

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 20, 2023

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: Wilshire Subdivision
Grading & Drainage Plan
Engineer's Stamp Date: 03/08/23
Hydrology File: C20D089**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 03/09/2023, the Grading & Drainage Plan is approved for action by the Development Hearing Officer (DHO) on Preliminary/Final Plat.

PRIOR TO WORK ORDER:

1. Please submit the Grading & Drainage Plan to Hydrology for review and approval for Work Order and Grading Permit. Please also include a filled-out Waiver form for On-site Stormwater Quality Pond. The payment-in-lieu will have to be paid prior to Work Order close out. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: WILSHIRE PLACE SUBDIVISION **Building Permit #:** _____ **Hydrology File #:** C20

DRB#: PR-2022-006568 **EPC#:** _____ **Work Order#:** _____

Legal Description: LOTS 4 AND 5, BLOCK 16, TRACT 3, UNIT3 NORTH ALBUQUERQUE ACRES

City Address: WILSHIRE AVE.
UPC #102006432125040529 AND 102006433825040528

Applicant: THE Group **Contact:** Ron Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124

Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc

Owner: Nazish LLC **Contact:** Shakeel Rizvi

Address: 8504 Waterford Pl. N.E., Albuquerque, NM, 87122

Phone#: 505-315-6563 **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: ☒ PLAT (8 # OF LOTS) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DEPARTMENT: ☐ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

