

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 18, 2023

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: Wilshire Subdivision
Revised Grading & Drainage Plan
Engineer's Stamp Date: 05/01/23
Hydrology File: C20D089**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 05/01/2023, the Revised Grading Plan is approved for Work Order, Grading Permit, and for action by the Development Hearing Officer (DHO) on Preliminary/Final Plat. Please place this stamp approved Grading & Drainage Plan to the Work Order set of construction drawings.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____
UPC #102006432125040529 AND 102006433825040528

Applicant: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: ☒ PLAT (8 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

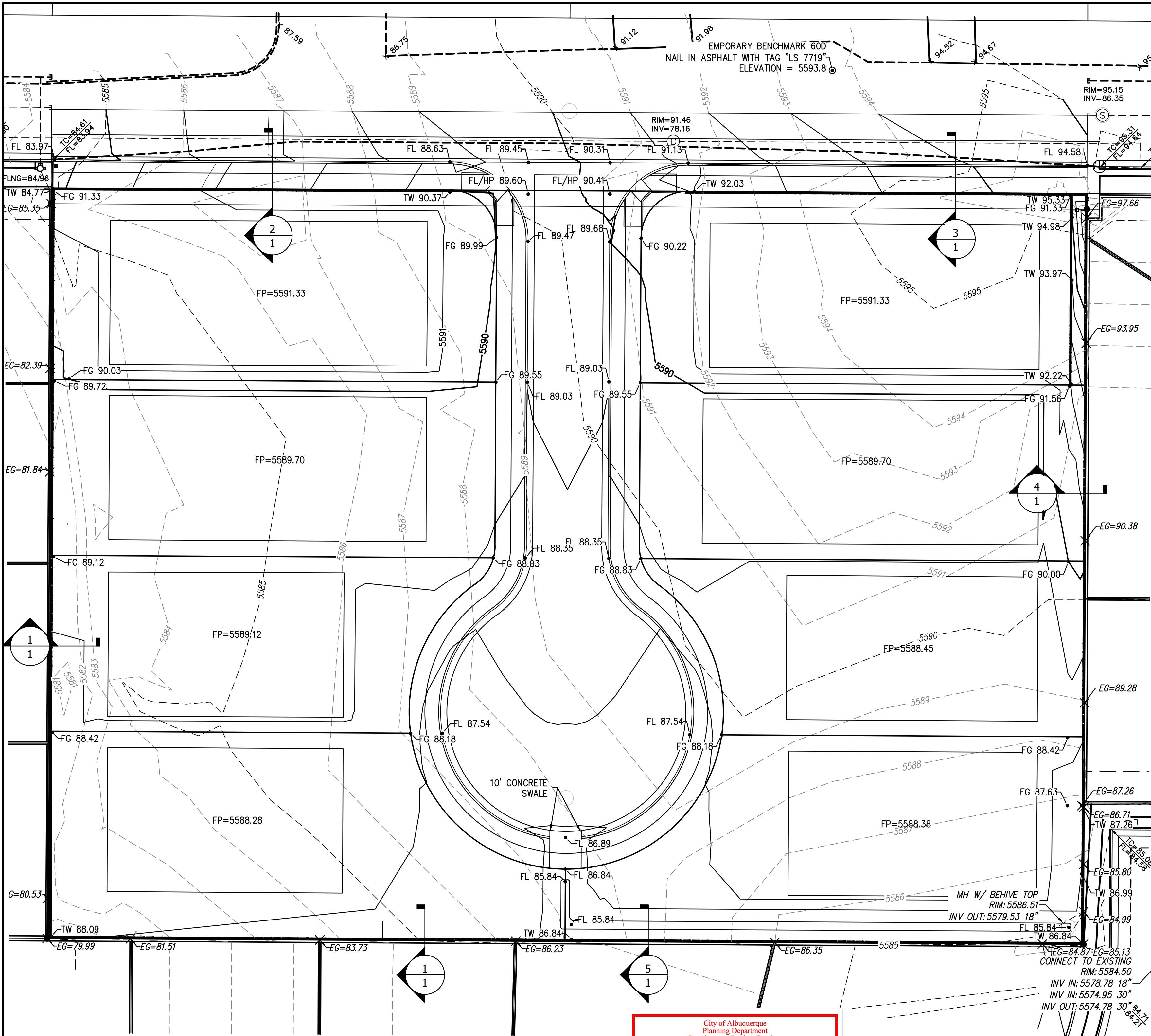
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____ *Jim Gandy*

