

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

April 18, 2017

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

RE: **Holly Estates Subdivision**
Ronan and Jenson Court NE
Engineer's Certification Date: 4/5/17
Hydrology File: C21D040

Dear Mr. Hensley:

Based upon the information provided in your submittal received 4/6/17, the Engineer's Certification is not approved for Release of Financial Guarantee. The following comments must be addressed prior to Release of Financial Guarantee:

1. Along the north side Lot 9 the flowline is set against the retaining wall. The swale needs to be bladed out here to keep the flowline off the wall.
2. In the southwest corner of Lot 4 there is low ponding area with the flowline set against the wall. Restore positive drainage to Ronan Court.
3. Along the western boundary of lots 1-4, there is a low ponding area that will pond against the high retaining wall. This needs to be bladed to drain back east towards Ronan Court as shown in plans. Alternatively, drain pipe could be placed here to dump directly into the storm water quality pond.
4. The RCP Stub-out outlet for the storm water quality pond is full of sediment and needs to be vacuum cleaned.
5. Place rebar or protective fencing across the RCP Stub-out to prevent accidental entry.
6. Blading out the storm water quality pond revealed a bump up in the adjoining properties' retaining wall. This left the pond about 1 foot deeper than the bottom of the footer. Rebury and restore lateral buttressing to the exposed footer in the immediate area of the exposed footer.
7. Remove "For Information Only" references.

CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



The **H**ENSLEY **E**NGINEERING **G**ROUP

April 6, 2017

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: C21D040 – Holly Estates Subdivision Drainage Certification

The as built Grading Plan for the above site is attached. The subdivision is a replat of ““Lots 3-6 Block 20 Tract 3 Unit 1 of North Albuquerque Acres”. The drainage from and within the subdivision perform as designed, and all grades inside the subdivision do not deviate by more than 18" of the DRB approved grades within 50 feet of the subdivision's perimeter. The pad elevations of all lots have been verified.

We are requesting a review for Pad and Grading Certification Approval. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.

ron@thegroup.cc

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.

3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDD OR LANDSCAPED

5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.

6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

THE ENGINEER HAS UNDERTAKEN LIMITED VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THEREABOUTS, AND ASSUMES NO LIABILITY FOR DAMAGE TO OR DESTRUCTION OF ANY UTILITY OR OTHER PROPERTY, OR FOR ANY INJURY TO PERSONS OR PROPERTY, ARISING FROM THE FAILURE OF ANY UTILITY LINE OR FROM THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND MUNICIPAL ORDINANCES, RULES, AND REGULATIONS PERTAINING TO THE LOCATION OF THESE UTILITIES AND WITH THE PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

