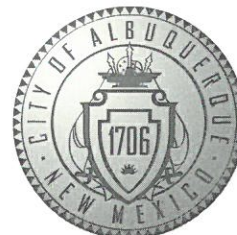


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Timothy M. Keller

March 2, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

**RE: Lot 14 Block 6 Unit 22 Volcano Cliffs SAD 228
6212 Camino Alto NW
Grading and Drainage Plan
Engineers Stamp Date 2/28/18 (D10D003B14)
Pad Certification Dated 2/28/18**

Dear Mr. Soule,

Based upon the information provided in your submittal received 2/28/18, this plan is approved for Building Permit.

Please inform the builder to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology. Also, notify the owner/contractor that a separate permit for any garden wall or fencing is required, and this is the plan to be used for the placement of said fence.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: 6212 CAMINO ALTO NW **Building Permit #:** _____ **City Drainage #:** D10D003B14
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: lot 14 block 6 volcano cliffs UNIT 22
City Address: 6212 CAMINO ALTO NW

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

Owner: JIM AND ADREAA WALTON **Contact:** _____
Address: 9328 YVONNE MARIE ALB NM 87114
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: none **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN ***
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 2/28/18 **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

*** This submittal is the result of encountering rock. Per the reviewed city maps this is not in the escarpment impact area, this is a revised plan and pad cert of the pad as constructed

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A				Treatment B				Treatment C				Treatment D				100-Year, 6-hr.		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted (ac-ft)	Volume (ac-ft)	Flow cfs
UPLAND	25861.00	0.584	0%	0	10%	0.059	40%	0.2375	50%	0.297	1.448	0.072									2.10
ALLOWED	13730.00	0.315	0%	0	10%	0.032	40%	0.1261	50%	0.158	1.448	0.038									1.11
PROPOSED	13730.00	0.315	0%	0	30%	0.095	42%	0.1324	28%	0.088	1.168	0.031									0.96

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1
Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditions		
FIRST FLUSH WATER QUALITY VOLUME	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	109	1556

