

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

February 14, 2019

Donnie Duneman, P.E.
Wilson & Company
4900 Lang Ave, NE
Albuquerque, NM 8709

RE: **La Cuentista Subdivision Unit 2**
Request for Pad Certifications– Accepted

- **Lots 2 & 10-12, Block 1;**
- **Lots 1-4, 6-9, 18, Block 4;**
- **Lots 2-8, 17-21, 23, 28 & 29, Block 5;**
- **Lot 7, Block 6**

Grading Plan Stamp Date: 11/16/17
Certification Dated: 2/11/19
Hydrology File: D10D002B

PO Box 1293

Dear Mr. Duneman:

Albuquerque

Based on the certification received on 2/2/19, the certification is accepted for Building Permit for: Lots 2 & 10-12, Block 1; Lots 1-4, 6-9, 18, Block 4; Lots 2-8, 17-21, 23, 28 & 29, Block 5; and Lot 7, Block 6.

NM 87103

Prior to Pad Certification for Lot 1, Block 5, the retaining wall between Lot 1 and Redroot St must be constructed.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: La Cuentista Subdivision Unit II **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** 709786, 709787, & 709788
Legal Description: Tracts 1A, 1B, 2A & 2B of the correction plat of the replat of La Cuentista Subdivision Unit II
City Address: Rosa Parks Road NW, between Aloe Road and Kimmick Drive

Applicant: Wilson & Company Engineers & Architects **Contact:** Donnie Duneman
Address: 4401 Masthead St, Suit 150, Abq. NM 87109
Phone#: 505-348-4000 **Fax#:** _____ **E-mail:** donnieduneman@wilsonco.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: ☒ 30 **PLAT (# of lots)** _____ **RESIDENCE** _____ **DRB SITE** _____ **ADMIN SITE** _____

