

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

September 18, 2020

Jesse Luehring, P.E.
Critical View Engineering, LLC
11501 Modesto Ave NE
Albuquerque, New Mexico 87122

**Re: 8000 Camino Alto NW S.A.D. 228
Lot 19 Block 6 Volcano Cliff's Unit 22
Request for Permanent C.O. – Approved
Engineer's Stamp Date: 6-13-19 (D19D003B19)
Pad Certification dated: 12/9/19
Certification dated: 9/16/2020**

Dear Mr. Luehring,

PO Box 1293

Based on the Certification received on 9/17/2020, the site is acceptable for release of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: G & D for 8000 Camino Alto **Building Permit #:** BP-2019-22123 **Hydrology File #:** D10D003B19
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot #19, Block #6, Volcano Cliffs Unit #22
City Address: 8000 Camino Alto Ct NW, Albuquerque NM 87120

Applicant: Critical View Engineering **Contact:** Jesse Luehring
Address: 11501 Modesto Ave NE, Albuquerque NM 87122
Phone#: 505-321-5917 **Fax#:** _____ **E-mail:** criticalviewabq@gmail.com
Owner: Lawrence & Jessica Davis **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** ldbenzo@yahoo.com

TYPE OF SUBMITTAL: PLAT (# OF LOTS) ☒ RESIDENCE DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL?: Yes ☒ No

DEPARTMENT: TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** Jesse Luehring, PE

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Critical View Engineering

PO Box 90073

Albuquerque, NM 87199

505-321-5917

September 16, 2020

Rudy E. Rael BS, CE, CFM
City of Albuquerque, Planning Department
Assistant Engineer, CRS Coordinator, Hydrology

RE: COO Certification by Engineer of Record (D10D003B19)

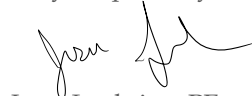
Property Desc: Lot #19, Block #6, Volcano Cliffs Unit #22

I, Jesse J. Luehring, NM Professional Engineer #21684, working on behalf of Critical View Engineering, LLC, hereby certify that the overall grading of the subject property is in substantial conformance to the approved plans dated 6/13/19, and will drain in accordance with the design intent. All 'as-built' elevations are shown on the attached plan.

The record information edited onto the original design document has been obtained under my supervision, and is true and correct to the best of my knowledge and belief. This certification is for the pad elevation, finished floor elevation and site grading, and is submitted to support the Certificate of Occupancy for this residence.

Note that the record information presented herewith is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of the property. Those relying on this record document are advised to obtain independent verification of its accuracy.

