

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

September 28, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 7 Block 1 Volcano Cliffs SAD 227**
6209 Papagayo NW
Grading and Drainage Plan
Engineers Stamp Date 9/25/17 (D10D003B26)

Dear Mr. Soule,

Based upon the information provided in your submittal received 9/27/17, this plan is approved for Grading Permit.

PO Box 1293

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

Albuquerque

Please inform the builder/owner to attach a copy of this approved plan and letter to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 9/25/17.

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

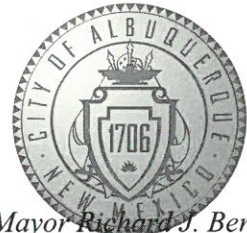
Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JH
C: File

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor ~~Richard J. Berry~~

September 27, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 26 Block 6 Unit 22 Volcano Cliffs SAD 228**
6209 Papagayo NW
Grading and Drainage Plan
Engineers Stamp Date 9/25/17 (D10D003B26)

Dear Mr. Soule,

PO Box 1293

Based upon the information provided in your submittal received 9/26/17, this plan cannot be approved for Grading Permit until the following comments are addressed.

Albuquerque

- Show the 7 foot P.U.E. in the North and East of the property.
- Provide size of openings and calculations required in future garden walls.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

James D Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method													
										100-Year, 6-hr.			
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
UPLAND	27131.00	0.623	0%	0	10%	0.062	40%	0.2491	50%	0.311	0.807	0.042	1.48
ALLOWED	14177.00	0.325	0%	0	20%	0.065	46%	0.1497	34%	0.111	1.259	0.034	1.05
PROPOSED	14177.00	0.325	0%	0	20%	0.065	35%	0.1139	45%	0.146	1.367	0.037	1.10
COMPARISON												0.003	

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

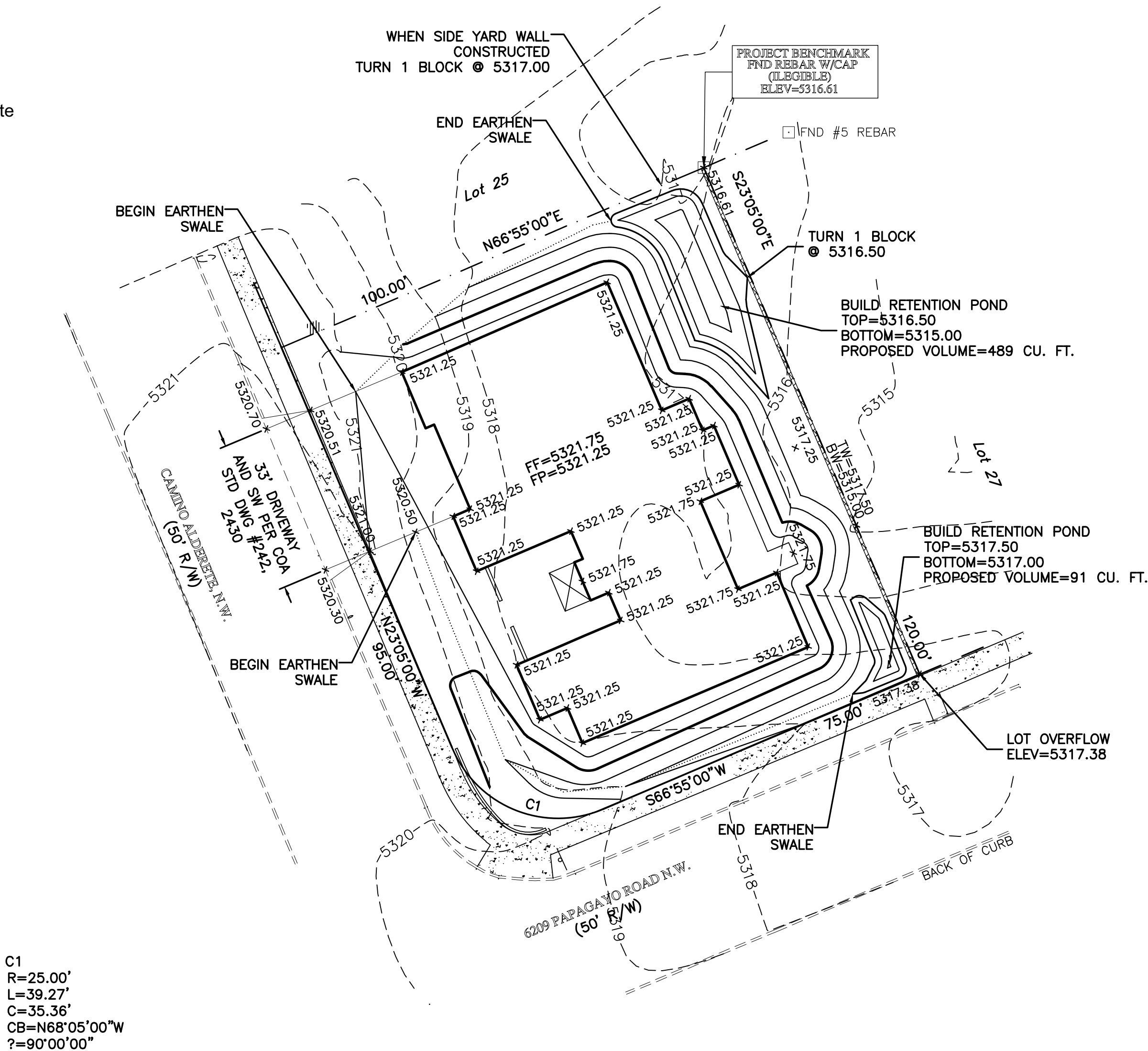
Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditons		
FIRST FLUSH WATER QUALITY VOLUME	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	181	580
FLOOD CONTROL	127	580