IS THIS A RESUBMITTAL? _____ **Yes** ☒ **No**

DEPARTMENT _____ **TRANSPORTATION** ☒ **HYDROLOGY/DRAINAGE**

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

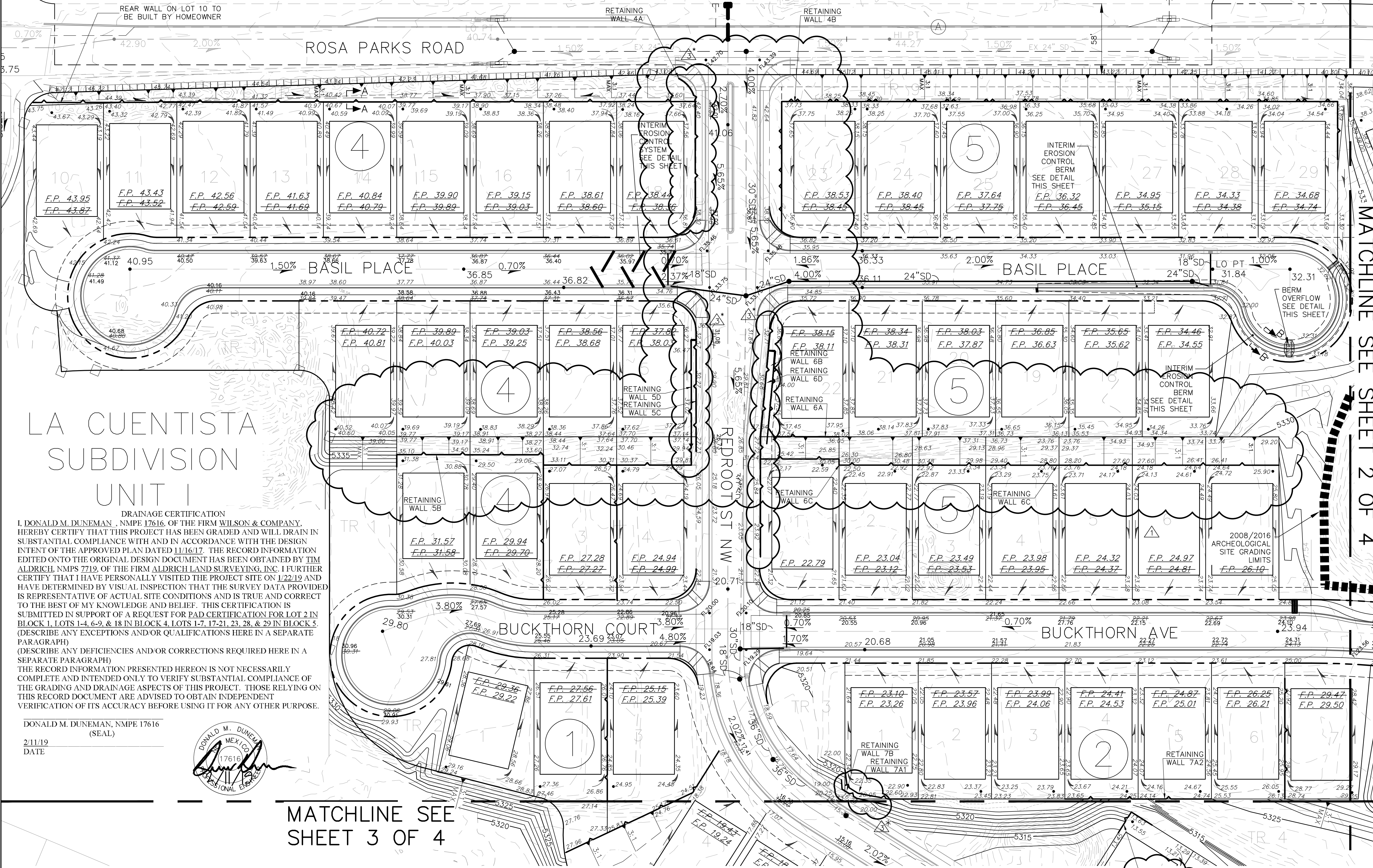
DATE SUBMITTED: February 11, 2019 **By:** Donnie Duneman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

LA CUENTISTA SUBDIVISION TRACT B

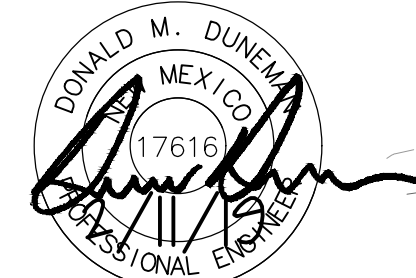


LA CUENTISTA SUBDIVISION UNIT I

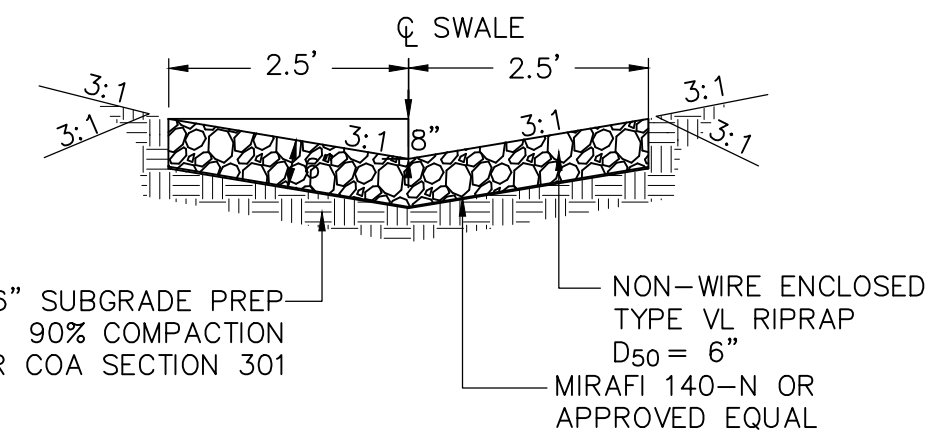
DRAINAGE CERTIFICATION
I, DONALD M. DUNEMAN, NMPE 17616, OF THE FIRM WILSON & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/16/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIM ALDRICH, NMPS 7719, OF THE FIRM ALDRICH LAND SURVEYING, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/22/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION FOR LOT 2 IN BLOCK 1, LOTS 1-4, 6-9, & 18 IN BLOCK 4, LOTS 1-7, 17-21, 23, 28, & 29 IN BLOCK 5. (DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH)
(DESCRIBE ANY DEFICIENCIES AND/OR CORRECTIONS REQUIRED HERE IN A SEPARATE PARAGRAPH)
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DONALD M. DUNEMAN, NMPE 17616 (SEAL)

