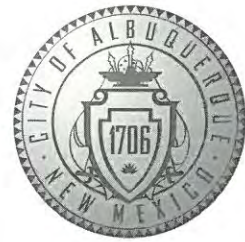


CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

March 8, 2018

Scott Steffen, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: Montecito Vistas Unit 1, Lot 9 and Unit 2, Lots 8-12
Request for Pad Certification – Accepted
Engineer's Stamp Date: 10/13/16
Engineer's Certification Date: 03/07/18
Hydrology File: D09D005

Dear Mr. Steffen:

PO Box 1293

Based upon the information provided in your Certification received 03/07/18 and site visit on 03/07/18, the above referenced Certification is acceptable for Building Pad Certification for Unit 1, Lot 9 and Unit 2, Lots 8-12.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

March 7, 2018

Mr. Doug Hughes
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification Lot 9 Montecito Vistas Unit 1 and Lots 8-12
Montecito Vistas Unit 2 - DRB Case No. 1009506

Dear Doug:

We are submitting a partial grading and drainage certification for Montecito Vistas Units 1 and 2. The partial certification includes Lot 9, Unit 1 and Lots 8-12, Unit 2. Enclosed for your review is the approved grading and drainage plan dated 10/13/16. These lots have been graded; the tiered retaining walls in the HOA tract to the east of the lots, curb and gutter have been constructed. In addition, all storm drain for Montecito Vistas Units 1 and 2 has been constructed, including the outfall to the Middle Branch of the Boca Negra Arroyo.

After reviewing these as-built elevations and visiting the site on 3/06/18, it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition. The privacy wall along the back property line for Lots 8-12, Unit 2, which has finished ground splits along the wall below the 2' threshold for a retaining wall, has not been constructed. The fact that the wall is not complete does not adversely affect the design intent of the grading plan and should allow for approval of the pad certification. The final certification requesting release of financial guaranty will not be requested until this wall construction is complete.

Your review and approval is requested for Building Permit Approval for the above listed lots. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes
Ron Fernandez, Pulte Homes
Kevin Murtagh, BHI

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

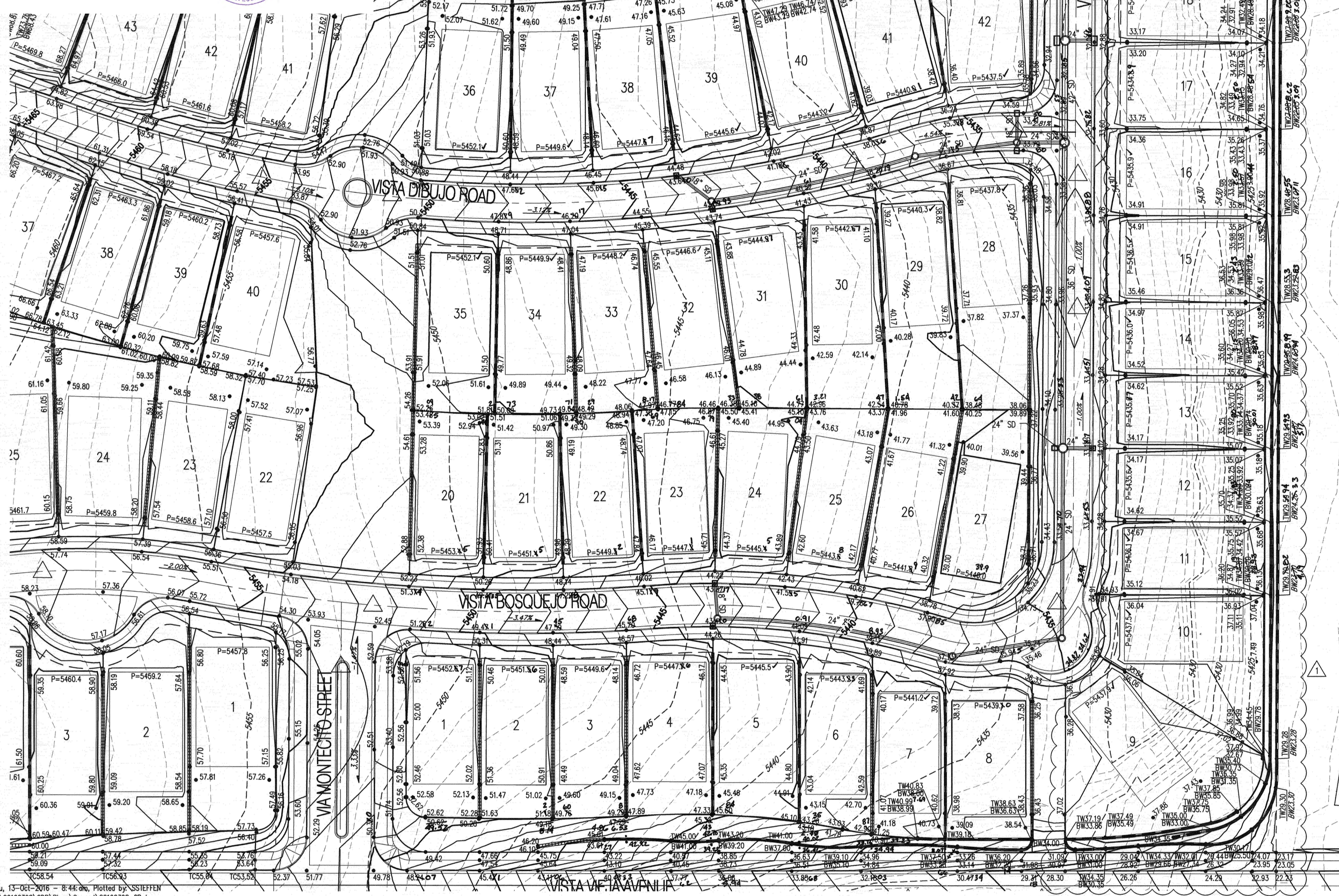
IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