Narrative

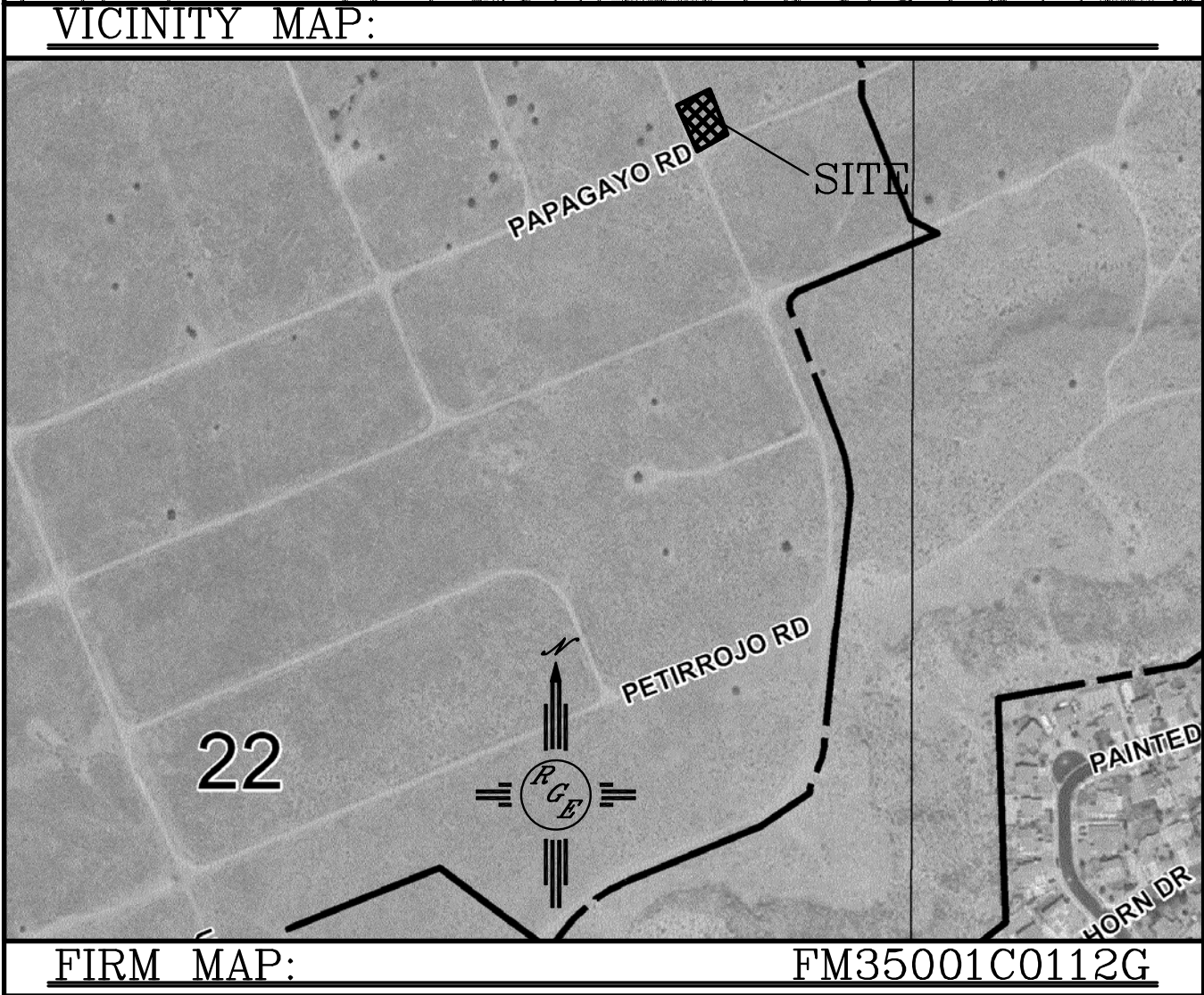
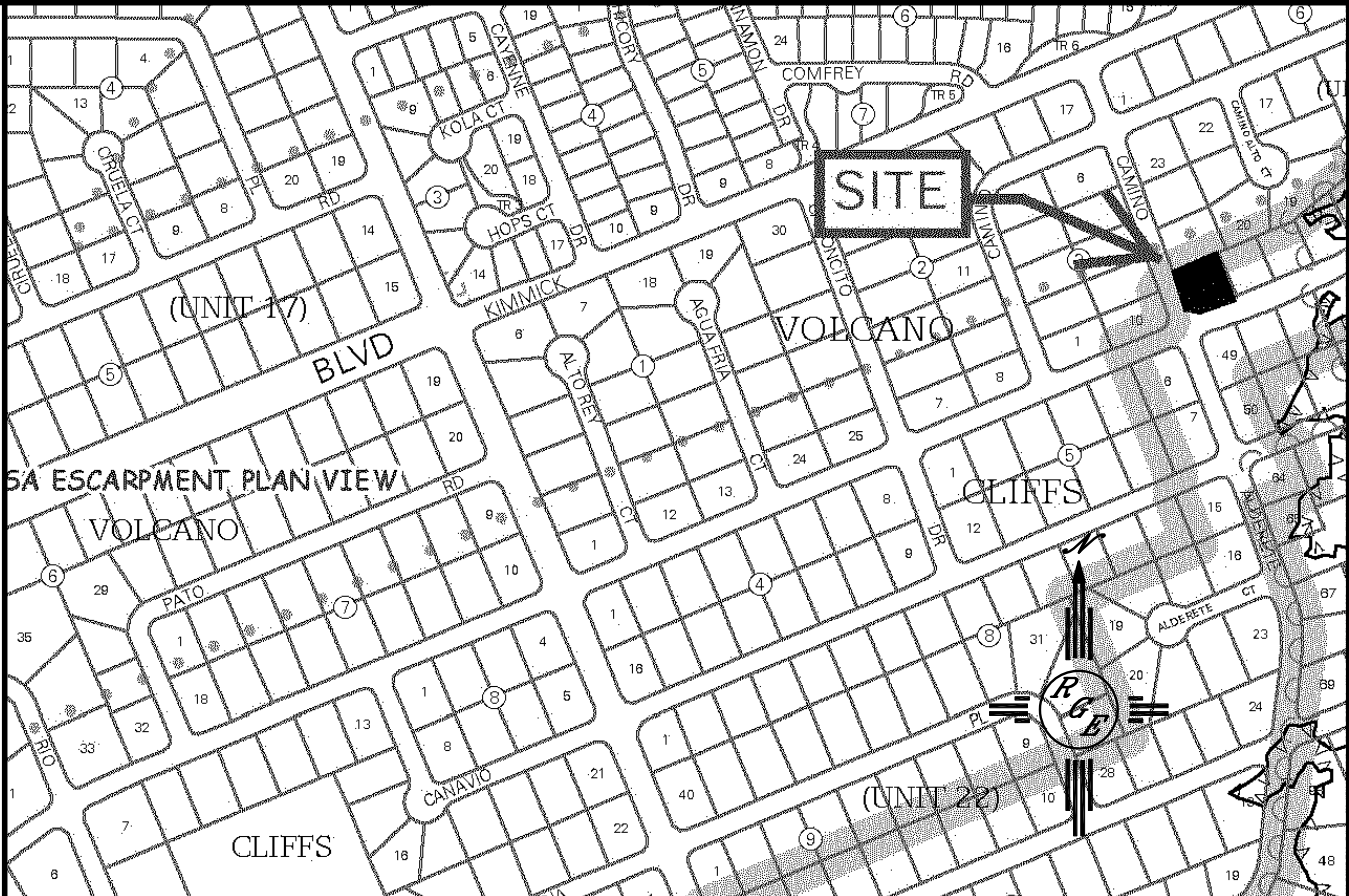
This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway lot to east per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan exceeds the allowed impervious area therefore we are required to retain the overage. This plan is in conformance to the master drainage plan