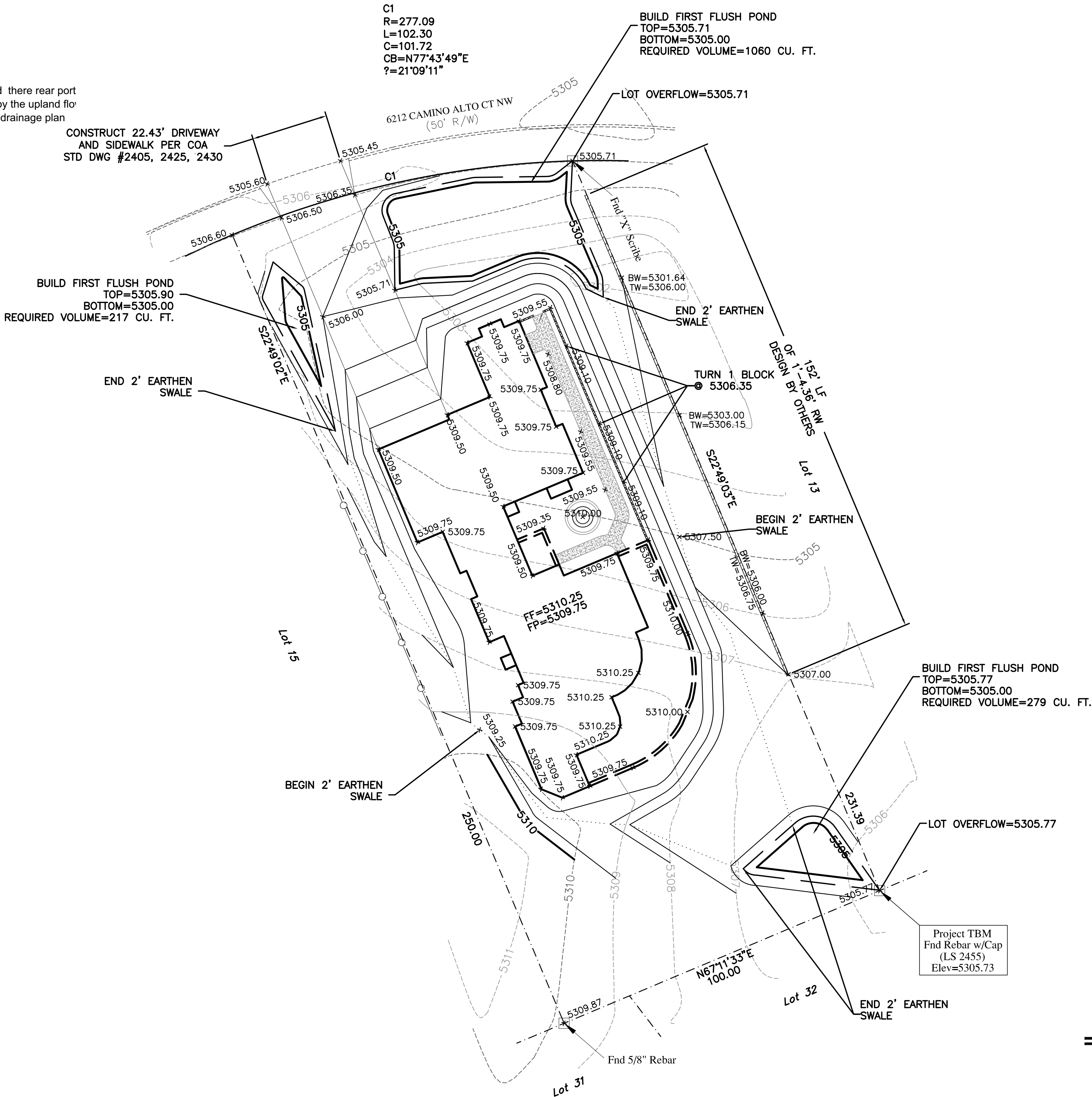
Narrative

This site is within the SAD 228 Master Drainage plan boundaries. The site is designed to drain the front portion to the street and there rear port to the national monument. The drainage divide is in accordance to the master drainage plan basin lines. The site is impacted by the upland flow the amount of 2.1 cfs. The site will pond in excess of the first flush volume required. This plan is in conformance to the master drainage plan

