

August 6, 2015

Ms. Rita Harmon
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification, Montecito West Unit 2
DRB Case No. 1009506, (D09/D004)

Dear Rita:

We are submitting a partial grading and drainage certification for Montecito West Unit 2. The partial certification includes lots 6-7 and 13-18. Enclosed for your review is the approved grading and drainage plan dated 1/13/14 (Sheet 2) and 3/6/14 (Sheet 1), with as-built elevations.

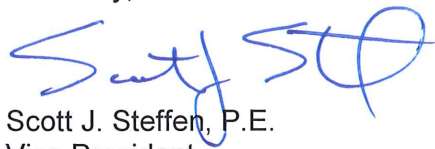
In addition, this certification includes the previously approved certification dated 7/06/15 for Lots 1-5 and 8-12, which are also noted on the as-built drawing. The as-built survey was provided by Surv-Tek.

During site inspection you might notice that there are depressions in the back yards. The purpose of the depressions is to provide a place to spoil dirt that is generated with the footing construction and they will be filled at the time of home construction. The depressions are not intended to serve as ponds.

After reviewing these as-built elevations and visiting the site on 08/04/15, it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage.

Your review and approval is requested for Building Permit Approval for the above listed lots. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Peter Steen, Pulte Homes
Kevin Patton, Pulte Homes

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

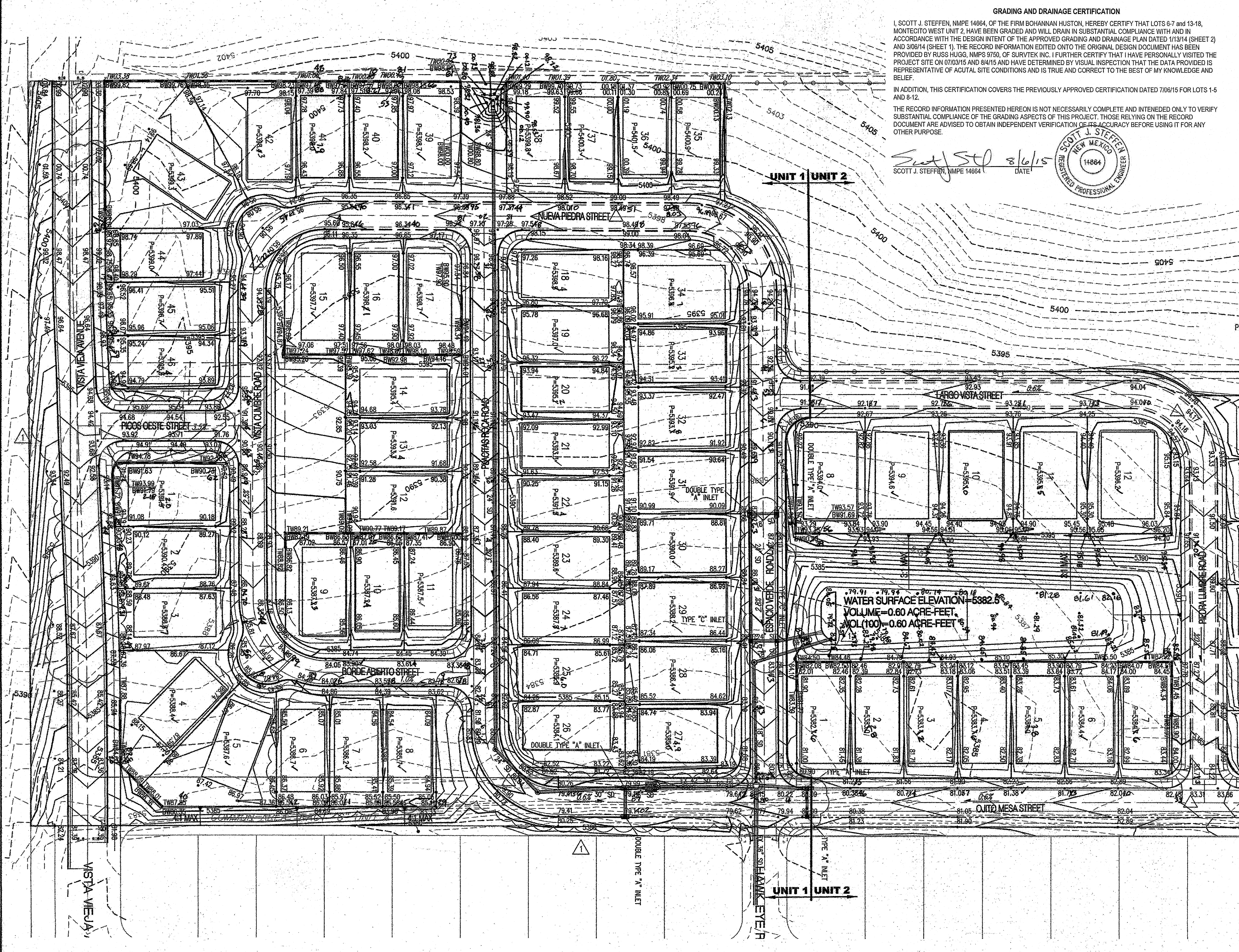
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