2/11/19 DATE



MATCHLINE SEE SHEET 3 OF 4

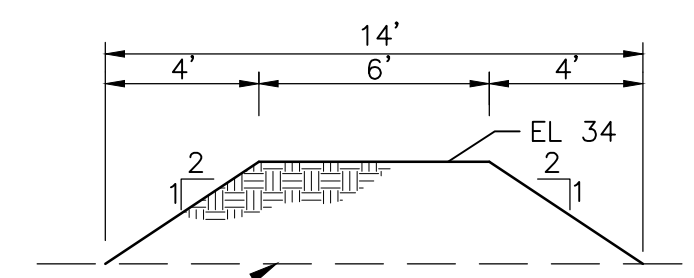
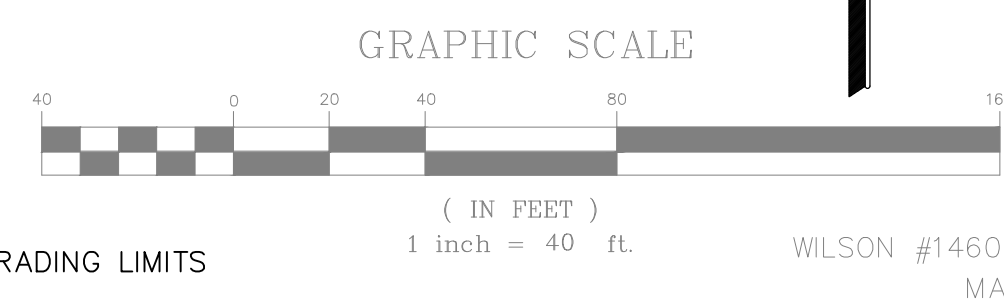


SECTION A-A 5' SWALE DETAIL
SCALE: 1"=5'

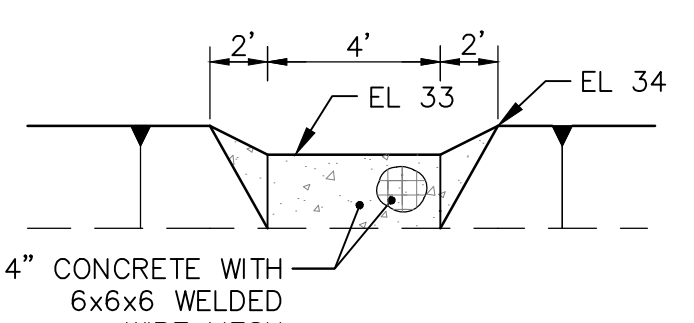
* RETAINING WALLS 4A, 5C, 6D, AND 7B ENCROACH CITY ROW. NO WALL CONSTRUCTION, INCLUDING FOOTERS, IS PERMITTED IN THE ROW WITHOUT AN ENCROACHMENT AGREEMENT.