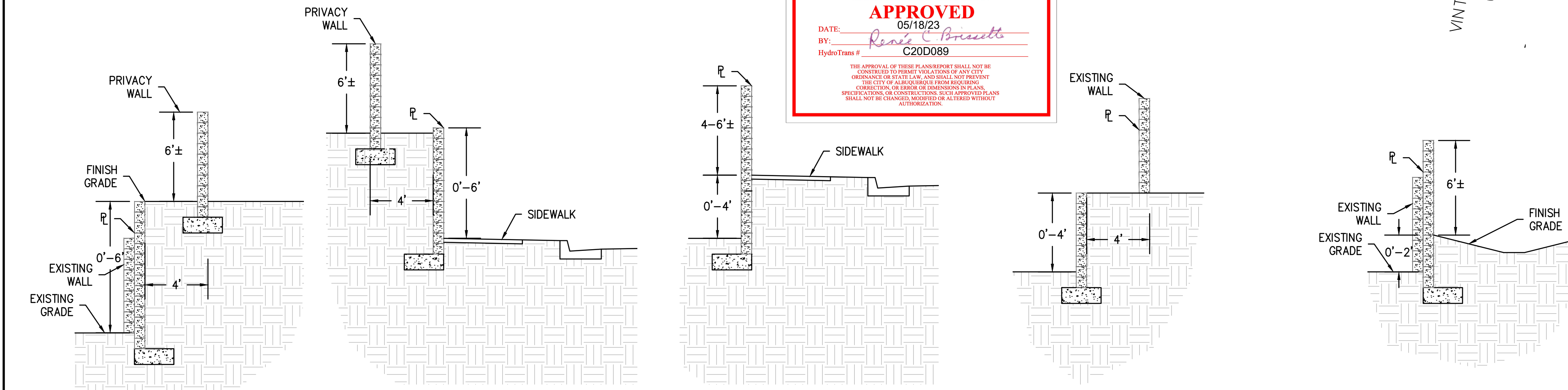
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 05/18/23
BY: *Renee Brissett*
HydroTrans # C20D089



1 SECTION AT PROPERTY LINE Scale: 1"=5'
2 SECTION AT PROPERTY LINE Scale: 1"=5'
3 SECTION AT PROPERTY LINE Scale: 1"=5'
4 SECTION AT PROPERTY LINE Scale: 1"=5'
5 SECTION AT PROPERTY LINE Scale: 1"=5'



FIRM MAP NO. 35001C0141G

- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

DRAINAGE INFORMATIONS

LOCATION & DESCRIPTION
THE PROPOSED SITE IS COMPRISED OF 2 LOTS OF 0.85 ACRES LOCATED ON WILSHIRE AVE. EAST FL VENTURA. AS SEEN ON THE VICINITY MAP.

FLOODPLAIN STATUS
THE CONSTRUCTION OF THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED IN THIS SHEET.

METHODOLOGY
EQUATIONS:
WEIGHTED E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)
FLOW = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$
WHERE FOR 100-YEAR, 6-HOUR STORM (ZONE 3)
 $E_a = 0.67$ $Q_a = 1.84$
 $E_b = 0.86$ $Q_b = 2.49$
 $E_c = 1.09$ $Q_c = 3.17$
 $E_d = 2.58$ $Q_d = 4.49$

PRECIPITATION
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE DEVELOPMENT PROCESS MANUAL, SECTION 6.

EXISTING DRAINAGE
THIS SITE IS AN INFILL DEVELOPMENT LOCATED WITHIN A DEVELOPED AREA OF THE NORTH ALBUQUERQUE ACRES DMP THAT HAS ALTERED HISTORIC DRAINAGE PATTERNS. HISTORIC FLOW IS DIRECTED TO WILSHIRE RIANI ROUTED TO INTERCEPTED BY THE STORM DRAIN INLETS IN VENTURA.

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOWS (cfs)	CFS/AC (cfs)
EXISTING	78799	100%	78799	0%	0	0%	0	0.6700	4400
PROPOSED	78799	0%	0	0%	0	40%	31520	60%	47279

DEVELOPED CONDITION
THIS SITE WILL BE DEVELOPED AS 8 SINGLE FAMILY LOTS WITH DEVELOPED RUNOFF DIRECTED TO A WATER QUALITY POND. DISCHARGE WILL BE VIA INLET MANHOLE TO EXISTING STORM DRAIN IN VINTNER DRIVE.

