

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 8, 2019

Donnie Duneman, P.E.
Wilson & Company
4900 Lang Ave, NE
Albuquerque, NM 8709

RE: **La Cuentista Subdivision Unit 2**
Request for Pad Certifications– Accepted

- **Lots 3-9, Block 1;**
- **Lots 1-8 & 18-23, Block 2;**
- **Lots 30, 31, & 36, Block 5;**

Grading Plan Stamp Date: 11/16/17
Certification Dated: 7/2/19
Hydrology File: D10D002B

PO Box 1293

Dear Mr. Duneman:

Albuquerque

Based on the certification received on 7/2/19, the certification is accepted for Building Permit for all remaining lots in La Cuentista Subdivision Unit 2: Lots 3-9 of Block 1, Lots 1-8 & 18-23 of Block 2, and Lots 30, 31, & 36 of Block 5.

NM 87103

Prior to Release of Financial Guarantee:

www.cabq.gov

1. The stormwater pond between Redroot and Kimmick needs to be regraded for stormwater quality retention (Excavate to a uniform elevation of 5299.8'). Once completed, it will need to be surveyed and it's volume certified by the Engineer of Record.
2. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. If there is already a Covenant or the [Plat Drainage Easement Note](#) for the pond, please provide it in lieu, but I couldn't find anything.
3. The resubmittal will need to include all the sheets again, but will only need to request Release of Financial Guarantee and the resubmittal fee is only going to be \$175. Please include a copy of this letter when resubmitting to avoid any confusion.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is written over a light gray rectangular background.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: La Cuentista Subdivision Unit II **Building Permit #:** _____ **Hydrology File #:** D10D002B
DRB#: 1005182 **EPC#:** _____ **Work Order#:** 709786, 709787, & 709788
Legal Description: Tracts 1A, 1B, 2A & 2B of the correction plat of the replat of La Cuentista Subdivision Unit II
City Address: Rosa Parks Road NW, between Aloe Road and Kimmick Drive

Applicant: Wilson & Company Engineers & Architects **Contact:** Donnie Duneman
Address: 4401 Masthead St, Suit 150, Abq. NM 87109
Phone#: 505-348-4000 **Fax#:** _____ **E-mail:** donnie.duneman@wilsonco.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: ☒ 24 PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE _____

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: July 2, 2019 **By:** Donnie Duneman

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



4401 Masthead Street NE Suite 150,
Albuquerque, NM 87109
505-348-4000 phone
505-348-4055 fax

July 2, 2019

City of Albuquerque
Hydrology Section
Plaza Del Sol
600 Second Street NW
Albuquerque, NM 87103

Re: LA CUENTISTA SUBDIVISION, Unit II

To whom it may concern,
Wilson & Company, Inc., requests the release of financial guarantee for La Cuentista Subdivision, Unit II.
Below is the checklist and responses:

1. Information Sheet – **See attached DTIS Form**
2. As-Built Information:
 - a. Pad elevations – **Provided in as-built plans**
 - b. Top of Curb Elevations at critical locations – **Provided in as-built plans and certified grading plan.**
 - c. Property corner elevations at each lot – **Provided in the certified grading plan.**
 - d. Horizontal and vertical data for storm drains (public and private) – **Provided in as-built plans.**
 - e. Horizontal and vertical data for retaining walls – **Provided in the certified grading plan with finished surface spot elevations adjacent to the retaining walls.**
3. As-Built Analysis
 - a. Most grades inside the subdivision do not deviate by more than 18" of the DRB approved grades within 50 feet of the subdivision's perimeter. The buffer area adjacent to Rosa Parks deviates more than 18" from the approved grades, due to a retaining wall that was added to provide a stable slope along Rosa Parks.
 - b. Street, storm drain and channel hydraulic capacities in the as-built conditions are in compliance with the approved Drainage Report.
 - c. Pond capacity has been verified and is in compliance with the approved Drainage Report.
 - d. Curb, pad, and property corner elevations generally do not deviate more than 0.5 feet from the approved plans. Retaining walls deviate up to 3 feet in some areas due to adjustments based on field conditions to improve the drainage conditions, stabilize slopes and minimize rock excavation.

If you have any questions or comments, please do not hesitate to contact me at (505) 948-5125. Thank you for your time.

