CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director

Mayor Richard J. Berry

February 23, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 26 Block 6 Unit 22 Volcano Cliffs SAD 228**
6209 Papagayo NW
Grading and Drainage Plan
Engineers Stamp Date 2/22/18 (D10D003B14)

Dear Mr. Soule,

Based upon the information provided in your submittal received 9/26/17, this plan cannot be approved for Grading Permit until the following comments are addressed.

- Building Pad level too high.
- Show how runoff will make it to the pond.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: 6212 CAMINO ALTO NW Building Permit #: _____ City Drainage #: D10D003B14

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: lot 14 block 6 volcano cliffs UNIT 22

City Address: 6212 CAMINO ALTO NW

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: JIM AND ADREAA WALTON Contact: _____

Address: 9328 YVONNE MARIE ALB NM 87114

Phone#: _____ Fax#: _____ E-mail: _____

Architect: none Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

x HYDROLOGY/ DRAINAGE

_____ TRAFFIC/ TRANSPORTATION

_____ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

X ENGINEER/ ARCHITECT CERTIFICATION ***

_____ CONCEPTUAL G & D PLAN

x GRADING PLAN

_____ DRAINAGE MASTER PLAN

_____ DRAINAGE REPORT

_____ CLOMR/LOMR

_____ TRAFFIC CIRCULATION LAYOUT (TCL)

_____ TRAFFIC IMPACT STUDY (TIS)

_____ EROSION & SEDIMENT CONTROL PLAN (ESC)

_____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

x BUILDING PERMIT APPROVAL

_____ CERTIFICATE OF OCCUPANCY

_____ PRELIMINARY PLAT APPROVAL

_____ SITE PLAN FOR SUB'D APPROVAL

_____ SITE PLAN FOR BLDG. PERMIT APPROVAL

_____ FINAL PLAT APPROVAL

_____ SIA/ RELEASE OF FINANCIAL GUARANTEE

_____ FOUNDATION PERMIT APPROVAL

_____ GRADING PERMIT APPROVAL

_____ SO-19 APPROVAL

_____ PAVING PERMIT APPROVAL

x GRADING/ PAD CERTIFICATION

_____ WORK ORDER APPROVAL

_____ CLOMR/LOMR

_____ PRE-DESIGN MEETING

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: x Yes _____ No

DATE SUBMITTED: 1/5/18 By: _____

*** _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ___

DUE TO ROCK THE OWNER RAISED THE PAD 2. THIS IS A REVISED GRADING PLAN AND A PAD CERT FOR NEW PLAN

Weighted E Method

Basin	Area	Area	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr. Weighted	Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs
UPLAND	25861.00	0.594	0%	0	10%	0.059	40%	0.2375	50%	0.297	1.448	0.072	2.10
ALLOWED	13730.00	0.315	0%	0	10%	0.032	40%	0.1261	50%	0.158	1.448	0.038	1.11
PROPOSED	13730.00	0.315	0%	0	30%	0.095	42%	0.1324	28%	0.088	1.168	0.031	0.96

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditons
FIRST FLUSH WATER QUALITY VOLUME