P:\2014\10164\CDP\Plans\General\20140164_GP.dwg
March 06, 2014 - 5:11pm

GRADING AND DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, NMPE 14864, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 6-7 AND 13-18, MONTECITO WEST UNIT 2, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 1/31/14 (SHEET 2) AND 3/26/14 (SHEET 1). THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS HUGG, NMPS 9750, OF SURVTEK INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07/03/15 AND 8/4/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

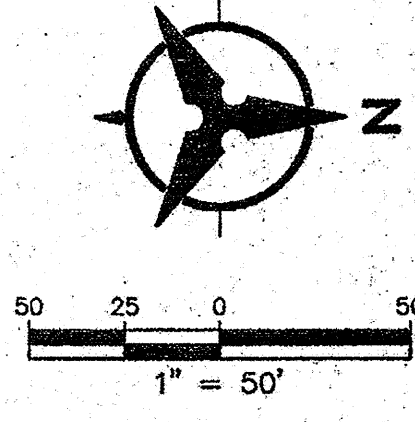
IN ADDITION, THIS CERTIFICATION COVERS THE PREVIOUSLY APPROVED CERTIFICATION DATED 7/26/15 FOR LOTS 1-5 AND 8-12.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN, NMPE 14864
DATE: 8/6/15
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
14864

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY X&B VINYARD, DATED 10-30-13.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 38, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. Boulders greater than 3 feet in diameter excavated during grading activities shall be stockpiled and disposed of at the discretion of the owner.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



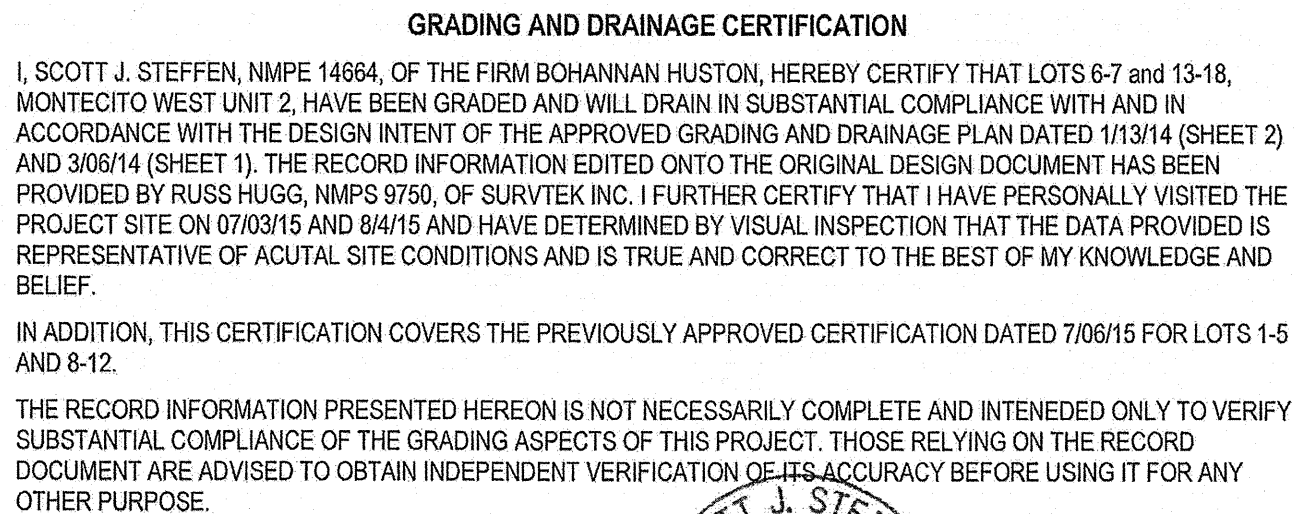
- #### LEGEND
- 91.62 PROPOSED SPOT ELEVATION
 - x 92.46 EXISTING SPOT ELEVATION (GRID & TC)
 - ===== EXISTING CURB & GUTTER
 - ===== PROPOSED MOUNTABLE CURB & GUTTER
 - ===== PROPOSED STANDARD CURB & GUTTER
 - 5470 - EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - ===== PROPOSED RETAINING WALL
 - ===== PROPOSED SLOPE
 - ===== PROPOSED STORM DRAIN
 - ===== PROPOSED STORM DRAIN MANHOLE
 - ===== PROPOSED STORM DRAIN INLET
 - ===== HIGH POINT
 - SPOT ELEVATIONS IF=TOP OF FLOODWALL, BW=FINISHED GRADE ON LOW SIDE OF WALL, TW=FINISHED GRADE ON HIGH SIDE OF WALL.