WILSON & COMPANY

Donald Duneman
Project Manager
Email: donnie.duneman@wilsonco.com

REAR WALL ON LOT 10 TO BE BUILT BY HOMEOWNER

LA CUENTISTA SUBDIVISION UNIT I

DRAINAGE CERTIFICATION
I, DONALD M. DUNEMAN, NMPE 17616 OF THE FIRM WILSON & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/16/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIM ALDRICH, NMS 7719, OF THE FIRM ALDRICH LAND SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/22/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR EAD CERTIFICATION FOR LOTS 10, BLOCK 1 - LOTS 3, 4, 5, 6, 7, 8 & 9, BLOCK 2 - LOT 1, 2, 3, 4, 5, 6, 7, 8, 19, 20, 21, 22 & 23, BLOCK 5 - LOTS 30, 31 & 36, AND GRADING PLAN CERTIFICATION FOR SIA REALBASE OF FINANCIAL GUARANTEE. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THIS GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DONALD M. DUNEMAN, NMPE 17616 (SEAL)
7/2/19
DATE

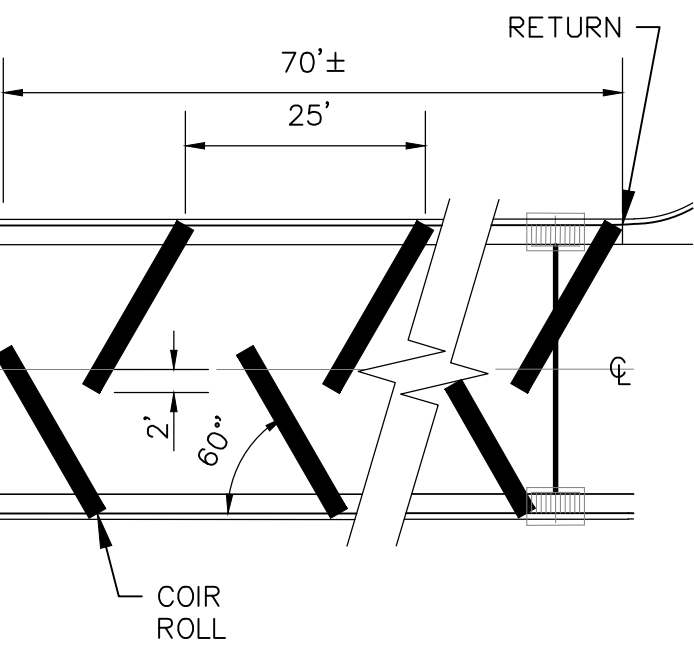
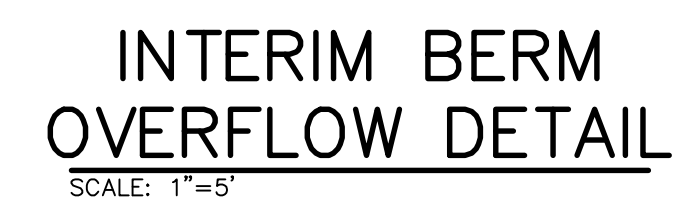
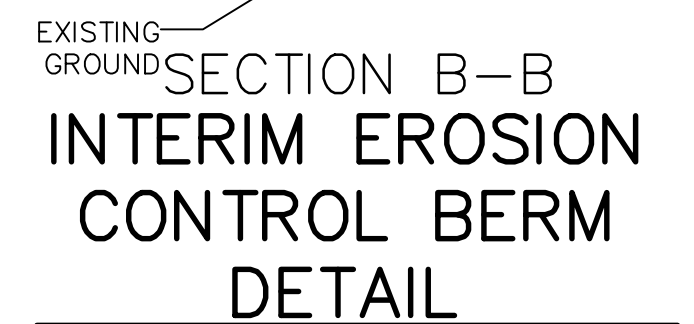
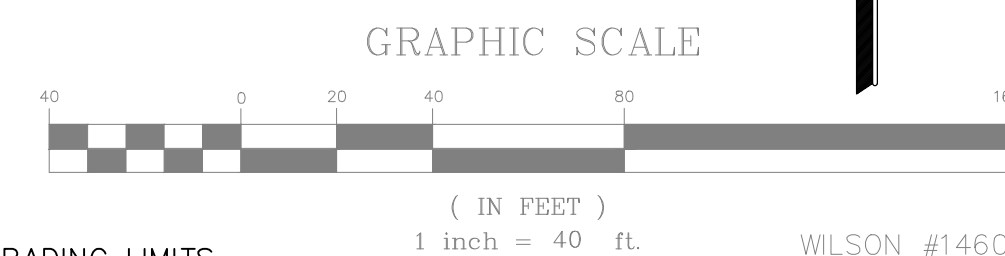
MATCHLINE SEE SHEET 3 OF 4