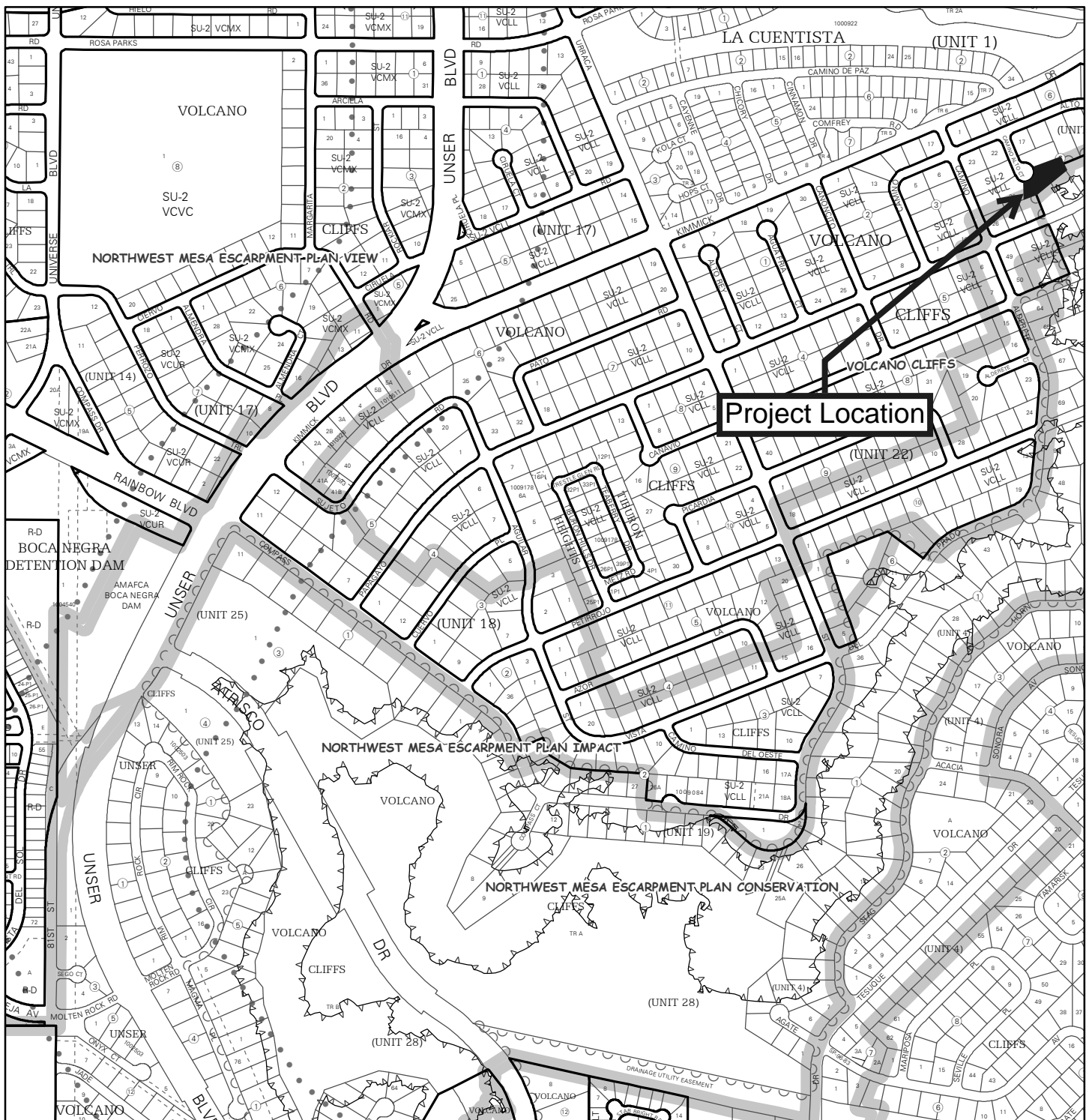
Very Respectfully,



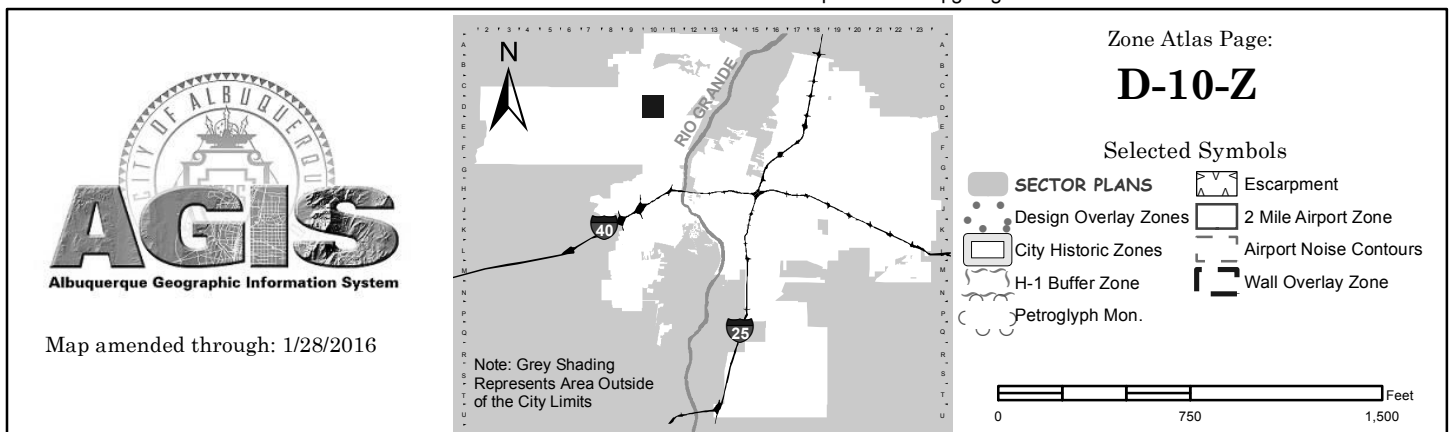