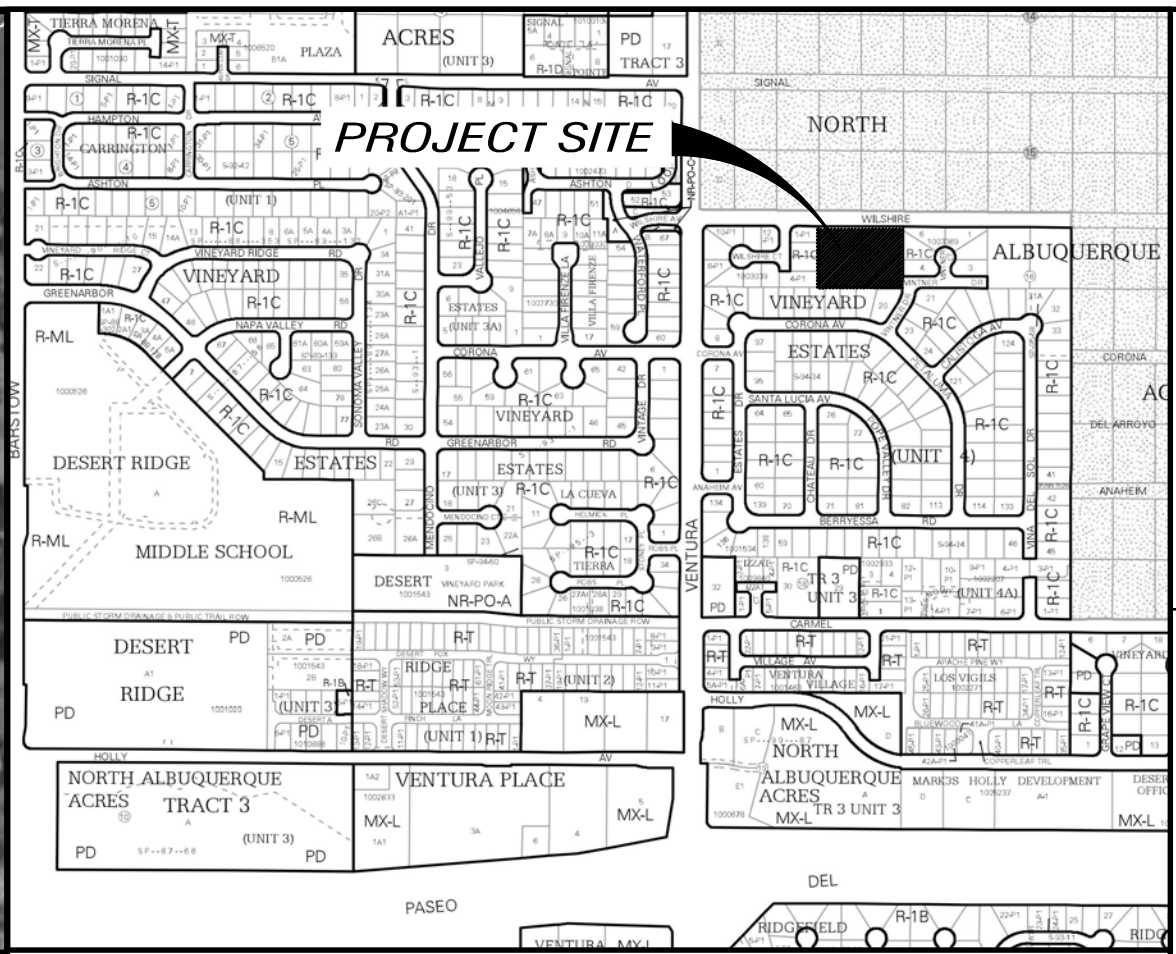
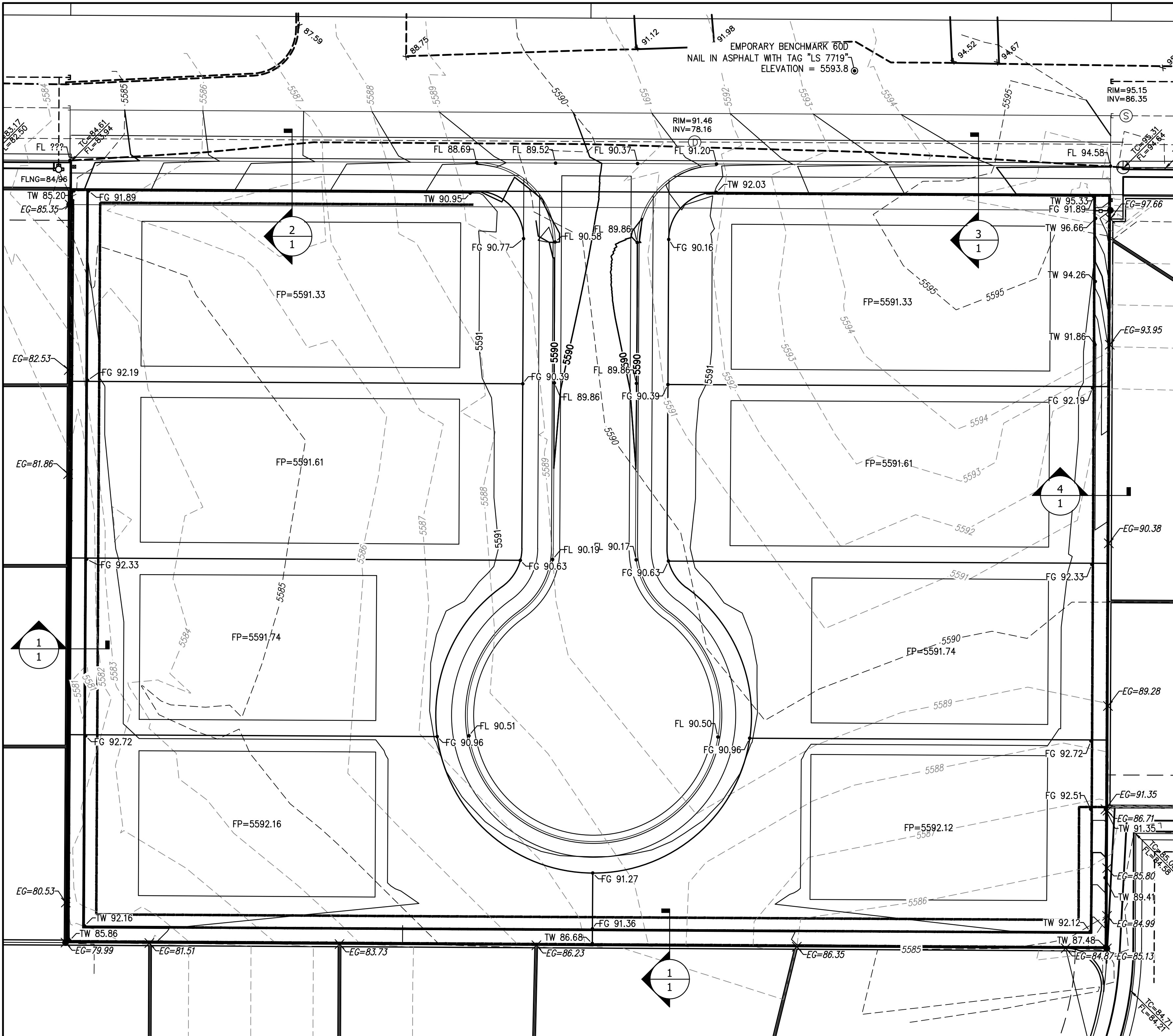
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 3/07/23 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



FIRM MAP NO. 35001C0141G

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

DRAINAGE INFORMATIONS

LOCATION & DESCRIPTION

THE PROPOSED SITE IS COMPRISED OF 2 LOTS OF 0.85 ACRES LOCATED ON WILSHIRE AVE. EASTL FO VENTURA. AS SEEN ON THE VICINITY MAP.

FLOODPLAIN STATUS

THE CONSTRUCTION OF THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

EQUATIONS:
WEIGHTED $E = Ea \cdot Aa + Eb \cdot Ab + Ec \cdot Ac + Ed \cdot Ad$ / (Total Area)
 $FLOW = Qa \cdot Aa + Qb \cdot Ab + Qc \cdot Ac + Qd \cdot Ad$
WHERE FOR 100-YEAR, 6-HOUR STORM(ZONE 3)
 $Ea = 0.67$ $Qa = 1.84$
 $Eb = 0.86$ $Qb = 2.49$
 $Ec = 1.09$ $Qc = 3.17$
 $Ed = 2.58$ $Qd = 4.49$

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE DEVELOPMENT PROCESS MANUAL, SECTION 6.