MATCHLINE SEE SHEET 2 OF 4

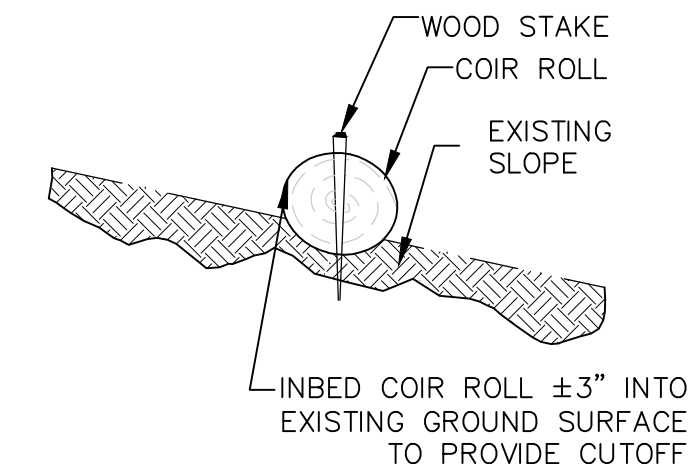
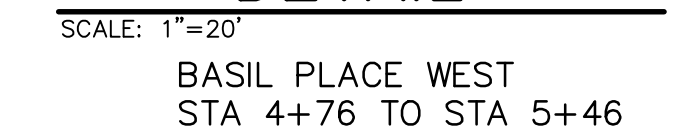


* RETAINING WALLS 4A ,5C, 6D,
AND 7B ENCROACH CITY ROW.
NO WALL CONSTRUCTION,
INCLUDING FOOTERS, IS PER
PERMITTED IN THE ROW WITHOUT
AN ENCROACHMENT AGREEMENT.

FP = 00.0 RIGHT OF WAY
 FINISH PAD ELEVATION
 • 30.34 FLOW DIRECTION
 25.9 SPOT ELEVATION (FLOWLINE LT & RT)
 LOT GRADING
 SPOT ELEVATION
 REAR YARD SLOPE
 TOE OF SLOPE
 RETAINING WALL
 2008/2016 ARCHEOLOGICAL SITE GRAVITY



INTERIM EROSION CONTROL SYSTEM DETAIL



COIR ROLL DETAIL

AS-BUILT INFORMATION	
CONTRACTOR	
WORK STARTED BY	DATE
INSPECTOR'S	DATE
FIELD SPACE BY	
FIELD VERIFICATION BY	DATE
DRAWINGS	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 5-D11", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH END OF RIDGEWAY DR. NW, EXPOSED TO LAVA ROCK IN OUTCROPPING	ELEVATION = 5270.09 FT. NAVD 88 U.S. FEET

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE
	AERIAL MAPPING,	WCI 05/01
	BOUNDARY,	WCI 06/01
	BOUNDARY,	WCI 10/01

