge Drainage Plan prior to discharging into Desert Finch Dr. via the outlet weir. The pond will also serve as a water quality feature, capturing the first flush flows prior to stormwater release.

Hydrologic and hydraulic calculations for the developed conditions can be found on this sheet.

AHYMO INPUT: EXISTING CONDITIONS

Subbasin	Area (ac)	Treatment Type Area (ac)				Treatment Type Area (%)			
		A	B	C	D	A	B	C	D
EX 1	3.66	3.32	0.00	0.34	0.00	90.7%	0.0%	9.3%	0.0%

AHYMO INPUT: PROPOSED CONDITIONS

Subbasin	Area (ac)	Treatment Type Area (ac)				Treatment Type Area (%)			
		A	B	C	D	A	B	C	D
DEV A	2.41	0.00	0.29	0.29	1.84	0.0%	11.9%	11.9%	76.2%
DEV B	0.48	0.00	0.06	0.06	0.36	0.0%	12.5%	12.5%	75.0%
DEV C	0.43	0.00	0.02	0.02	0.39	0.0%	4.7%	4.7%	90.7%

AHYMO OUTPUT: EXISTING CONDITIONS

Subbasin	A (ac)	Q (cfs)	V (acft)	Q/A (cfs/ac)
EX 1	3.66	0		0.0

AHYMO OUTPUT: PROPOSED CONDITIONS

Subbasin	A (ac)	Q (cfs)	V (acft)	Q/A (cfs/ac)
DEV A	2.41	9.52	0.455	4.0
DEV B	0.48	1.9	0.09	4.0
DEV C	0.43	2.96	0.134	6.9
DEV A + DEV C	2.84	12.21	0.589	4.3
DEV A + DEV C (ROUTED)	2.84	11.57	0.589	4.1

WATER QUALITY PONDING

Area (ac)	% Imp.	Imp. Area (ac)	WQ Depth (in)	Required WQ Vol (cu ft)	Provided WQ Vol (cu ft)
3.32	78.0%	2.590	0.34	3196	4431

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 1/11/21
BY: Renée C. Brissette
HydroTrans # C20D086
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Manning Formula: 12" PVC PIPE

Circular Channel
Input

Flow	2.96 cfs
Slope	0.01 ft/ft
Manning's n	0.011
Diameter	12 in

Output

Depth	0.618 ft
Flow Area	0.510 sf
Velocity	5.81 fps
Velocity Head	0.524 ft
Top Width	0.972 ft
Froude Number	1.41
Critical Depth	0.738 ft
Critical Slope	0.00618 ft/ft

Manning Formula: 2' SIDEWALK CULVERT

Rectangular Channel
Input

Depth	0.5 ft
Slope	0.01 ft/ft
Manning's n	0.013
Base Width	2 ft
Right Side Slope	0:1
Left Side Slope	0:1

Output

Flow	5.50 cfs
Flow Area	1.00 sf
Velocity	5.50 fps
Velocity Head	0.469 ft
Top Width	2.00 ft
Froude Number	1.37
Critical Depth	0.617 ft
Critical Slope	0.00549 ft/ft

LEGEND

- PROPERTY LINE
- 5380 EX CONTOUR MAJOR
- 5379 EX CONTOUR MINOR
- 5380 PROP CONTOUR MAJOR
- 5379 PROP CONTOUR MINOR
- EXISTING SUBBASIN
- PROPOSED SUBBASIN
- PROPOSED SWALE
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW
- PROPOSED DISCHARGE LOCATION

0 30 60
SCALE: 1" = 30'

DESIGNED JL
DRAWN JMS
CHECKED JL
DATE 12.17.2020

REVISION

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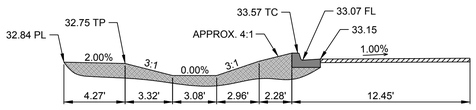
SHEET TITLE: DRAINAGE PLAN

SUBMITTED FOR:

SHEET NUMBER: C-102

NAME: L:\Active Projects\04012 Titan Holly Apts\3. DWG\Sheets\04012 Drainage Plan.dwg PLOT DATE: Dec 17, 2020 9:28am



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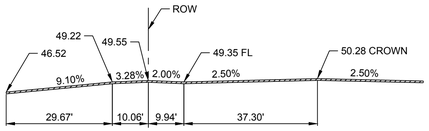

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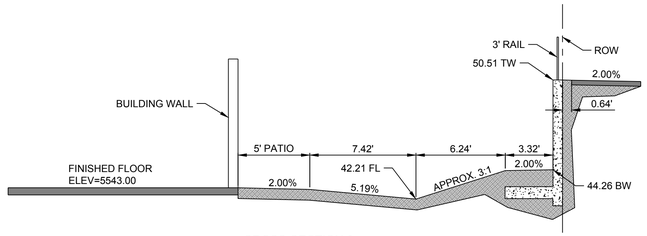