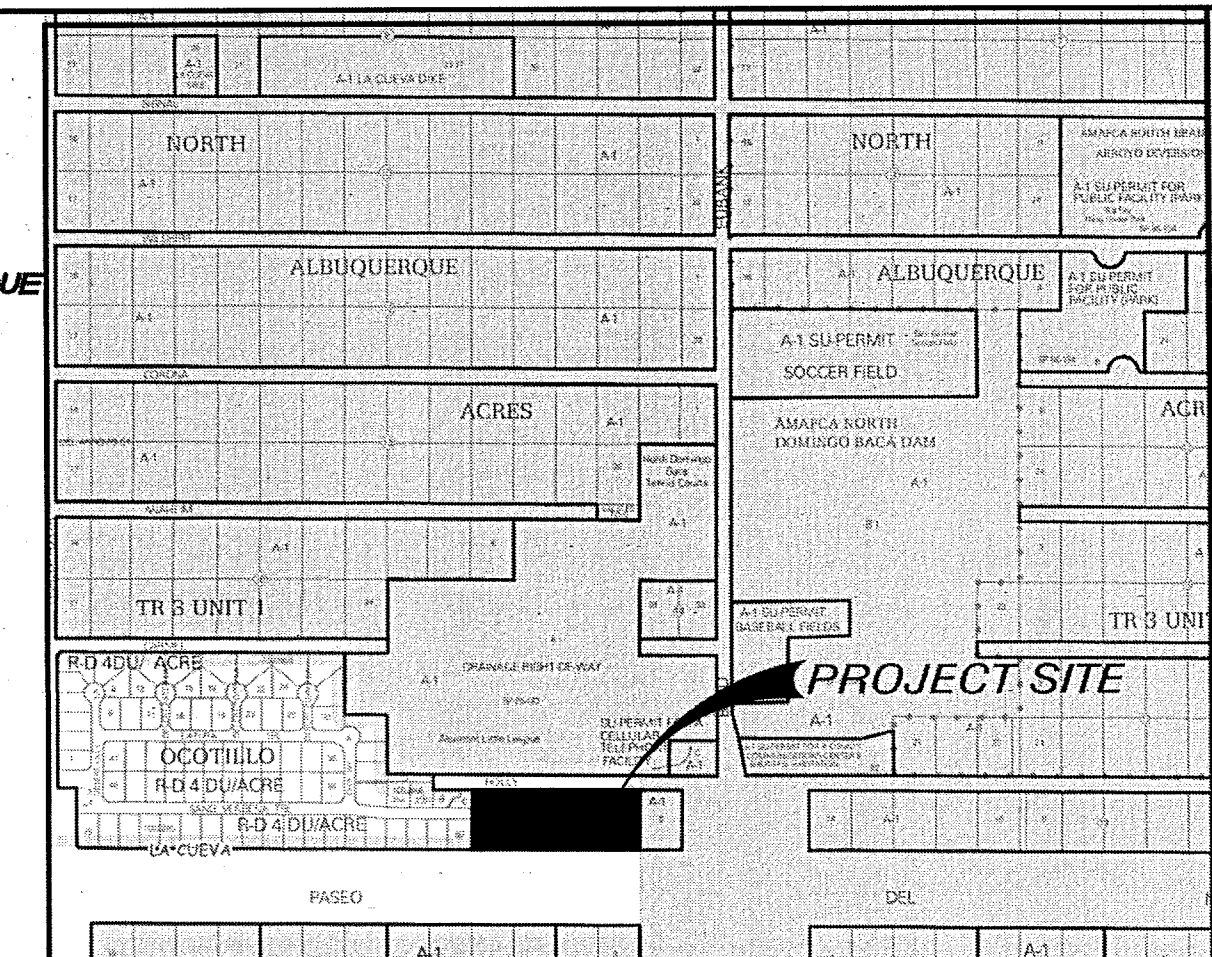
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

(BEING A REPLAT OF LOTS 3-6, BLOCK 20, TRACT 3 UNIT 1)
 HOLLY SUBDIVISION
 WITHIN NORTH ALBUQUERQUE ACRES
 IN PROJECTED SECTION 17, TOWNSHIP 11 NORTH, RANGE 4 EAST ELENA
 GALLEGOS LAND GRANT NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