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 2/28/18



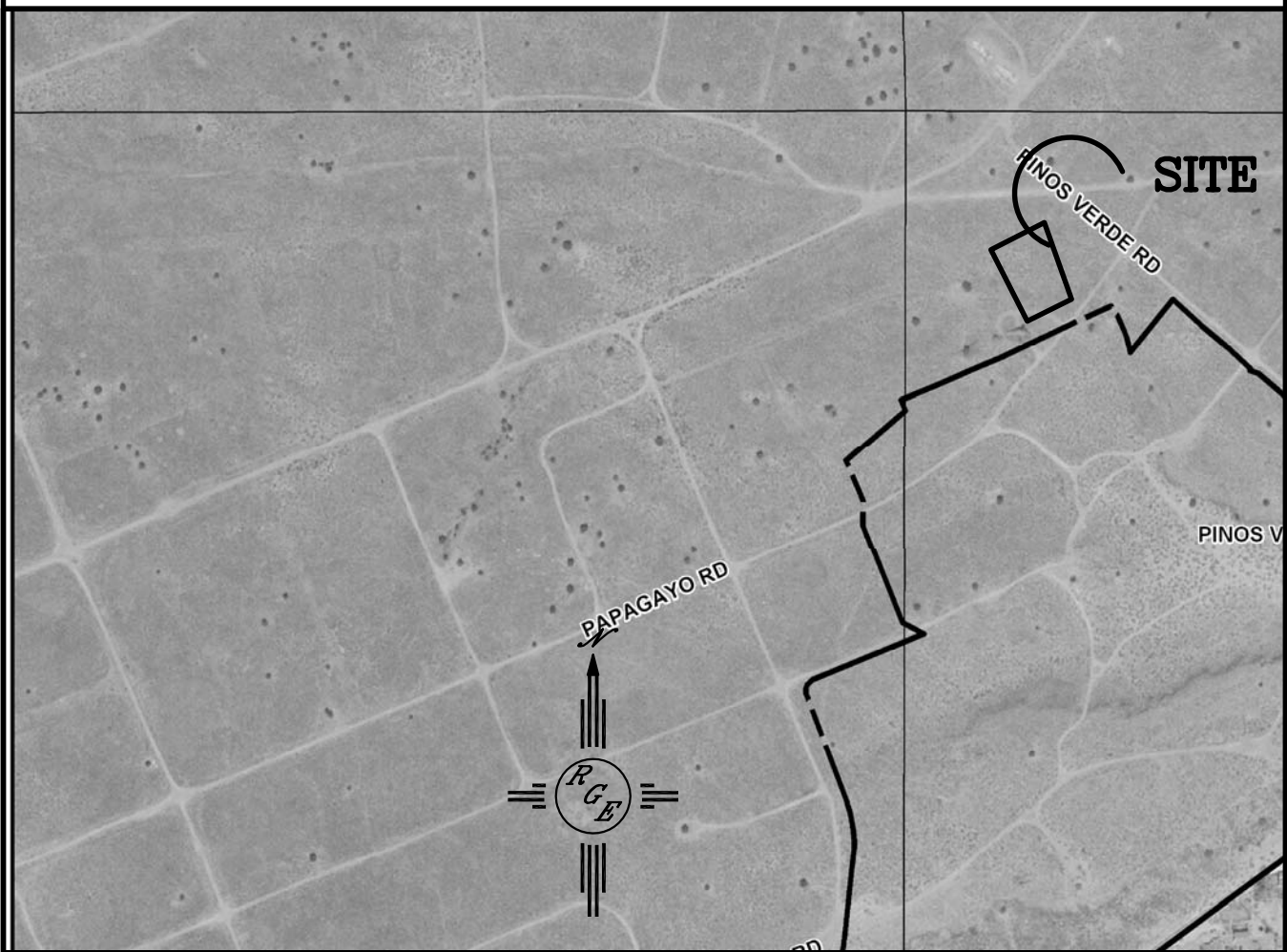
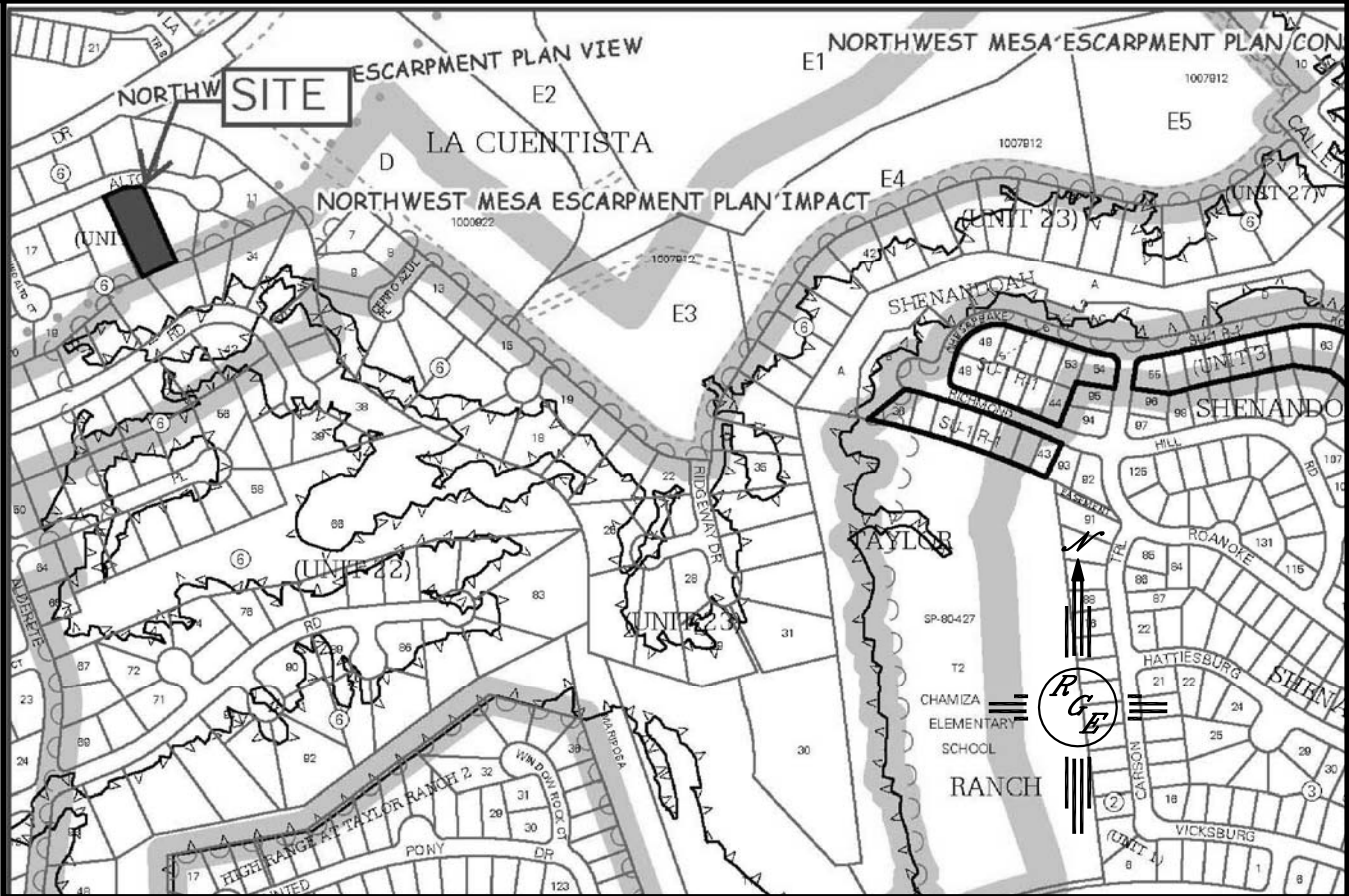
2/28/18