Jesse Luehring, PE

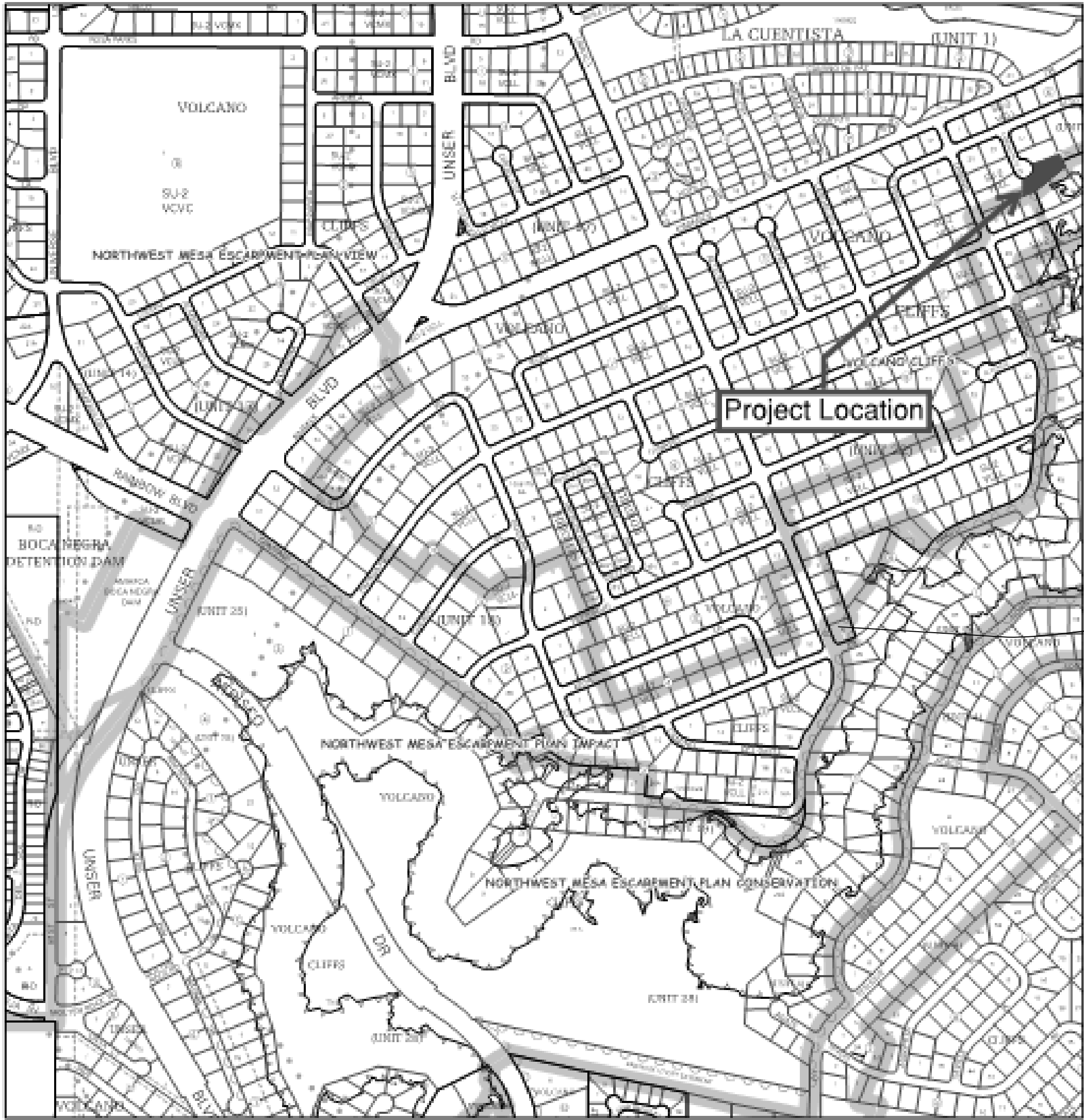
Attached: Revised Plan reflecting actual site conditions