LEGEND

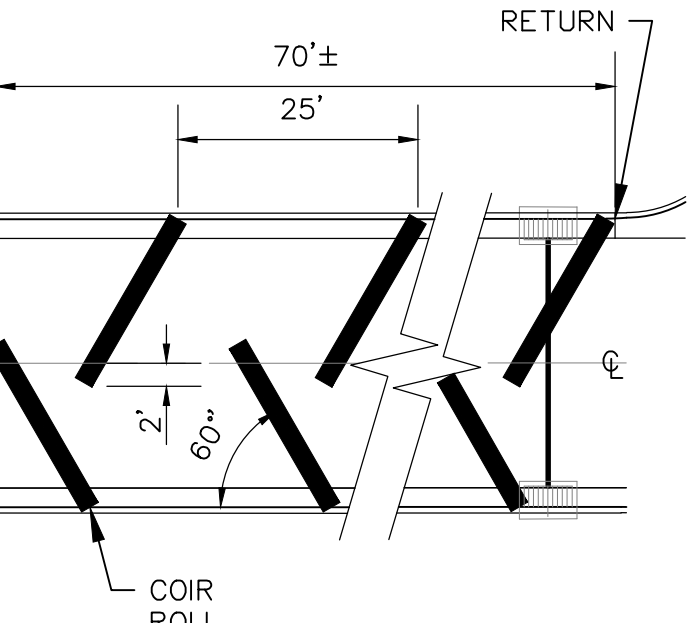
- RIGHT OF WAY
- FP = 00.0 FINISH PAD ELEVATION
- FLOW DIRECTION
- 30.34 SPOT ELEVATION (FLOWLINE LT & RT)
- 25.9 LOT GRADING SPOT ELEVATION
- REAR YARD SLOPE
- TOE OF SLOPE
- REINFORCED RETAINING WALL
- 2008/2016 ARCHEOLOGICAL SITE GRADING LIMITS



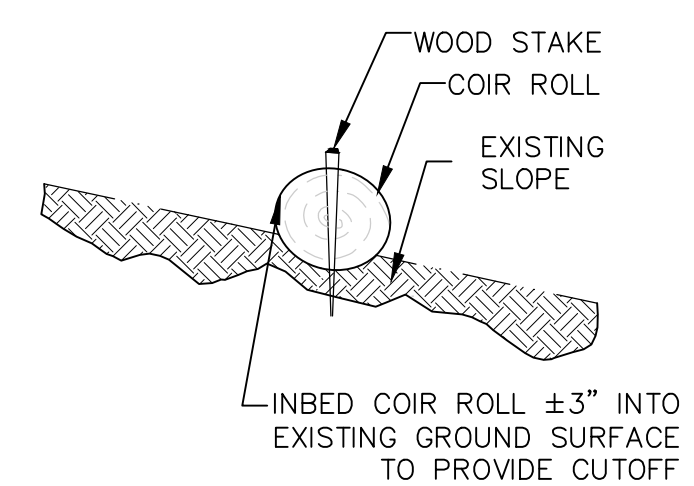
SECTION B-B INTERIM EROSION CONTROL BERM DETAIL
SCALE: 1"=5'
BASIL PLACE EAST STA 4+53 TO STA 6+10



INTERIM BERM OVERFLOW DETAIL
SCALE: 1"=5'



INTERIM EROSION CONTROL SYSTEM DETAIL
SCALE: 1"=20'
BASIL PLACE WEST STA 4+76 TO STA 5+46



COIR ROLL DETAIL
SCALE: 1"= 2'

AS-BUILT INFORMATION			
CONTRACTOR	WILSON & COMPANY	DATE	
INSPECTOR'S	INSPECTOR'S	DATE	
REVISION	REVISION	DATE	
REVISION	REVISION	DATE	
MICRO-FILM INFORMATION			
NO.		DATE	

BENCH MARKS			
ACS 1 3/4" ALUMINUM DISK STAMPED			
"ACS BM 5-011", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH END OF RIDGEWAY DR. NW, EPOXIED TO LAVA ROCK IN OUTCROPPING			
ELEVATION = 5270.09 FT. NAVD 88 U.S. FEET			

