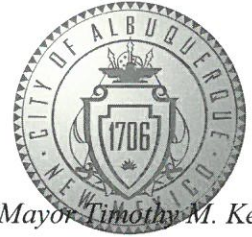


CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 16, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 26 Block 6 Volcano Cliffs Unit 22 SAD 228**
6209 Papagayo NW
Grading and Drainage Plan
Engineers Stamp Date 7/11/18 (D10D003B26)
Pad Certification Date 2/9/18

Dear Mr. Soule,

Based upon the information provided in your submittal received 7/12/18, this plan is approved for Building Permit, Pool Removed.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology. Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 7/6/18.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6209 papagayo **Building Permit #:** _____ **Hydrology File #:** D10d002b14
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: lot 26 block 6 volcano cliffs unit 22
City Address: 6209 papagayo

Applicant: lowebo homes **Contact:** _____
Address: po box 94385 alb nm 87199
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: ☐ PLAT ☒ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN **
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

** this is revision #3,
removed pool and storm drain that pool required

FEE PAID: _____

Weighted E Method

										100-Year, 6-hr.	
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs		
ALLOWED	14177.00	0.325	0%	0	20% 0.065	46% 0.1497	34% 0.111	1.259	0.034		1.05
PROPOSED	14177.00	0.325	0%	0	20% 0.065	42% 0.1367	48% 0.156	1.495	0.041		1.21
COMPARISON										0.006	

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	193	619
FLOOD CONTROL	279	619

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway lot to east per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan exceeds the allowed impervious area therefore we are required to retain the overage. This plan is in conformance to the master drainage plan

EROSION CONTROL NOTES:

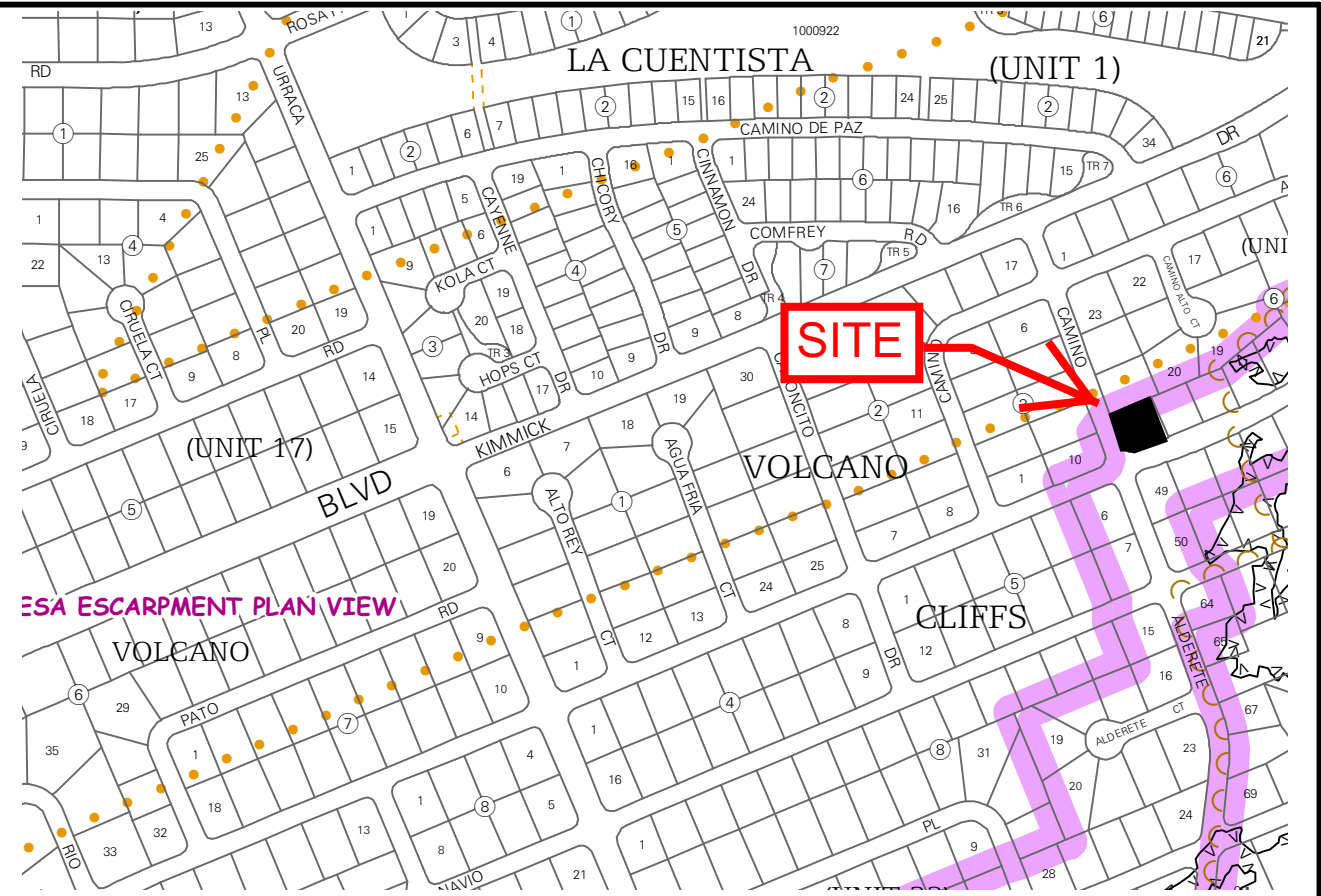
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