I, SCOTT J. STEFFEN, NMP#8684, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOT 8, MONTECITO VISTAS UNIT 1 AND LOTS 8-12, MONTECITO VISTAS UNIT 2, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 10-13-16, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS P HUGG, NMP#9378, OF SURV-TAC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 3/06/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Sat 5/0 3/7/18
SCOTT J. STERFEN, NMPE 14664 DATE



1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT BY X86 VINYARD, DATED 04-18-16
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DIST CONTROL MEASURES & REQUIREMENTS AND SHALL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

UNIT BOUNDARY

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION (GRND & TC)

EXISTING CURB & GUTTER

PROPOSED MOUNTABLE CURB & GUTTER

PROPOSED STANDARD CURB & GUTTER

EXISTING CONTOUR W/ INDEX ELEVATION

FLOW ARROW

PROPOSED RETAINING WALL

PROPOSED SLOPE

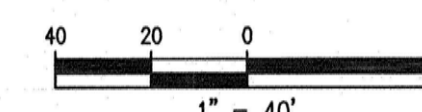
PROPOSED STORM DRAIN

PROPOSED STORM DRAIN MANHOLE

PROPOSED STORM DRAIN INLET

HIGH POINT

SPOT ELEVATIONS BW=FINISHED GRADE ON LOW SIDE OF WALL, TW=FINISHED GRADE ON HIGH SIDE OF WALL.




Bohannon  **Huston**
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		Coa #	Zone Map No.	Sheet	Of	
			D-09	2	6	