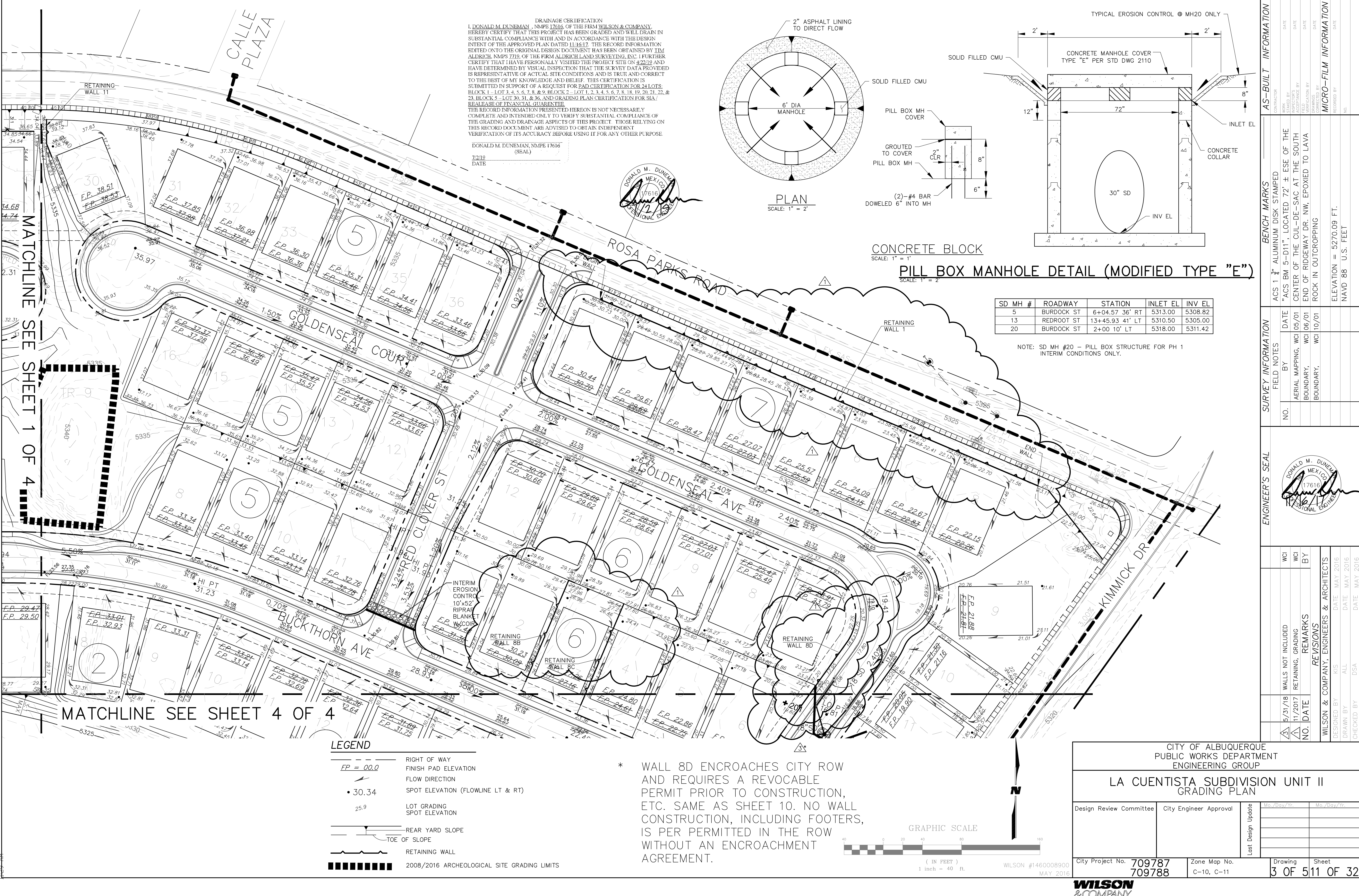
WILSON & COMPANY, ENGINEERS & ARCHITECTS			
DESIGNED BY	KIS	DATE	MAY 2016
DRAWN BY	ALL	DATE	MAY 2016
CHECKED BY	DSA	DATE	MAY 2016
NO.	DATE	REMARKS	BY
3	5/31/18	WALLS NOT INCLUDED	WCI
2	01/2018	ADDED RETAINING WALL LABEL	WCI
1	11/2017	RETAINING, GRADING	WCI

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

LA CUENTISTA SUBDIVISION UNIT II
GRADING PLAN

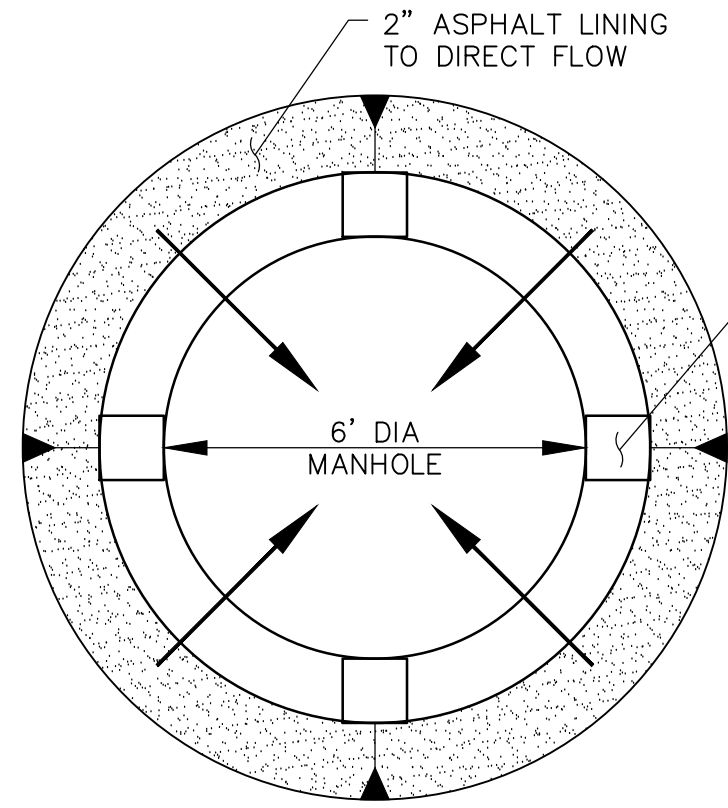
Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.		Mo./Day/Yr.	
City Project No.	709787		Zone Map No.	C-10, C-11		Drawing	Sheet	
	709788			2 OF 5		10 OF 32		