REQUIRED WATER QUALITY VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

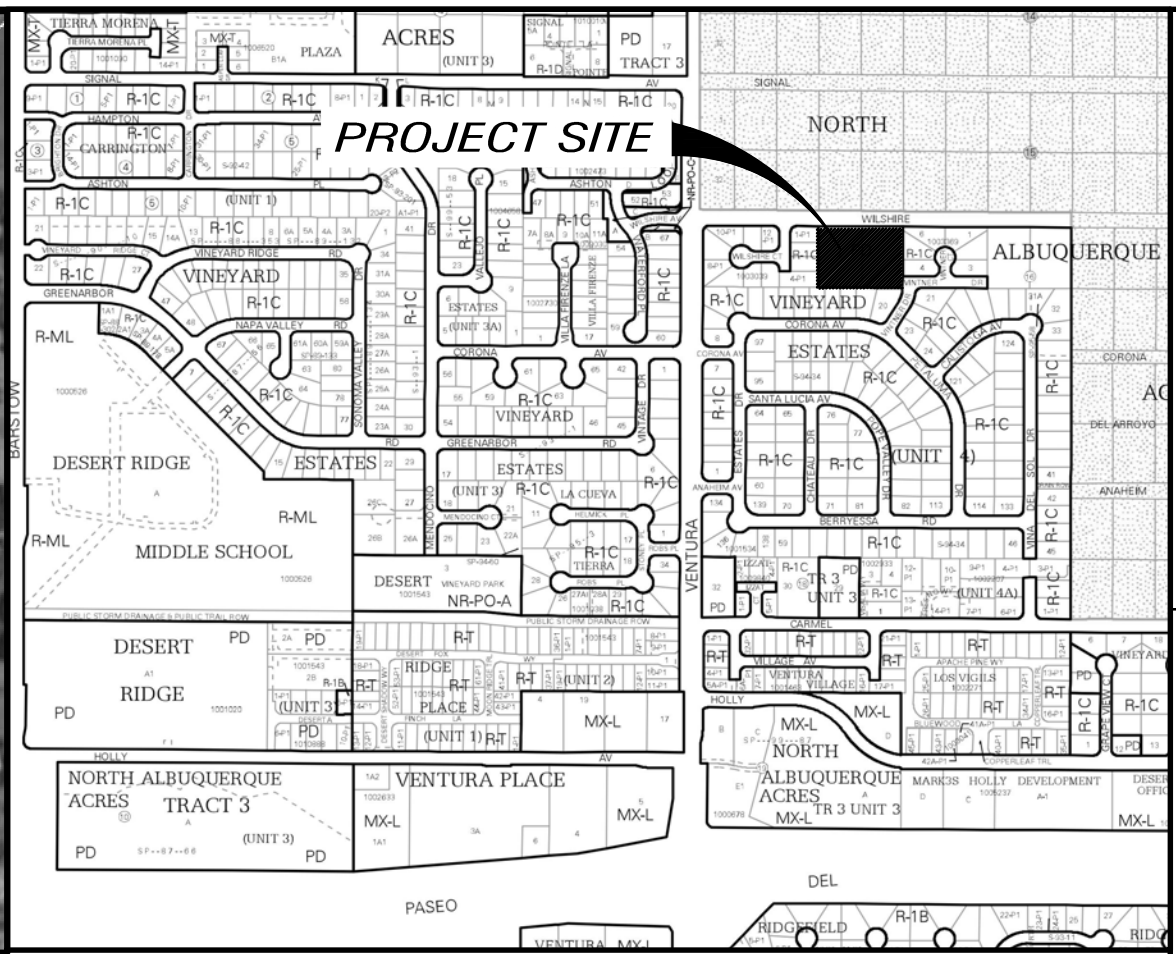
LOT DEPICTED HEREON SHALL BE RESPONSIBLE MAINTAINING THE DEPICTED WATER QUALITY VOLUME WITH A CASH IN LIEU PAYMENT FOR THE REMAINING WATER QUALITY VOLUME. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 47,279 SQ.FT.

REQUIRED VOLUME = $47,279 \cdot 0.42/12 = 1,655$ CU.FT.

VOLUME PROVIDED = 479 CU.FT.

LEGAL DESCRIPTION
WILSHIRE PLACE SUBDIVISION
(BEING A REPLAT OF LOTS 4 AND 5, BLOCK 16, TRACT 3)
WITHIN NORTH ALBUQUERQUE ACRES
IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST
ELENA GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO



VICINITY MAP C-19-Z

- NOTES**
- ALL WORK WITHIN CITY ROW SHALL REQUIRE WORK ORDER.
- THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
- THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE GROUP. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.
- GENERAL NOTES:**
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
 - THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
 - THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ALL DISTURBED AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED IN ACCORDANCE WITH THE SEED MIX INDICATED IN THE OXBOW GUIDELINES.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

LEGEND	REMARKS
→ FLOW ARROW	
XXX SLOPE ARROW	
EL=11.28 PROPOSED ELEVATION	
66.33 EXISTING ELEVATION	
WATER BREAK	
5000 PROPOSED CONTOUR	
5000 EXISTING CONTOUR	
PROPOSED EASEMENT	
EXISTING WALL	
PROPOSED WALL	
SWALE / FLOW LINE	
SPLASH PAD	

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
WILSHIRE PLACE SUBDIVISION
GRADING AND DRAINAGE
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP NO.	SHEET 1 OF 1	

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	INSPECTOR'S	DATE	FIELD NOTES	BY	NO.	DATE
STAKED BY	DATE	FIELD	DATE				
VERIFICATION BY	DATE						
CORRECTED BY	DATE						
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							

RON E. HENSLEY
NEW MEXICO
21850
REGISTERED PROFESSIONAL ENGINEER
MAY 1, 2023