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS 'NTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

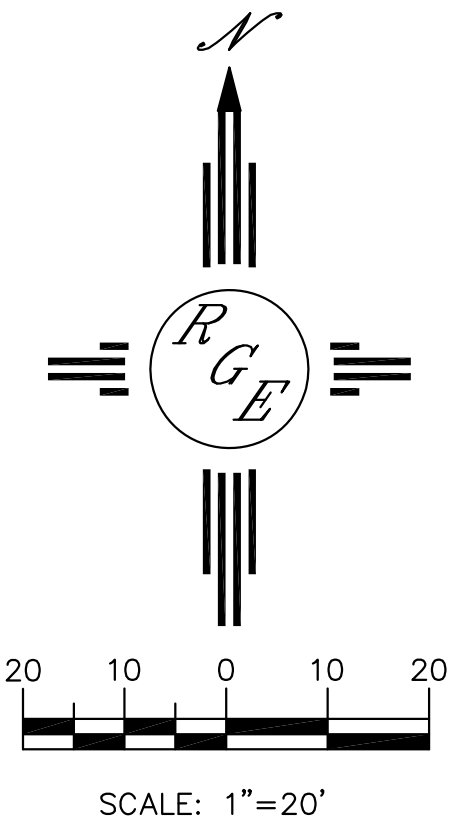
Lot 14, Block 6, Volcano Cliffs Unit 22

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. A PAD CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT
4. ANY PERIMETER WALLS SHALL BE CONSTRUCTED UNDER A SEPARATE BUILDING PERMIT AND MUST CONFORM TO THE APPROVED GRADING PLAN ALLOWING CROSS LOT DRAINAGE
5. FINISHED PAD ELEVATION PROVIDED BY CONTRACTOR AT OWNERS REQUEST. ANY POTENTIAL TOTAL BUILDING HEIGHT LIMITATIONS ARE OUTSIDE OF THE SCOPE OF THIS GRADING PLAN
SHED PAD ELEVATION PROVIDED BY CONTRACTOR AT OWNERS REQUEST. ANY POTENTIAL TOTAL BUILDING HEIGHT LIMITATIONS ARE OUTSIDE OF THE SCOPE OF THIS GRADING PLAN

LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- XXXX--- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CMU SCREEN WALL



ENGINEER'S SEAL 2/28/18 DAVID SOULE P.E. #14522	6212 CAMINO ALTO CT NW WALTON RESIDENCE	DRAWN By WCVJ
	GRADING AND DRAINAGE PLAN	DATE 2-28-18 21844-LAYOUT-1-05-18
 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-5998		SHEET # —
		JOB # 21844