WILSON
& COMPANY

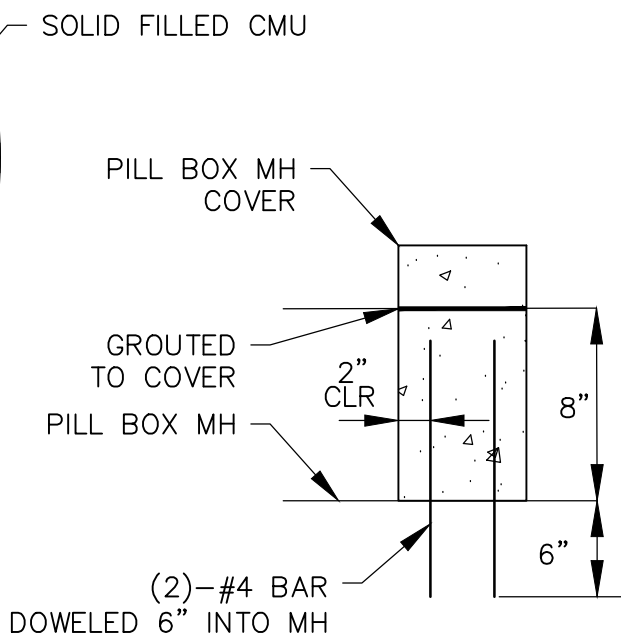


DRAINAGE CERTIFICATION
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DONALD M. DUNEMAN, NMPE 17616
(SEAL)
7/2/18
DATE



PLAN
SCALE: 1" = 2'



CONCRETE BLOCK
SCALE: 1" = 1'

PILL BOX MANHOLE DETAIL (MODIFIED TYPE "E")
SCALE: 1" = 2'

SD MH #	ROADWAY	STATION	INLET EL	INV EL
5	BURDOCK ST	6+04.57 36' RT	5313.00	5308.82
13	REDROOT ST	13+45.93 41' LT	5310.50	5305.00
20	BURDOCK ST	2+00 10' LT	5318.00	5311.42

NOTE: SD MH #20 - PILL BOX STRUCTURE FOR PH 1 INTERIM CONDITIONS ONLY.

LEGEND

- FP = 00.0 RIGHT OF WAY
- FINISH PAD ELEVATION
- FLOW DIRECTION
- SPOT ELEVATION (FLOWLINE LT & RT)
- LOT GRADING
- SPOT ELEVATION
- REAR YARD SLOPE
- TOE OF SLOPE
- RETAINING WALL
- 2008/2016 ARCHEOLOGICAL SITE GRADING LIMITS

* WALL 8D ENCLOSES CITY ROW AND REQUIRES A REVOCABLE PERMIT PRIOR TO CONSTRUCTION, ETC. SAME AS SHEET 10. NO WALL CONSTRUCTION, INCLUDING FOOTERS, IS PERMITTED IN THE ROW WITHOUT AN ENCROACHMENT AGREEMENT.

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

WILSON #1460008900
MAY 2016

AS-BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	INSPECTOR'S NAME	DATE	ACCS 1 3/4" ALUMINUM DISK STAMPED	BY	DATE	FIELD NOTES	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.
WILSON & COMPANY	7/2/18	INSPECTOR'S NAME	DATE	"ACS BM 5-D11", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH END OF RIDGEWAY DR. NW, EPOXIED TO LAVA ROCK IN OUTCROPPING	WCI	05/01	AERIAL MAPPING, WCI	WCI	06/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01
WILSON & COMPANY	7/2/18	INSPECTOR'S NAME	DATE	ROCK IN OUTCROPPING	WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI
WILSON & COMPANY	7/2/18	INSPECTOR'S NAME	DATE	ELEVATION = 5270.09 FT.	WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI
WILSON & COMPANY	7/2/18	INSPECTOR'S NAME	DATE	NAVD 88 U.S. FEET	WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI	10/01	BOUNDARY, WCI