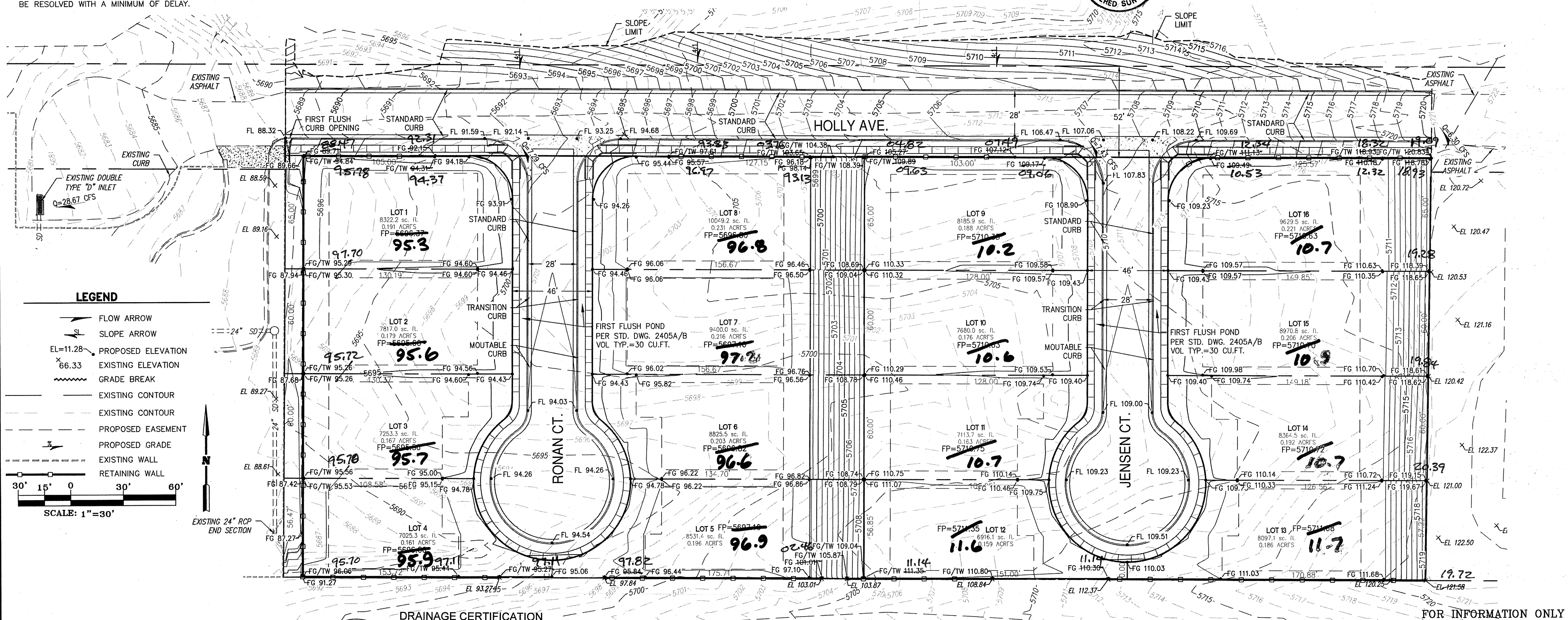
I, Philip W. Turner, a professional surveyor licensed in accordance with the laws of the state of New Mexico, do hereby certify that the "as-built" information shown on these documents was obtained from field construction layout and "as-built" surveys performed by me or under my direct supervision, that the "as-built" information shown on these drawings was annotated by me, or under my direct supervision, and that this "as-built" information is true and correct to the best of my knowledge and belief. I further state and affirm that I, Philip W. Turner, am not responsible for the design concepts, calculations engineering or intent of these record drawings.

Philip W. Turner, N.M.P.S. 10204

Date _____



VICINITY MAP C-21-Z



LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

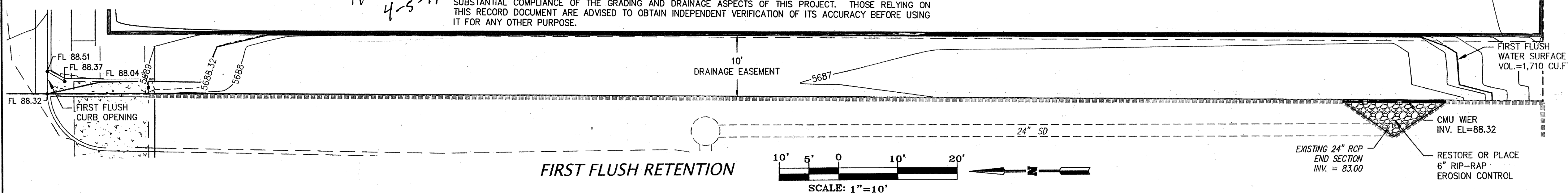
$$\text{REQUIRED VOLUME} = 4500*6+4250*2+3550+3240+3950*3+3610*3 * \\ (0.44-0.10)/12 = 1,729 \text{ CU.FT.}$$

VOLUME PROVIDED = $1,850 + 30 \cdot 16 = 2,330$ CU.FT.

RON E. HENSEL, NMP# 21850, OF THE FIRM THE GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE REQUIREMENTS AND THE DESIGN INTENT OF THE APPROVED PLAN DATED 6/6/2016. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PHILIP W. TURNER, NMP# 10204, OF THE FIRM TERRAMETRICS NMP# 10204. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/4/2017, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

TABLE 1



FOR INFORMATION ONLY

THE
group

THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE RIO
RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

HOLLY SUBDIVISION
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

APPROVED

NOV 02 2016

CITY PROJECT No. **729183**

ZONE MAP NO.
C-21-Z

SHEET 3 OF 13

[illegible]