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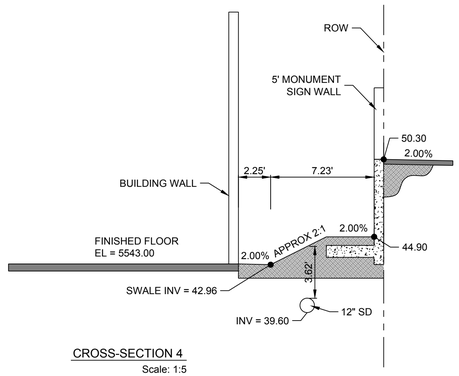

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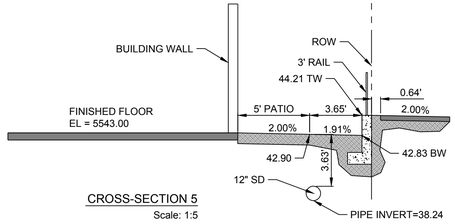

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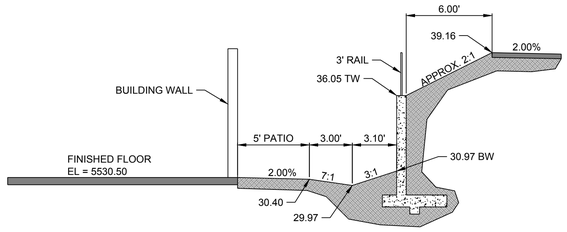

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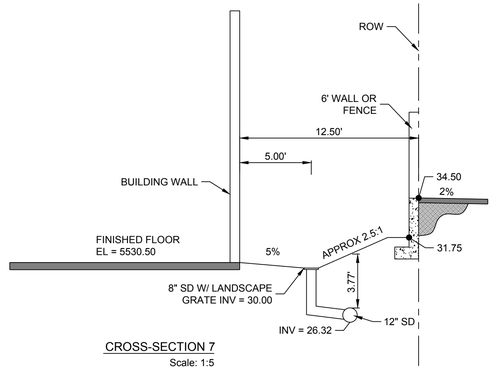

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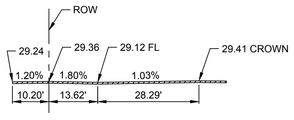

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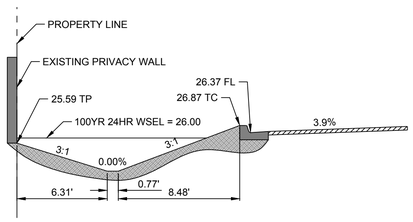

CROSS-SECTION 9
Scale: 1:5

City of Albuquerque
Planning Department
Development Review Services
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BY: Renée C. Brissette
HydroTrans # C20D086

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0 30 60
SCALE: 1" = 30'

DESIGNED JL
DRAWN JMS
CHECKED JL
DATE 12.16.2020

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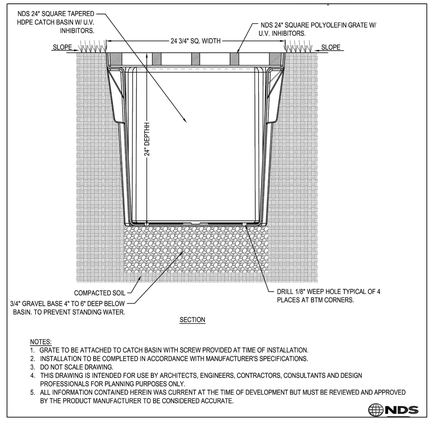
PROJECT NAME: ALLASO VINEYARDS APARTMENTS HOLLY & VENTURA

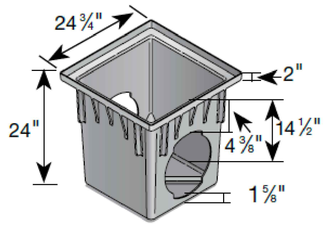
SHEET TITLE: SECTIONS

SUBMITTED FOR:

SHEET NUMBER: C-104

NAME: I:\Active Projects\04012 Titan Holly Apts\3. DWG\Sheets\04012 Grading Plan.dwg PLOT DATE: Dec 16, 2020 3:47pm





24"x24" NDS CATCH BASIN
Scale: NTS

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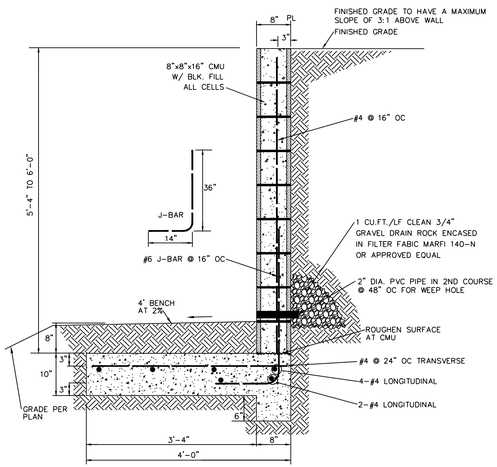
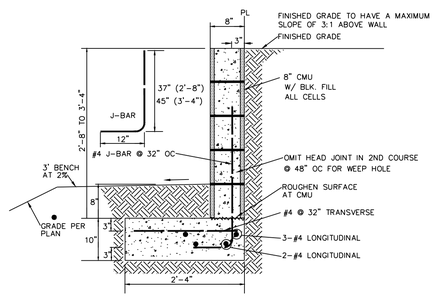
RETAINING WALL GENERAL NOTES