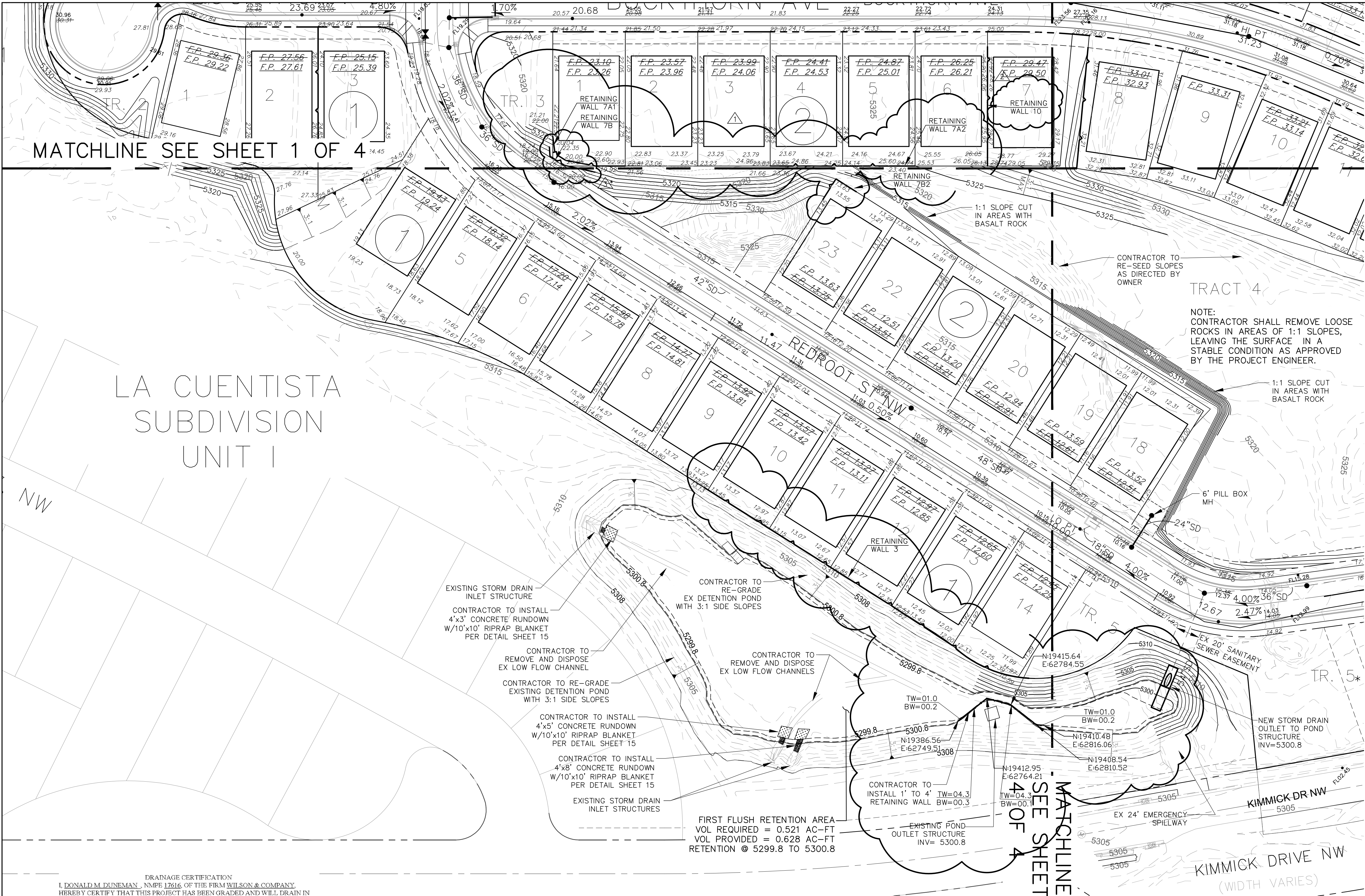
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

LA CIENTISTA SUBDIVISION UNIT II
GRADING PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 709787	Zone Map No. C-10, C-11	Drawing 3 OF 5	Sheet 11 OF 32	

WILSON
& COMPANY

MANSD\14-600-089-00-2_DISCIPLINES\ SHEETS\GRADING PLANS-BUILT\146089_PHL_G003.DWG 7/2/2019 12:03 PM

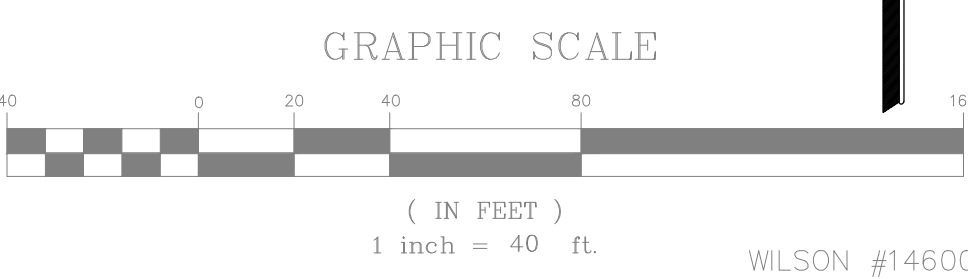


DRAINAGE CERTIFICATION
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DONALD M. DUNEMAN, NMPE 17616
(SEAL)

LEGEND

- FP = 00.0 RIGHT OF WAY
- 30.34 FINISH PAD ELEVATION
- 25.9 8 FLOW DIRECTION
- 30.34 SPOT ELEVATION (FLOWLINE LT & RT)
- 25.9 8 LOT GRADING SPOT ELEVATION
- TOE OF SLOPE REAR YARD SLOPE
- RETAINING WALL