Bohannon & Huston
www.bhinc.com 800.877.5332


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

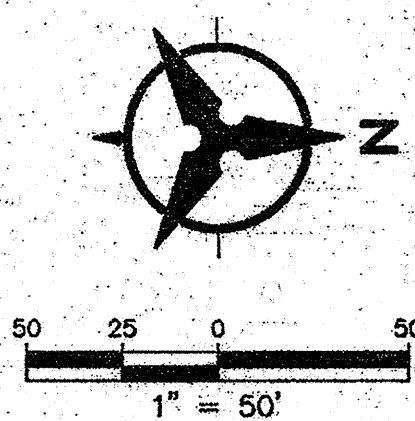
MONTECITO WEST UNITS 1 & 2
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXXXX	Zone Map No. D-09-Z	Sheet 1	Of 4




 8/6/15
 SCOTT J. STEFFEN, NMPE 14664 DATE





- ## GENERAL NOTES:
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY XBO VINVARD, DATED 10-30-13.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DISTRICT CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 35, AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. Boulders GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.


- ### LEGEND
- | | |
|--|-------------------------------------|
| • 91.62 | PROPOSED SPOT ELEVATION |
| x 92.46 | EXISTING SPOT ELEVATION (GRND & TC) |
| ===== | EXISTING CURB & GUTTER |
| ===== | PROPOSED MOUNTABLE CURB & GUTTER |
| ===== | PROPOSED STANDARD CURB & GUTTER |
| ===== | EXISTING CONTOUR W/ INDEX ELEVATION |
| 5470 ——— | FLOW ARROW |
| ————— | PROPOSED RETAINING WALL |
| ————— | PROPOSED SLOPE |
| ⊙ | PROPOSED STORM DRAIN |
| ⊙ | PROPOSED STORM DRAIN MANHOLE |
| ————— | PROPOSED STORM DRAIN INLET |
| ~~~~~ | HIGH POINT |
| SPOT ELEVATIONS IF=TOP OF FLOODWALL,
BW=FINISHED GRADE ON LOW SIDE OF WALL,
TH=FINISHED GRADE ON HIGH SIDE OF WALL | |

Bohannon  **Huston**
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

MONTECITO WEST UNITS 1 & 2
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	D-09-Z	Sheet 2 Of 4

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
		NO.	DATE				
No.	Date	REMARKS	By				
		REVISIONS					
		DESIGN					
Designed By: SJS		DATE: 11/13					
Drawn By: DTH		DATE: 11/13					
Checked By: SJS		DATE: 11/13					
				ACS MONUMENT "2-D9"		CONTRACTOR	
				GEOGRAPHIC POSITION (NAD 83)		STARTED BY	
				N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTOR'S	
				X = 1,493,615.357 Y = 1,515,761.743		ASSISTANCE BY	
				GROUND-TO-GRID FACTOR = 0.999867790		DRAWINGS	
				Az = -00°16'58.43"		REVISIONS BY:	
				NAVD. 1988 ELEVATION = 5441.396		RECORDED BY	
						NO.	
						MICROFILM INFORMATION	
						DATE	

CITY OF ALBUQUERQUE



August 17, 2015

Scott Steffen, P.E.
Bohannon-Huston, Inc.
Courtyard 1 7500 Jefferson St NE
Albuquerque, New Mexico 87109

**RE: Montecito West Unit 2
Pad Certification for lots 6, 7 and 13-18.
Engineers Stamp Date 3/6/14 (N9D012)
Certification Date 8/6/15**

Dear Mr. Steffen,

Based upon the information provided in your submittal received 8/7/2015 and a site visit, the above referenced Certification is acceptable for Pad Certification for lots 6, 7 and 13-18.

PO Box 1293

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

RR/RH
C: File