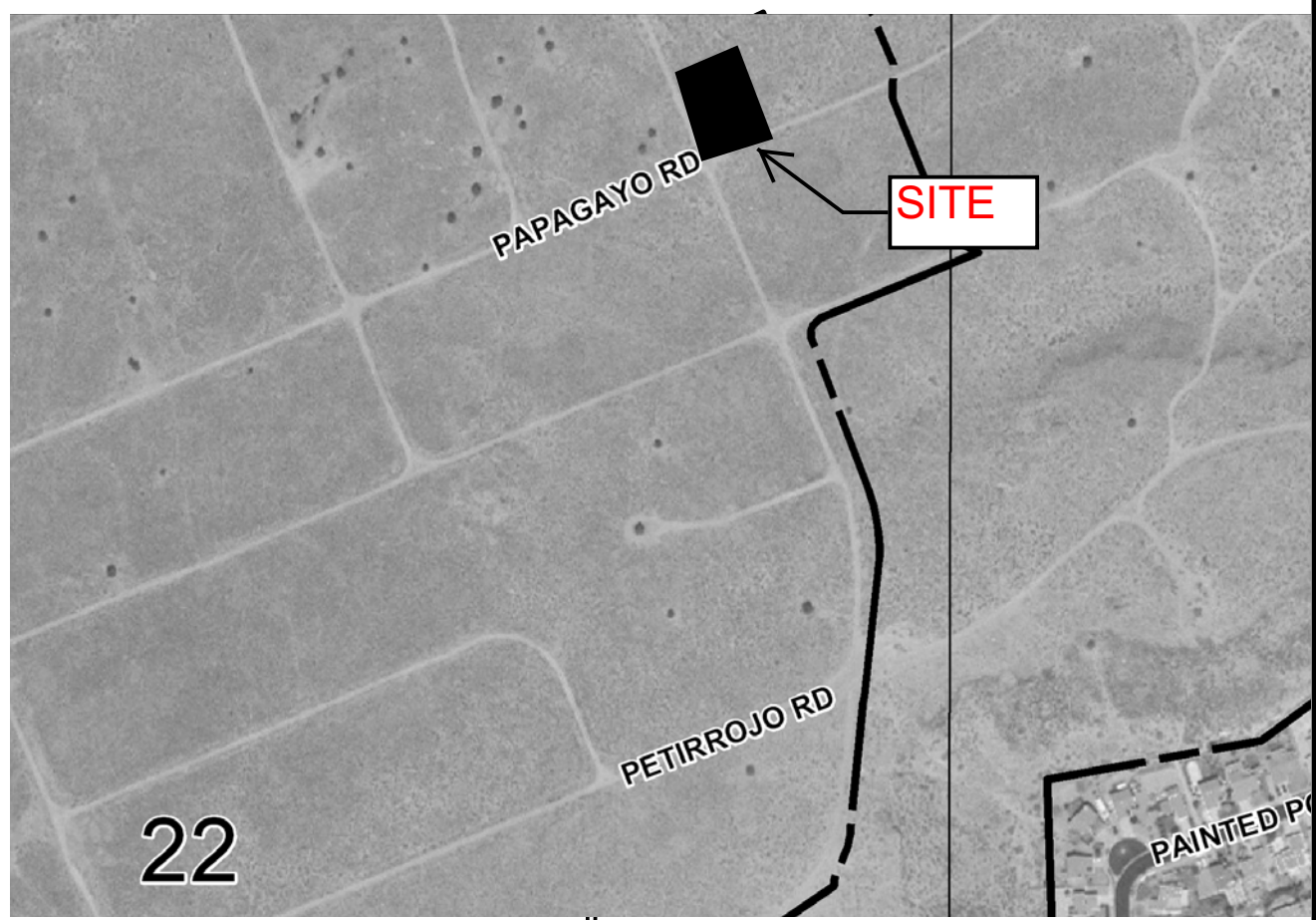
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP: FM35001C0112G