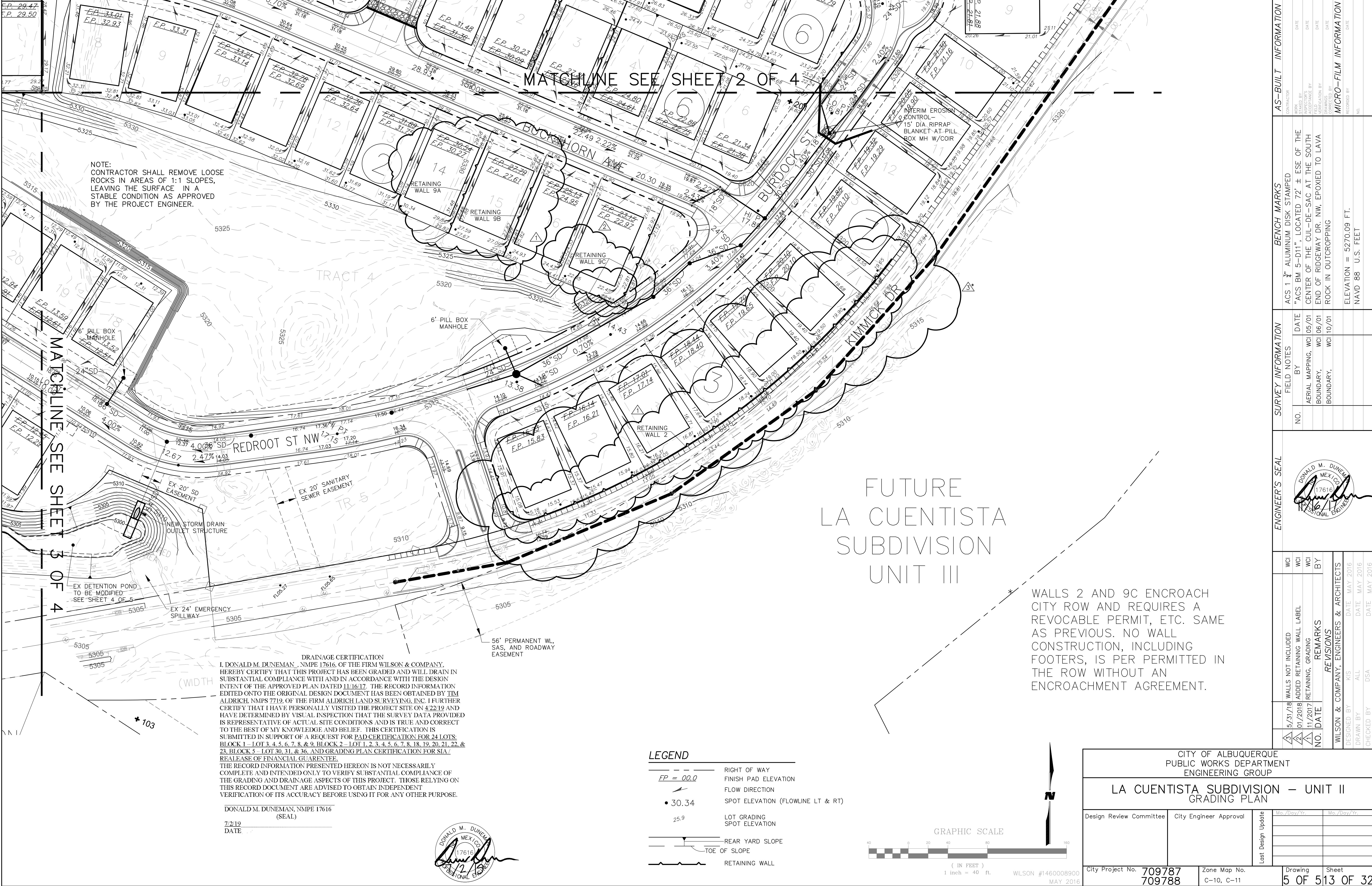
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LA CUMENTISTA SUBDIVISION UNIT II GRADING PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr
City Project No. 709787		Zone Map No. C-10, C-11	Drawing Sheet 4 OF 512 OF 32
City Project No. 709788		Zone Map No. C-10, C-11	Drawing Sheet 4 OF 512 OF 32