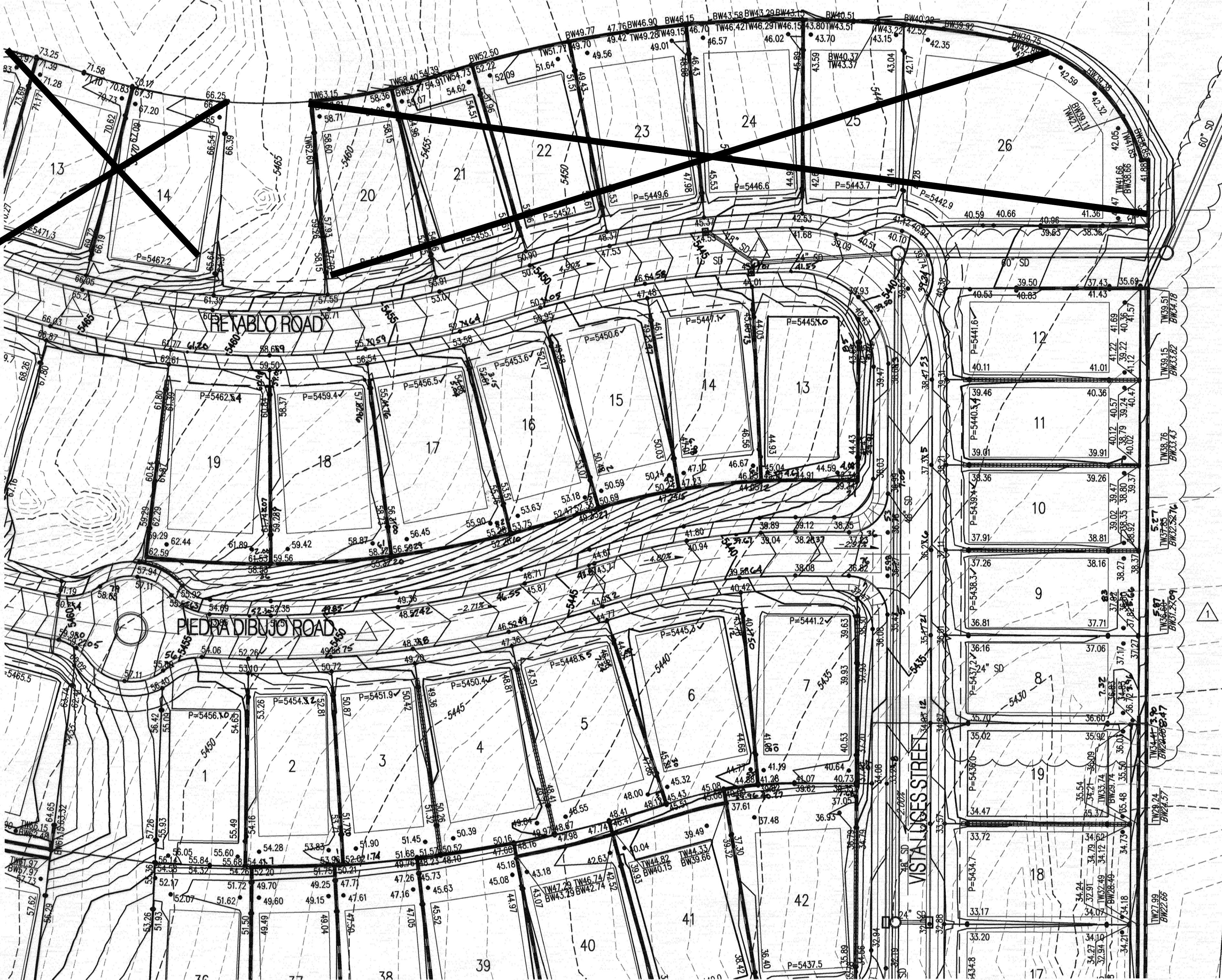
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE			
REMARKS		S/S					
By							
No.		Date					
REVISIONS							
DESIGN							
Designed By: SIS		DATE: 05/2016					
Drawn By: BJG		DATE: 05/2016					
Checked By: S/S		DATE: 05/2016					

GRADING AND DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, NMPE 14664, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOT 9, MONTECITO VISTAS UNIT 1 AND LOTS 8-12, MONTECITO VISTAS UNIT 2, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 10/13/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS P. HUGG, NMPS 9750, OF SURVATEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 3/06/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN, NMPE 14664
DATE 3/7/18

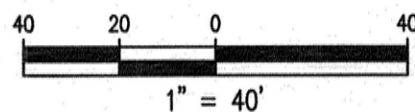


GENERAL NOTES

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LEGEND

- UNIT BOUNDARY
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION (GRND & TC)
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

MONTECITO VISTAS
GRADING PLAN
UNIT 2

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Coa #	Zone Map No.	Sheet 3 Of 6