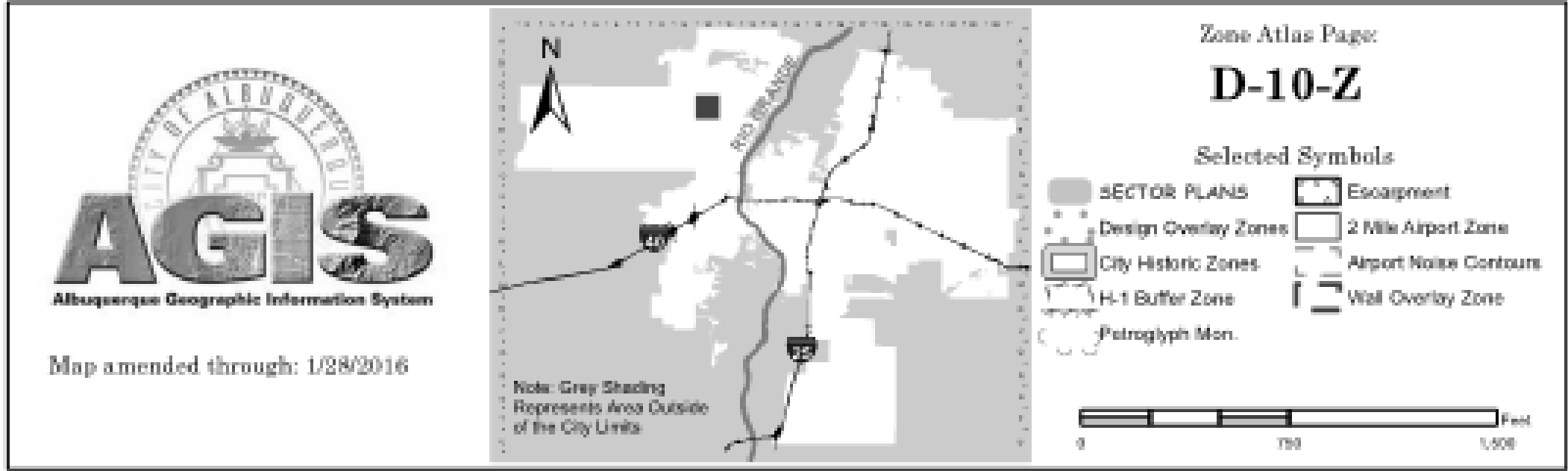


For more current information and details visit: <http://www.cabq.gov/gis>





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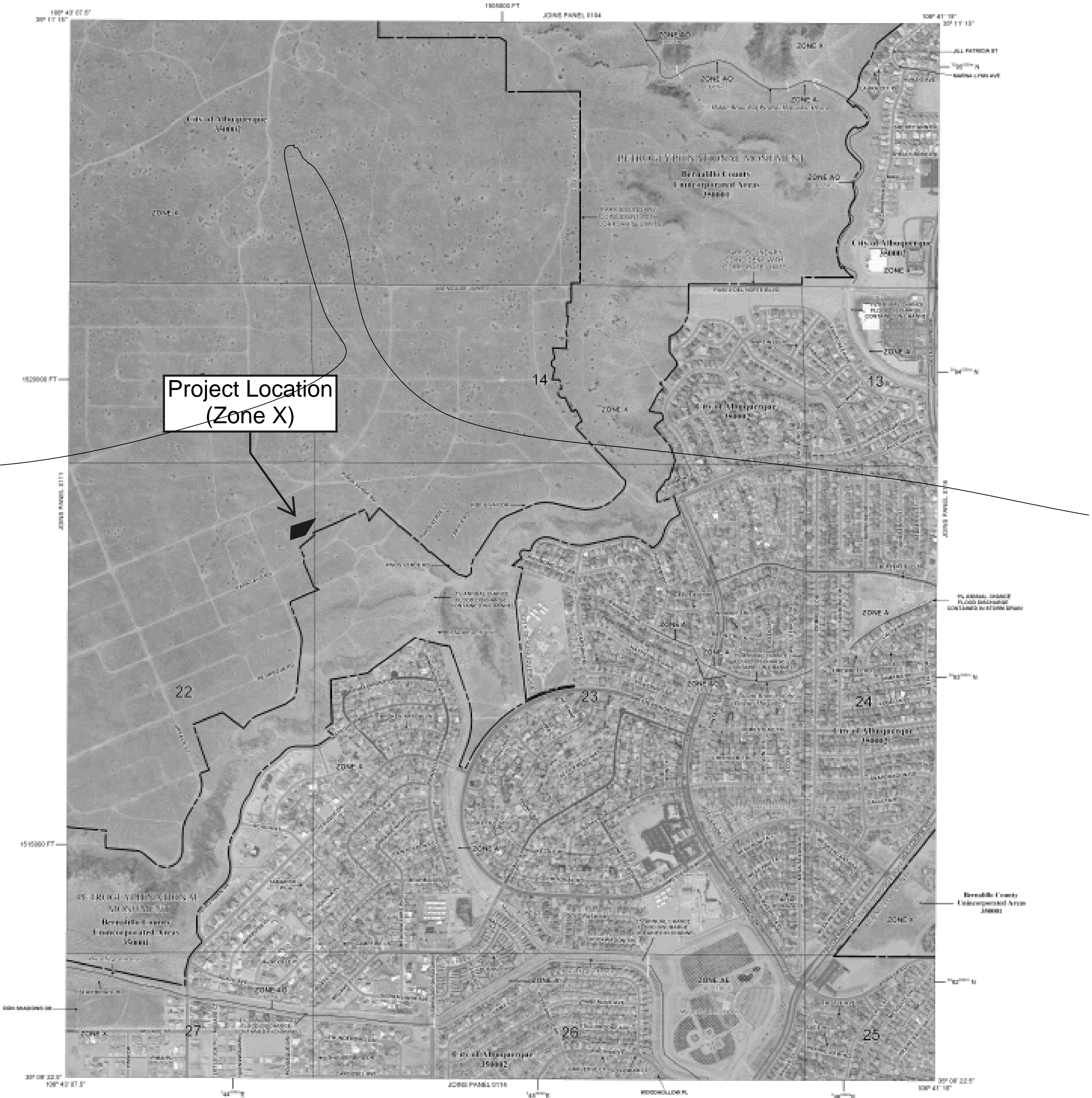


Vicinity Map

Narrative

This is a grading and drainage plan for the construction of the building pad and general grading for the Lot at address 8000 Camino Alto Ct. NW (Lot #19, Block #6, Volcano Cliffs Subdivision Unit 22, a part of Special Assessment District 228)

The purpose of this plan is to establish the first floor elevation, house layout, retaining wall locations, and general lot drainage of the site. This drainage plan has been prepared in accordance with the latest revision to the City of Albuquerque Development Process Manual, and in accordance with Plate 3 of the SAD 228 Drainage Report dated November 2011. This front portion of this lot (referred to as 'Basin A' in this plan) is designed to drain to the street and eventually to Pond 7 (Basin 204 in SAD 228 drainage report), while the back portion (referred to as 'Basin B' in this plan) is intended to free discharge to the south national monument. There are negligible offsite flows on this property, as the norther adjacent lot detains all runoff on site. The site is located in rainfall 'Zone 1' per the DPM.



FEMA Flood Map

First Flush

The initial 'First Flush' to be managed on this lot is 0.44" less 0.10" initial abstraction, resulting in a net of 0.34" rainfall. This results in a required storage volume of 289 Cu. Ft. in Basin A (draining to the street), and 82 Cu. Ft. in Basin B. These storage volumes will be collected on site and held in the small ponds shown on the Plan.

Engineer's Certification

I, Jesse Luehring, hereby certify that I have inspected the site, and that all existing grades are accurately reflected in the topographic survey obtained to develop this grading and drainage plan.