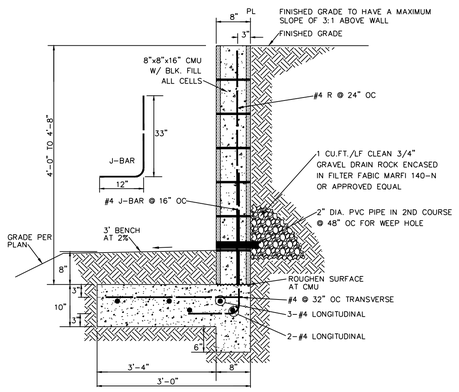
1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MIN CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL BLOCKS TO BE GROUTED SOLID W/ CONCRETE BLOCK FILL. GROUT SHALL MEET 2,000 PSI AT 28 DAYS.
5. CONCRETE FOR FOOTINGS SHALL MEET 3,000 PSI AT 28 DAYS, WITH 3/4" MAX SIZE AGGREGATE, AND A MAX SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET REQUIREMENTS OF ASTM C270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8x8x16, OR AS OTHERWISE INDICATED) AND SHALL MEET REQUIREMENTS OF ASTM C90.
8. ALL REINFORCING SHALL MEET REQUIREMENTS OF ASTM A615, GRADE 40.
9. INSTALL 9GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC MAX)
10. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
11. TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A CMU PERIMETER WALL IS TO BE INSTALL ON TOP
12. DRAIN BLOCKS FOR PARTY WALLS, AT LOCATIONS SHOWN ON THE PLANS AND AS SPECIFIED BY OWNER, SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL ABOVE THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED.
13. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFITTI COATING.
14. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (SPECIFIED BY OWNER), CONSTRUCT PILASTERS AT 16' OC (MAX), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS, AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
15. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNER'S DIRECTION.
16. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 12' OC (MAX)
17. ALL WALLS SHOWN ON PLANS HAVE BEEN DESIGNED TO ACCEPT A 6' (MAX) CMU PARTY WALL.
18. FOR LOCATIONS TO INCLUDE PARTY WALLS, EXTEND #4 BARS AT 48" OC WITH MINIMUM INBEDMENT OF 24" IN RETENTION WALL.
19. WATERPROOFING SHALL BE HYDROCIDE LIQUID MEMBRANE HLM 5000 OR APPROVAL EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
20. PARTY WALL DETAILS NOT INCLUDED, TO BE PROVIDED BY OWNER
21. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.



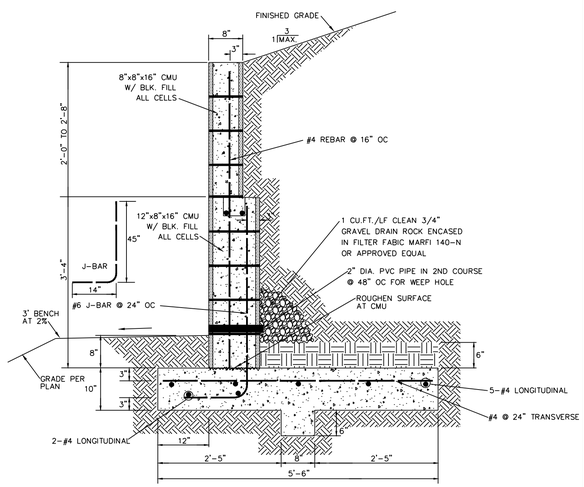
RETAINING WALL – TYPE D L TOE
5'-4" TO 6'-0"



RETAINING WALL – TYPE B–L TOE
2'–8" TO 3'–4"



RETAINING WALL – TYPE C–L TOE
4'–0" TO 4'–8"



RETAINING WALL – TYPE D–3–S
5'–4" TO 6'–0"

NOTE:
MAXIMUM SLOPE OF FINAL GRADE SHALL BE 3:1 WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT, OR FINISHED GRADE WITHIN THIS AREA MAY BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL AND AN ADDITIONAL LOADING OF 100 PSF MAX. MAY BE APPLIED.

DESIGNED JL
DRAWN JMS
CHECKED JL
DATE 12.17.2020

REVISION

RESPEC
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Water and Natural Resources
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PROJECT NAME: ALLASO VINEYARDS APARTMENTS HOLLY & VENTURA

SHEET TITLE: DETAILS

SUBMITTED FOR:

SHEET NUMBER: C-105

NAME: L:\Active Projects\04012 Titan Holly Apts\3. DWG\Sheets\04012 Grading Plan.dwg PLOT DATE: Dec 17, 2020 9:36am