LEGAL DESCRIPTION:

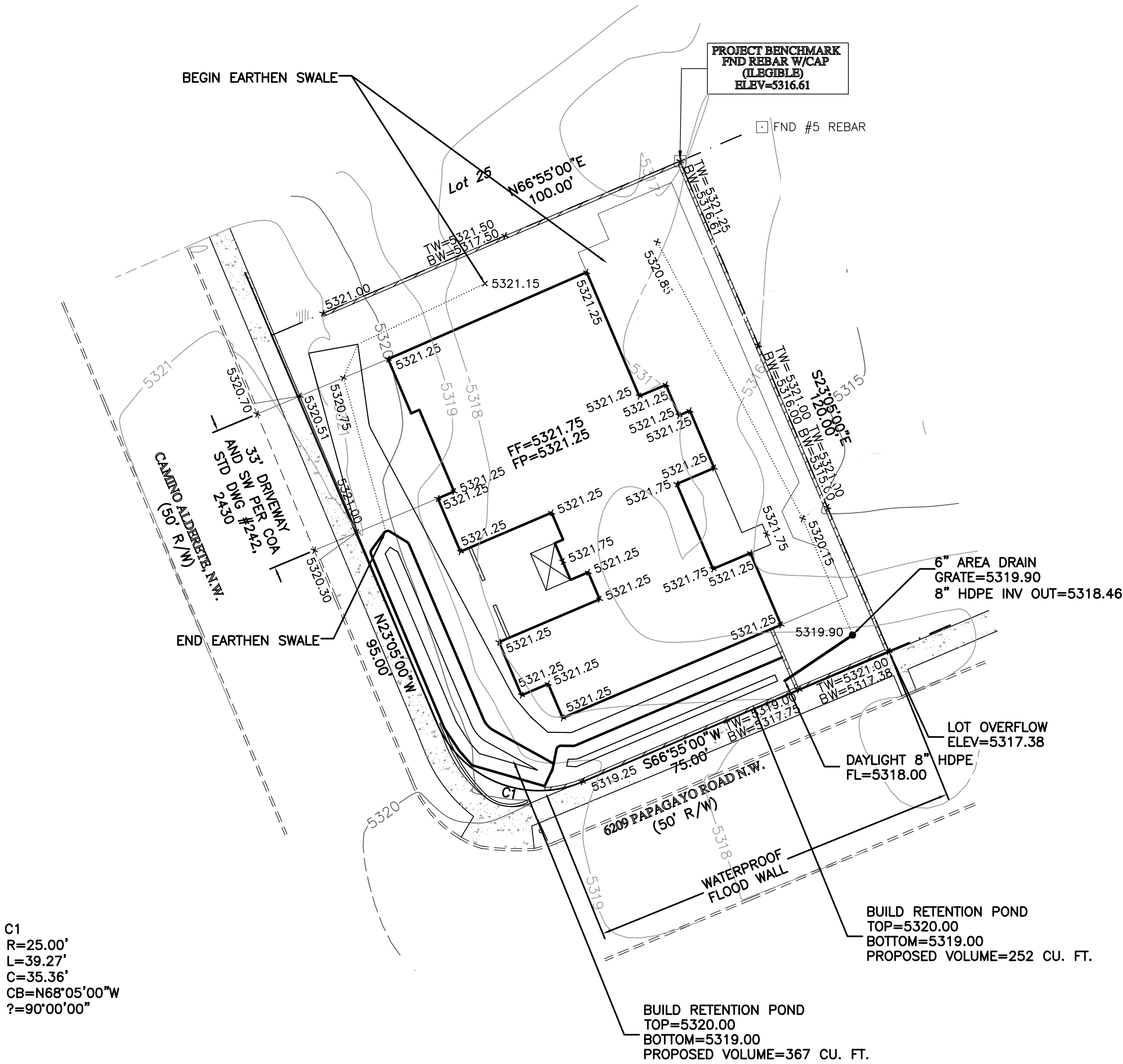
LOT 26, BLOCK 6, VOLCANO CLIFFS

NOTES:

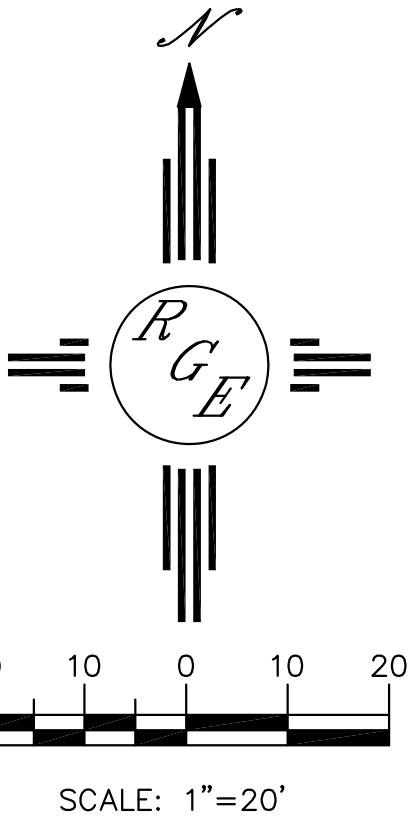
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES, SWALES, POND AND SLOPE SHALL REQUIRE LONG TERM MAINTANANCE

LEGEND

---	XXXX	---	EXISTING CONTOUR
---	XXXX	---	EXISTING INDEX CONTOUR
---	XXXX	---	PROPOSED CONTOUR
---	XXXX	---	PROPOSED INDEX CONTOUR
---	XXXX	---	SLOPE TIE
+	XXXX		EXISTING SPOT ELEVATION
+	XXXX		PROPOSED SPOT ELEVATION
---			BOUNDARY
---			CENTERLINE
---			RIGHT-OF-WAY
==			EXISTING CURB AND GUTTER
---			PROPOSED RETAINING WALL--DESIGN BY OTHERS



C1
R=25.00'
L=39.27'
C=35.36'
CB=N68°05'00\"/>



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

<div>ENGINEER'S SEAL</div> <div></div> <div>7/11/18</div> <div>DAVID SOULE P.E. #14522</div>	6209 PAPAGAYO ROAD NW	DRAWN BY WCWJ
	GRADING AND DRAINAGE PLAN	DATE 7-10-18
	 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-5998	21800-LAYOUT-9-22-17
		SHEET # —
		JOB # 21800