



Richard J. Berry, Mayor

April 18, 2017

Ron Hensley, P.E.  
THE Group  
300 Branding Iron Rd. SE  
Rio Rancho, NM 87124

RE: **Holly Estates Subdivision**  
**Ronan and Jenson Court NE**  
**Engineer's Certification Date: 4/5/17**  
**Hydrology File: C21D040**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 4/6/17, the Engineer's Certification is not approved for Release of Financial Guarantee. The following comments must be addressed prior to Release of Financial Guarantee:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Along the north side Lot 9 the flowline is set against the retaining wall. The swale needs to be bladed out here to keep the flowline off the wall.
2. In the southwest corner of Lot 4 there is low ponding area with the flowline set against the wall. Restore positive drainage to Ronan Court.
3. Along the western boundary of lots 1-4, there is a low ponding area that will pond against the high retaining wall. This needs to be bladed to drain back east towards Ronan Court as shown in plans. Alternatively, drain pipe could be placed here to dump directly into the storm water quality pond.
4. The RCP Stub-out outlet for the storm water quality pond is full of sediment and needs to be vacuum cleaned.
5. Place rebar or protective fencing across the RCP Stub-out to prevent accidental entry.
6. Blading out the storm water quality pond revealed a bump up in the adjoining properties' retaining wall. This left the pond about 1 foot deeper than the bottom of the footer. Rebury and restore lateral buttressing to the exposed footer in the immediate area of the exposed footer.
7. Remove "For Information Only" references.

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**T**he **H**ENSLEY **E**NGINEERING **G**ROUP

April 6, 2017

Hydrology Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: C21D040 – Holly Estates Subdivision Drainage Certification

The as built Grading Plan for the above site is attached. The subdivision is a replat of ““Lots 3-6 Block 20 Tract 3 Unit 1 of North Albuquerque Acres”. The drainage from and within the subdivision perform as designed, and all grades inside the subdivision do not deviate by more than 18" of the DRB approved grades within 50 feet of the subdivision's perimeter. The pad elevations of all lots have been verified.

We are requesting a review for Pad and Grading Certification Approval. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads 'Ron E. Hensley'.

Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)