SURVEY INFORMATION			
FIELD NOTES			
NO.	BY	DATE	
	AERIAL MAPPING, WCI	05/01	
	BOUNDARY, WCI	06/01	
	BOUNDARY, WCI	10/01	

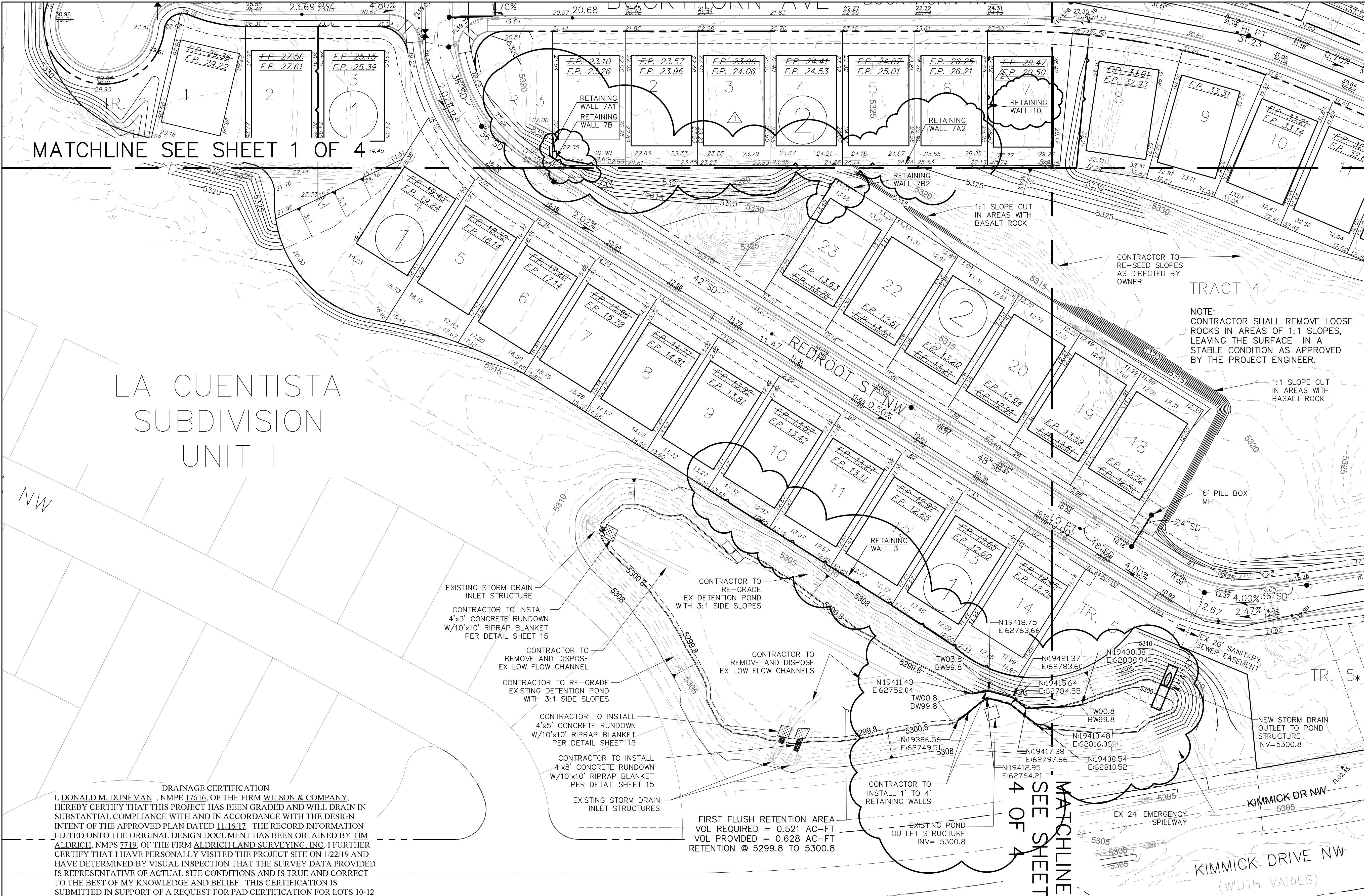
ENGINEER'S SEAL			
WCI	WCI	WCI	WCI
BY	BY	BY	BY
NO.	DATE	DATE	DATE