EXISTING DRAINAGE

THIS SITE IS AN INFILL DEVELOPMENT LOCATED WITHIN A DEVELOPED AREA OF THE NORTH ALBUQUERQUE ACRES DMP THAT HAS ALTERED HISTORIC DRAINAGE PATTERNS. HISTORIC FLOW IS DIRECTED TO WILSHIRE AND ROUTED TO INTERCEPTED BY THE STORM DRAIN INLETS IN VENTURA.

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED AS 8 SINGLE FAMILY LOTS WITH DEVELOPED RUNOFF DIRECTED TO WILSHIRE AVE. FLOW WILL CONTINUE ON WILSHIRE TO INLETS IN VENTURA

REQUIRED WATER QUALITY VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOT DEPICTED HEREON SHALL BE RESPONSIBLE CASH IN LIEU PAYMENT FOR THE WATER QUALITY VOLUME. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 42,279 SQ.FT.
REQUIRED VOLUME = 42,279 * 0.42/12 = 1,655 CU.FT.
VOLUME PROVIDED = 0 CU.FT.



LEGAL DESCRIPTION
WILSHIRE PLACE SUBDIVISION
(BEING A REPLAT OF LOTS 4 AND 5, BLOCK 16, TRACT 3)
WITHIN NORTH ALBUQUERQUE ACRES
IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

NOTES

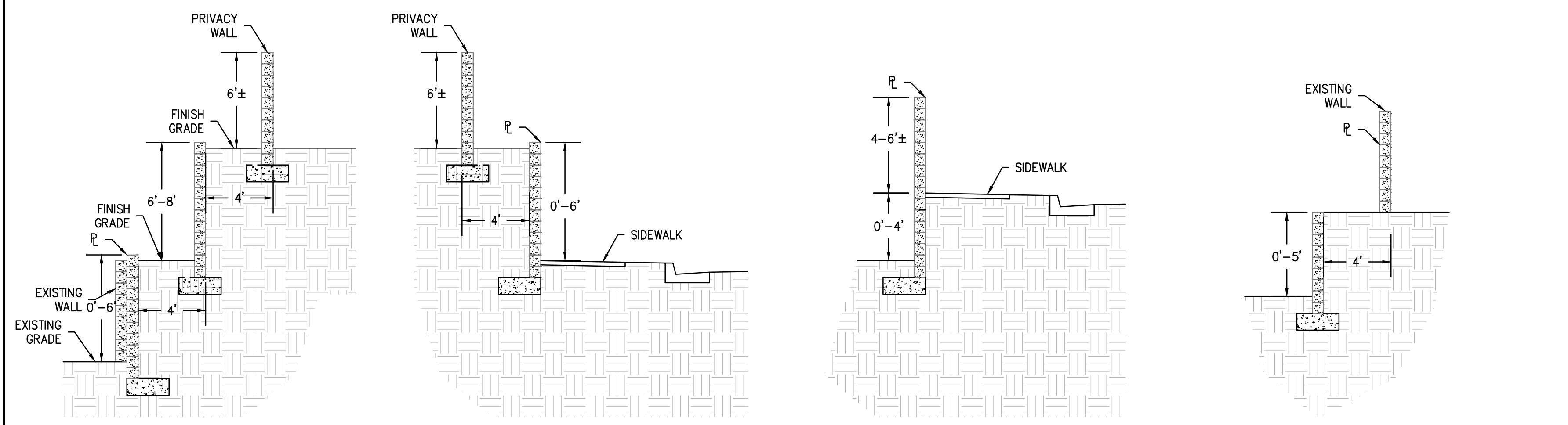
ALL WORK WITHIN CITY ROW SHALL REQUIRE WORK ORDER.
THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE GROUP. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
- THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED IN ACCORDANCE WITH THE SEED MIX INDICATED IN THE OXBOW GUIDELINES.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

LEGEND

- FLOW ARROW
- SLOPE ARROW
- EL=11.28 PROPOSED ELEVATION
- X 66.33 EXISTING ELEVATION
- WATER BREAK
- 5000 PROPOSED CONTOUR
- 5000 EXISTING CONTOUR
- PROPOSED EASEMENT
- EXISTING WALL
- PROPOSED WALL
- SWALE / FLOW LINE
- SPLASH PAD



1 SECTION AT PROPERTY LINE Scale: 1"=5'
2 SECTION AT PROPERTY LINE Scale: 1"=5'
3 SECTION AT PROPERTY LINE Scale: 1"=5'
4 SECTION AT PROPERTY LINE Scale: 1"=5'

AS BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S	DATE
STAKED BY	DATE	FIELD	DATE
VERIFICATION BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	
BENCH MARKS			
	DATE	BY	
SURVEY INFORMATION			
NO.	DATE	BY	
ENGINEER'S SEAL			
REMARKS		BY	
DESIGN		DATE 3/23	
REVISIONS		DATE 3/23	
DESIGNED BY REH		CHECKED BY REH	
DRAWN BY REH		CHECKED BY REH	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP WILSHIRE PLACE SUBDIVISION GRADING AND DRAINAGE GRADING PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP NO.	SHEET	OF
		1	1