

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

November 29, 2017

Scott Steffen, PE  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Montecito Vistas Unit 1, Lots 36-42**  
**Request for Pad Certification – Accepted**  
**Engineer's Stamp Date: 10/13/16**  
**Engineer's Certification Date: 11/21/17**  
**Hydrology File: D09D005**

Dear Mr. Steffen:

PO Box 1293

Based upon the information provided in your Certification received 11/21/17 and site visit on 11/28/17, the above referenced Certification is acceptable for Building Pad Certification for Lots 36-42.

Albuquerque

As a reminder once this lots is ready for Hydrology approval for Certificate of Occupancy, please submit the Drainage Info Sheet along with the Engineering Certification on the as-built Grading Plan.

NM 87103

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Renée C. Brissette, P.E.  
Senior Engineer, Hydrology  
Planning Department

November 21, 2017

Mr. Doug Hughes  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 36-42) Montecito Vistas Unit 1 - DRB  
Case No. 1009506

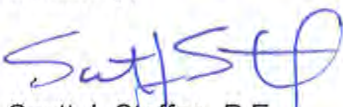
Dear Doug:

We are submitting a partial grading and drainage certification for Montecito Vistas Unit 1. The partial certification includes Lots 36-42. Enclosed for your review is the approved grading and drainage plan dated 10/13/16. These lots have been graded; retaining walls, curb and gutter have been constructed. In addition, all storm drain for Montecito Vistas Units 1 and 2 has been constructed, including the outfall to the Middle Branch of the Boca Negra Arroyo.

After reviewing these as-built elevations and visiting the site on 11/18/17. It is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed lots. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.  
Vice President  
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes  
Kevin Murtagh, BHI



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



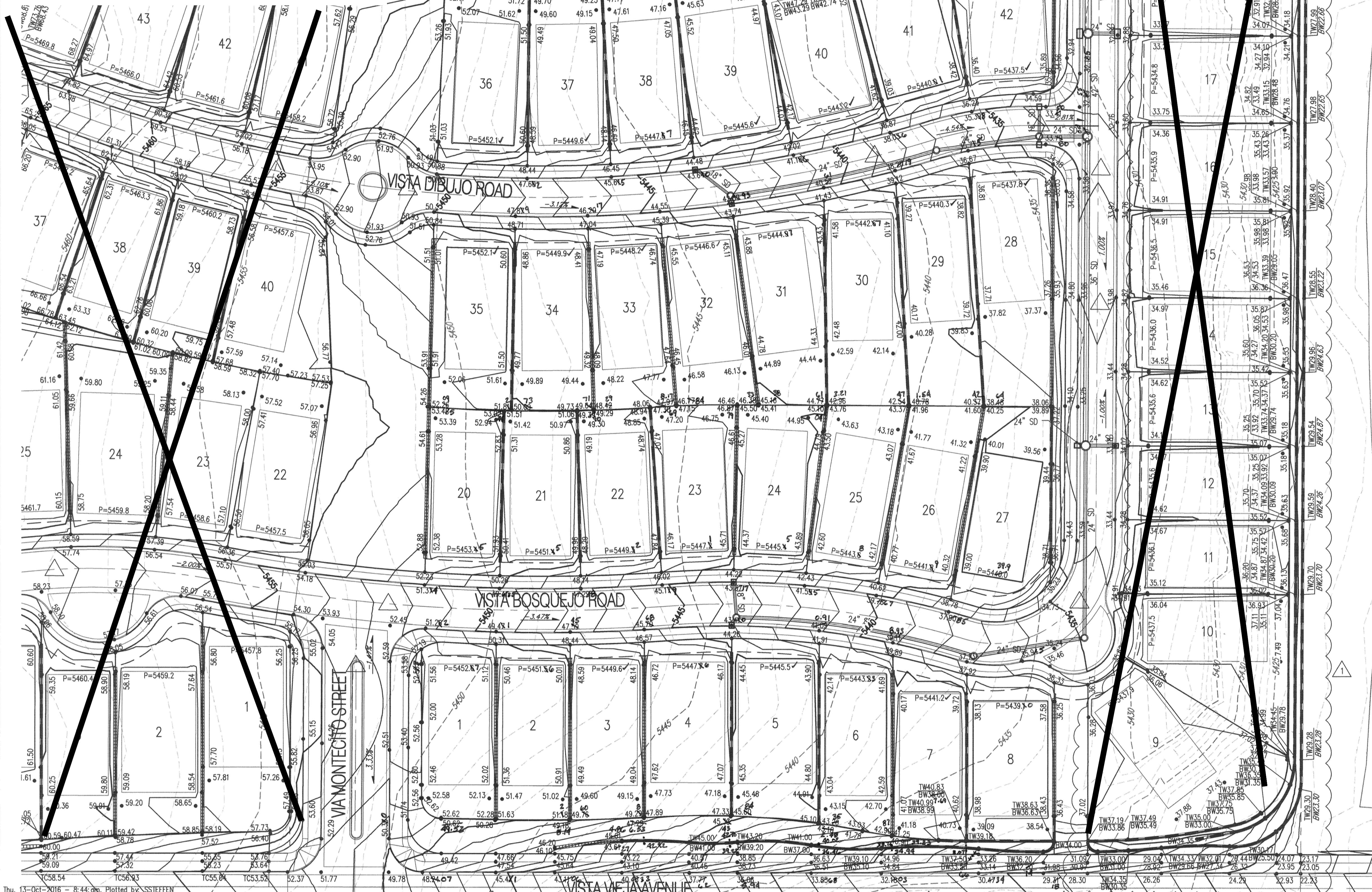
# GRADING AND DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, NMPE 14684, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS 36-42, MONTECITO VISTAS UNIT 1, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 10-13-16, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS P. HUGG, NMPS 9750, OF SURV-TEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 11/18/17 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN  
NEW MEXICO  
REGISTERED PROFESSIONAL ENGINEER  
14684

11/21/17 DATE

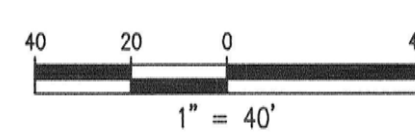


## GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY X8e VINYARD, DATED 04-18-16
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

## LEGEND

- UNIT BOUNDARY
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT
- SPOT ELEVATIONS BW=FINISHED GRADE ON LOW SIDE OF WALL, TW=FINISHED GRADE ON HIGH SIDE OF WALL.



**Bohannon & Huston**  
www.bhinc.com 800.877.5332



**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

## MONTECITO VISTAS GRADING PLAN UNIT 1

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
Coa #	D-09	2	6

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTED BY	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS BY	DATE
CHECKED BY	DATE
MICROFILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
ACS MONUMENT "2-DS"	DATE
GEOGRAPHIC POSITION (NAD 83)	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
X = 1,493,615.857 Y = 1,515,761.743	
GROUND-TO-GRID FACTOR = 0.999667760	
Δm = -00°16'58.43"	
NAVD 1988 ELEVATION = 5441.396	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL	
DATE	REVISIONS
10/13/15	REVISION 9-19 GRADING
By	
SJS	

DESIGNED BY: SJS	DATE: 05/2016
DRAWN BY: BJC	DATE: 05/2016
CHECKED BY: SJS	DATE: 05/2016