	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	109	1556

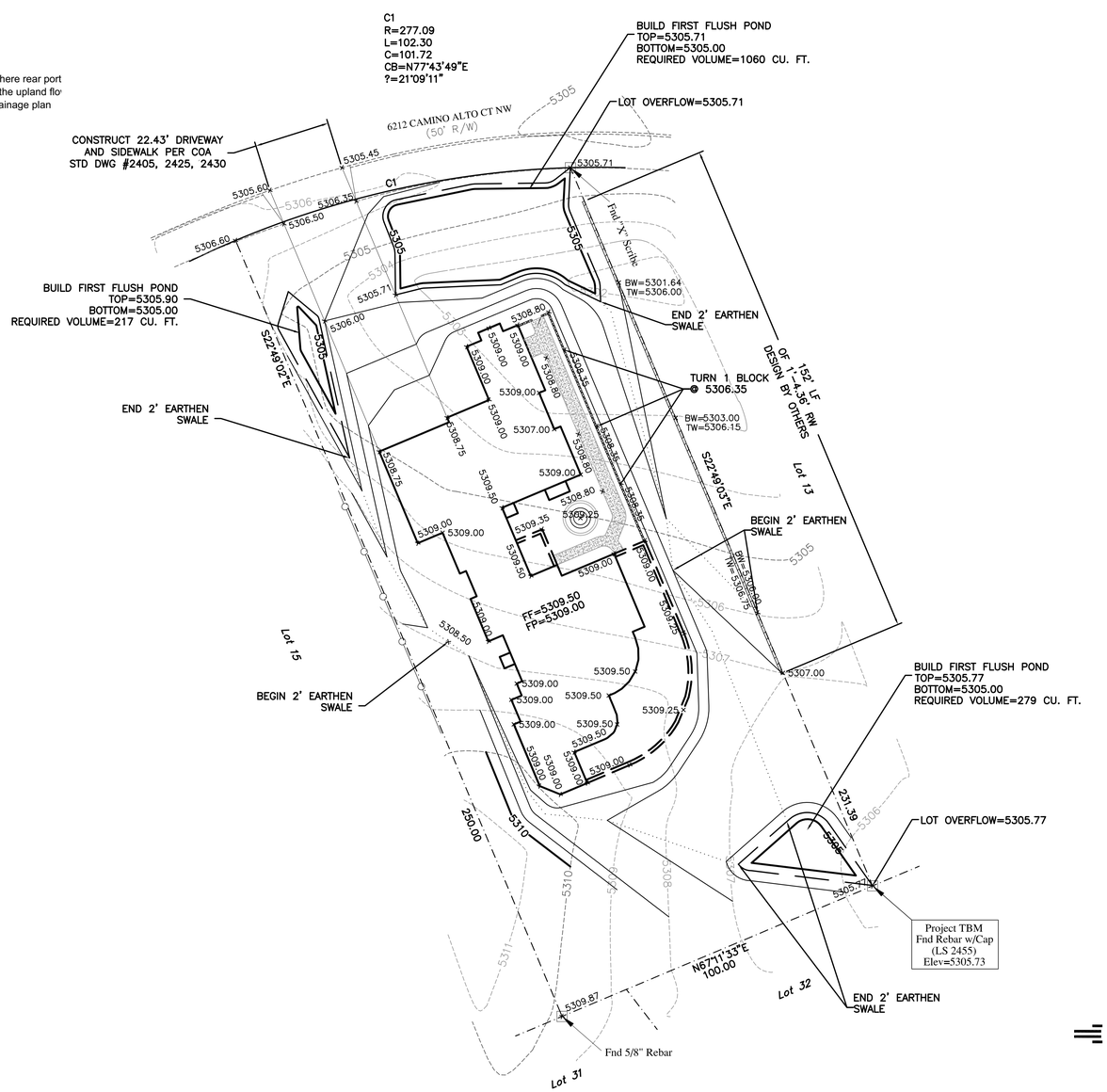
Narrative

This site is within the SAD 228 Master Drainage plan boundaries. The site is designed to drain the front portion to the streat and there rear port to the national monument. The drainage divide is in accordance to the master drainage plan basin lines. The site is impacted by the upland flo the amount of 2.1 cfs. The site will pond in excess of the first flush volume required. This plan is in conformance to the master drainage plan

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 2/22/18

DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER

2/22/18



EROSION CONTROL NOTES:

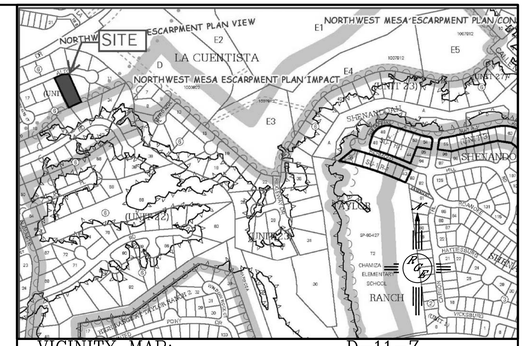
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

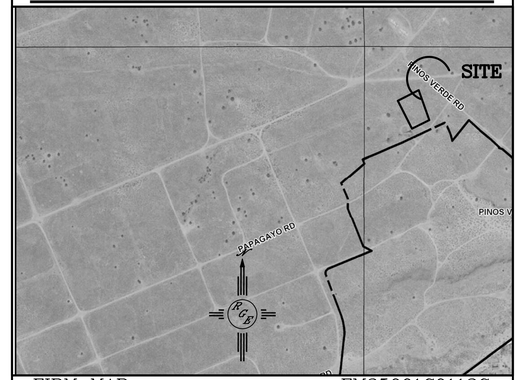
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-11-Z



FIRM MAP: FM35001C0112G

LEGAL DESCRIPTION:

Lot 14, Block 6, Volcano Cliffs Unit 22

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

3. A PAD CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT

4. ANY PERIMETER WALLS SHALL BE CONSTRUCTED UNDER A SEPARATE BUILDING PERMIT AND MUST CONFORM TO THE APPROVED GRADING PLAN ALLOWING CROSS LOT DRAINAGE

5. FINISHED PAD ELEVATION PROVIDED BY CONTRACTOR AT OWNERS REQUEST. ANY POTENTIAL TOTAL BUILDING HEIGHT LIMITATIONS ARE OUTSIDE OF THE SCOPE OF THIS GRADING PLAN

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- EXISTING CURB AND GUTTER
- PROPOSED CMU SCREEN WALL

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

ENGINEER'S SEAL

DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER

2/22/18

DAVID SOULE P.E. #14522

6212 CAMINO ALTO CT NW
WALTON RESIDENCE

GRADING AND DRAINAGE PLAN

Rio Grande Engineering
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

DRAWN BY WCWJ

DATE 2-22-18

21844-LAYOUT-1-05-18

SHEET # —

JOB # 21844