REVISIONS			
WILSON & COMPANY, ENGINEERS & ARCHITECTS			
DESIGNED BY	KIS	DATE	MAY 2016
DRAWN BY	ALL	DATE	MAY 2016
CHECKED BY	DSA	DATE	MAY 2016

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LA CUENTISTA SUBDIVISION UNIT II GRADING PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 709787 709788		Zone Map No. C-10, C-11	Drawing 2 OF 510 OF 32

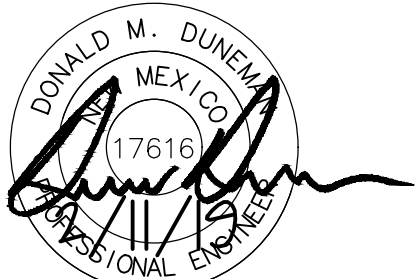
WILSON & COMPANY

MANSDN14-600-089-00_V2_DISCIPLINES_SHEETS GRADING PLANS AS-BUILT 146089_PHL_0003.DWG 1/21/2019 3:03 PM



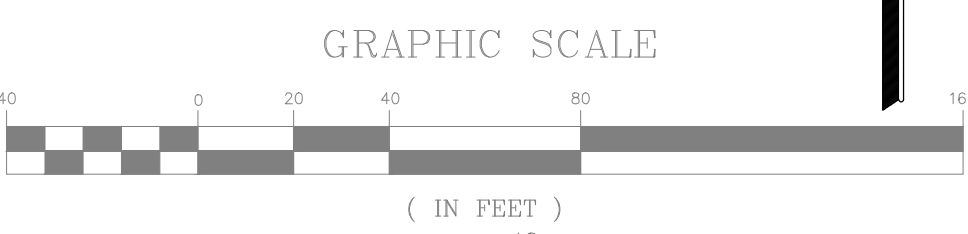
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DONALD M. DUNEMAN, NMPE 17616
(SEAL.)
2/11/19
DATE



LEGEND

- FP = 00.0 RIGHT OF WAY
- 30.34 FINISH PAD ELEVATION
- 25.9 8 FLOW DIRECTION
- 8 SPOT ELEVATION (FLOWLINE LT & RT)
- 25.9 8 LOT GRADING SPOT ELEVATION
- 8 REAR YARD SLOPE
- 8 TOE OF SLOPE
- 8 RETAINING WALL



WILSON #1460008900
JUNE 2016

WALL 7B
ENCROACHES CITY
ROW AND REQUIRES
A REVOCABLE
PERMIT, ETC. SAME
AS PREVIOUS.NO
WALL CONSTRUCTION,
INCLUDING FOOTERS,
IS PERMITTED IN
THE ROW WITHOUT
AN ENCROACHMENT
AGREEMENT.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LA CUMENTISTA SUBDIVISION UNIT II GRADING PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No. 709787 709788	Zone Map No. C-10, C-11	Drawing 4 OF 5	Sheet 12 OF 32

WILSON & COMPANY

ENGINEER'S SEAL			
WALLS NOT INCLUDED	WCI	WCI	BY
05/2018	01/2018	11/2017	NO. DATE
REMARKS	REVISIONS	WILSON & COMPANY, ENGINEERS & ARCHITECTS	DESIGNED BY KIS DRAWN BY KIS/ALL CHECKED BY DSA
WALLS NOT INCLUDED	WCI	WCI	BY
05/2018	01/2018	11/2017	NO. DATE
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MARKS	STAMPED
D 72' ± ESE OF THE	
SAC AT THE SOUTH	
W, EPOXIED TO LAVA	