GRADING AND DRAINAGE PLAN
8000 CAMINO ALTO NW
LOT #19, BLOCK #6, VOLCANO CLIFFS UNIT #22

Critical View
Engineering, LLC
11501 Modesto Ave NE
Albuquerque NM, 87122
505-321-5917

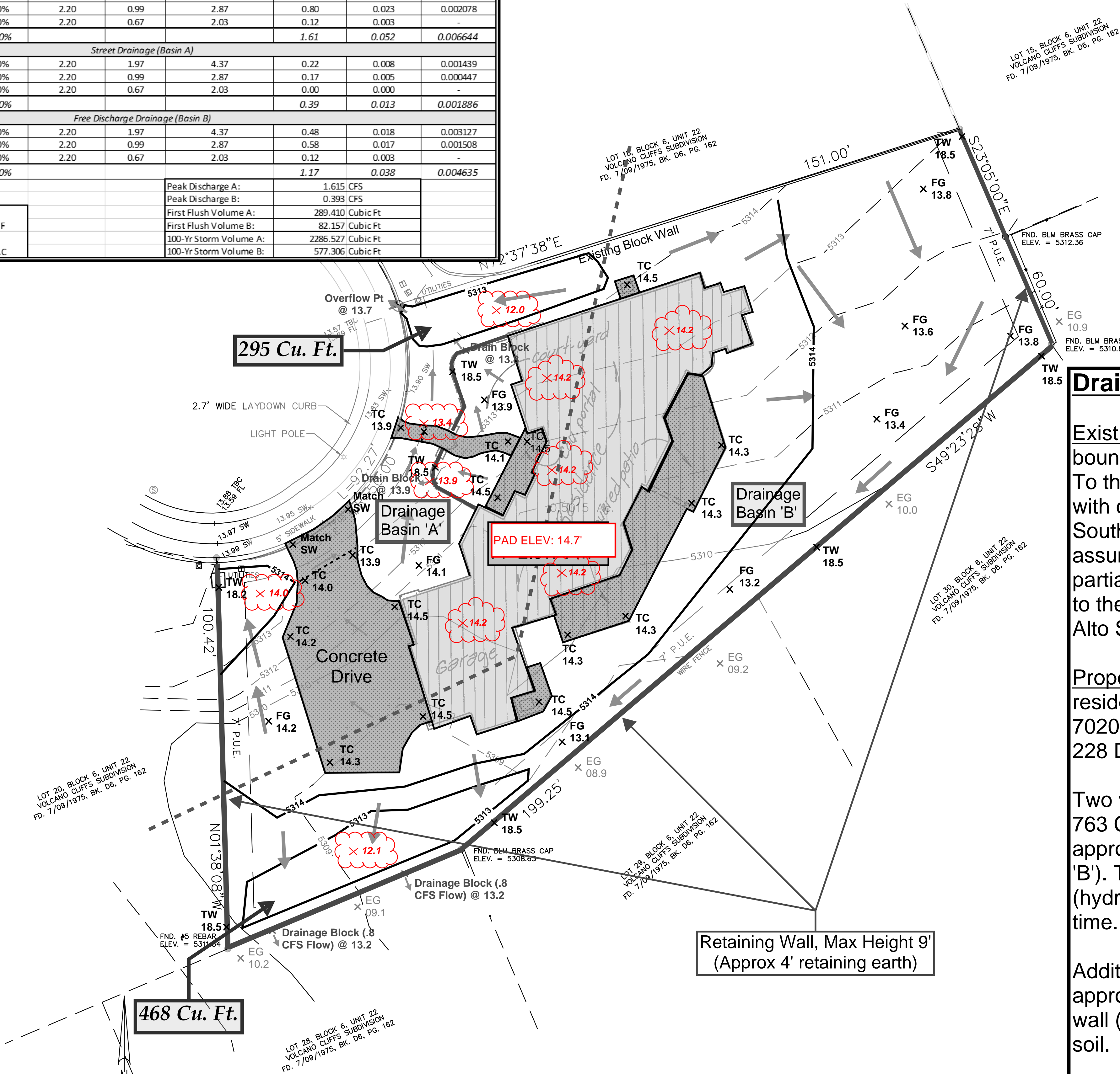


REV 1- Pad Cert 12/9/19

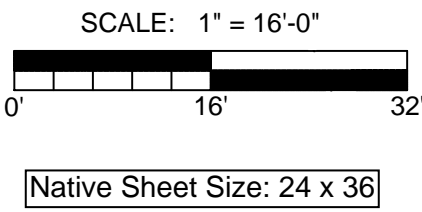


Drainage Calculations

Lot 19, Block 6, Volcano Cliffs Unit 22									
Land Type	Area Lot (SF)	Property Area %	SAD 228 DMP %	100-Yr Storm Inch Depth (6 hr)	Excess Precip (In)	Peak Discharge CFS/AC	Peak Rate of Discharge (CFS)	100-Yr Storm Volume (Ac-Ft)	First Flush Volume (Ac-Ft)
Total Property Area									
Type D	7020	33%	50%	2.20	1.97	4.37	0.70	0.026	0.004566
Type C	12068	56%	40%	2.20	0.99	2.87	0.80	0.023	0.002078
Type B	2480	11%	10%	2.20	0.67	2.03	0.12	0.003	-
TOTAL	21568	100%	100%				1.61	0.052	0.006644
Street Drainage (Basin A)									
Type D	2213	40%	50%	2.20	1.97	4.37	0.22	0.008	0.001439
Type C	2594	47%	40%	2.20	0.99	2.87	0.17	0.005	0.000447
Type B	0	0%	10%	2.20	0.67	2.03	0.00	0.000	-
TOTAL	5523	87%	100%				0.39	0.013	0.001886
Free Discharge Drainage (Basin B)									
Type D	4807	30%	50%	2.20	1.97	4.37	0.48	0.018	0.003127
Type C	8758	55%	40%	2.20	0.99	2.87	0.58	0.017	0.001508
Type B	2480	15%	10%	2.20	0.67	2.03	0.12	0.003	-
	16045	100%	100%				1.17	0.038	0.004635
						Peak Discharge A:	1.615 CFS		
						Peak Discharge B:	0.393 CFS		
Total Drainage Basin Area:						First Flush Volume A:	289.410 Cubic Ft		
						First Flush Volume B:	82.157 Cubic Ft		
						100-Yr Storm Volume A:	2286.527 Cubic Ft		
						100-Yr Storm Volume B:	577.306 Cubic Ft		
		21505	SF						
		0.4937	AC						



SURVEY NOTES:
Elevations shown hereon are referenced to ACS monument "3_D9", Elevation = 5375.458.



General Notes

1. All perimeter walls shall be permitted separately
2. No grading shall be allowed on adjacent properties
3. A pad certification is required before the building permit is issued
4. An as-built certification is required before certificate of occupancy is issued.
5. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