WILSON & COMPANY

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	DATE	ACS 1 3/4" ALUMINUM DISK STAMPED	CONTRACTOR	DATE
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	BOUNDARY, WCI	06/01		APPROVED BY	DATE
	BOUNDARY, WCI	10/01		RECORDED BY	DATE
ENGINEER'S SEAL		REVISIONS		MICRO-FILM INFORMATION	
05/2018 WALLS NOT INCLUDED		WCI		ELEVATION = 5270.09 FT.	
01/2018 ADDED RETAINING WALL LABEL		WCI		NAVD 88 U.S. FEET	
11/2017 RETAINING, GRADING		BY			
NO. DATE		WILSON & COMPANY, ENGINEERS & ARCHITECTS			
		DESIGNED BY KIS			
		DRAWN BY KIS/ALL			
		CHECKED BY DSA			

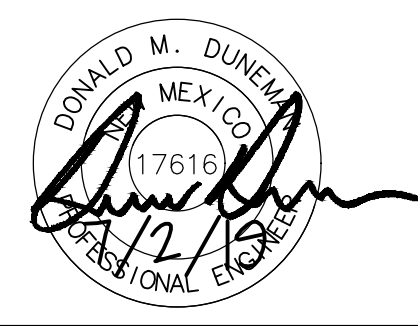
WALL 7B ENCOACHES CITY ROW AND REQUIRES A REVOCABLE PERMIT, ETC. SAME AS PREVIOUS. NO WALL CONSTRUCTION, INCLUDING FOOTERS, IS PERMITTED IN THE ROW WITHOUT AN ENCOACHMENT AGREEMENT.

M:\MSD\14-600-089-00\2_DISCIPLINES\1_SHEETS\GRADING PLANS-BUILT\146089_PFI_GD04.DWG 7/2/2019 12:09 PM



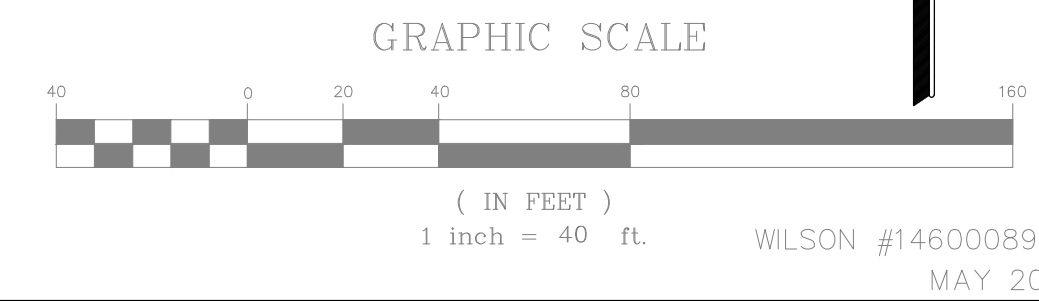
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DONALD M. DUNEMAN, NMPE 17616
(SEAL)
7/2/19
DATE



LEGEND

- RIGHT OF WAY
- FP = 00.0 FINISH PAD ELEVATION
- FLOW DIRECTION
- 30.34 SPOT ELEVATION (FLOWLINE LT & RT)
- 25.9 LOT GRADING SPOT ELEVATION
- REAR YARD SLOPE
- TOE OF SLOPE
- RETAINING WALL



WALLS 2 AND 9C ENCROACH CITY ROW AND REQUIRES A REVOCABLE PERMIT, ETC. SAME AS PREVIOUS. NO WALL CONSTRUCTION, INCLUDING FOOTERS, IS PERMITTED IN THE ROW WITHOUT AN ENCROACHMENT AGREEMENT.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
LA CUMENTISTA SUBDIVISION – UNIT II GRADING PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
Last Design Update			
City Project No. 709787 709788	Zone Map No. C-10, C-11	Drawing 5 OF 513	Sheet OF 32

WILSON & COMPANY

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
	WCI	NO.	BY	DATE	ACS 1 3/4" ALUMINUM DISK STAMPED	CONTRACTOR	DATE
	WCI		AERIAL MAPPING, WCI	05/01	"ACS BM 5-D11", LOCATED 72' ± ESE OF THE CENTER OF THE CUL-DE-SAC AT THE SOUTH	INSPECTOR'S	DATE
	WCI		BOUNDARY, WCI	06/01	END OF RIDGEWAY DR. NW, EPOXIED TO LAVA	FIELD ADJUSTED BY	DATE
	BY		BOUNDARY, WCI	10/01	ROCK IN OUTCROPPING	CORRECTED BY	DATE
REVISIONS		MICRO-FILM INFORMATION					
WILSON & COMPANY, ENGINEERS & ARCHITECTS		ELEVATION = 5270.09 FT.					
DESIGNED BY KIS		NAVD 88 U.S. FEET					
DRAWN BY ALL							
CHECKED BY DSA							