6. It is recommended to contract with a licensed geotechnical engineer for all aspects of earthwork and engineered fill material
7. Driveway cutout not shown, but shall comply with NM Standard Specs for Public Works Construction, specifically Std Detail 2425

Drainage Intent:

Existing Conditions: This lot is an 0.4937 Acre property, that is bound to the North by a developed lot which detains all flows. To the West and East the lot is bounded by undeveloped lots, with open space to the South. The lot generally drains to the Southwest, with negligible offsite flows. The SAD 228 DMP assumes partial flows from this lot to the North ('Basin A') and partial flows to the South ('Basin B'). The North drainage flow to the street, which is eventually collected in Pond 7 on Camino Alto St. The south end drainage discharges to the open space.

Proposed Conditions: Improvements to the lot include a new residence and concrete driveway that will add approximately 7020 SF of impervious area, or 33% of the property area (SAD 228 DMP allows up to 50%).

Two water quality retention ponds with a combined volume of 763 Cu. Ft. are designed to capture the 'first flush' of approximately 371 CF (289 CF in Basin 'A' and 82 CF in Basin 'B'). The existing sandy loam soils at the site are well drained (hydrologic soil group 'B') which will ensure a short retention time.

Additional improvements will include the construction of approximately 258 LF of varying height, retaining site garden wall (designed by others). These walls may retain up to 4' of soil.

The Basin B flows traversing through this wall will be conveyed through 2 separate CMU blocks turned sideways, which will allow 0.8 CFS of flow each, enough to accommodate the Q max of 1.17 CFS.

Flows in the front of the property (Basin 'A') will flow to a water quality pond at the NW end to the lot, and overflow to the street in heavy rainfall events.

GRADING AND DRAINAGE PLAN

8000 CAMINO ALTO NW
LOT #19, BLOCK #6, VOLCANO CLIFFS UNIT #22

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6/13/19
REV 2- COO Cert 9/16/20