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

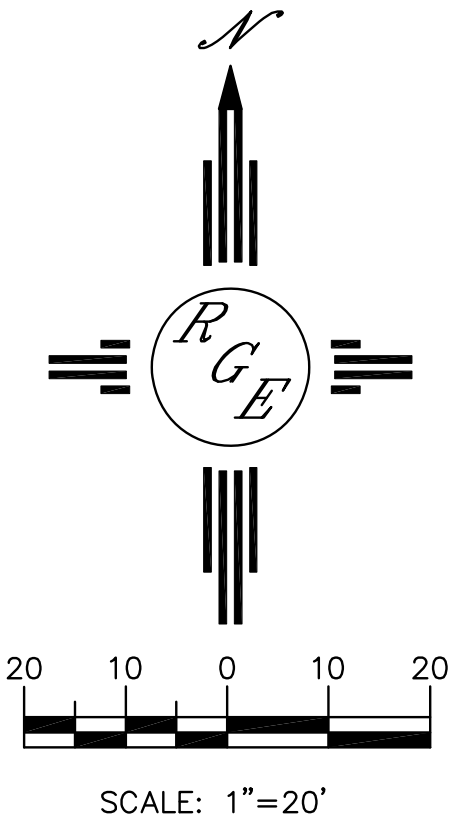



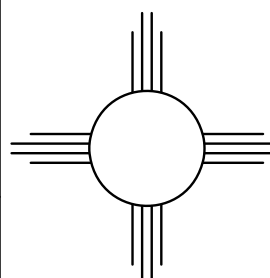
LEGAL DESCRIPTION:
LOT 26, BLOCK 6, VOLCANO CLIFFS

- NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL DRAINAGE STRUCTURES, SWALES, POND AND SLOPE SHALL REQUIRE LONG TERM MAINTANANCE
 3. A CERTIFICATION OF PAD ELEVATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT
 4. ALL PERIMETER WALLS SHALL BE PERMITTED SEPARATELY. WALLS MUST CONFORM TO THE APPROVED GRADING PLAN

LEGEND

- XXXX--- EXISTING CONTOUR
- - - - -XXXX- - - - - EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- XXXX----- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY
- ===== EXISTING CURB AND GUTTER
- PROPOSED CMU SCREEN WALL



<div>ENGINEER'S SEAL</div> <div></div> <div>9/25/17</div> <div>DAVID SOULE P.E. #14522</div>	6209 PAPAGAYO ROAD NW	DRAWN BY WCWJ
		DATE 9-22-17
	GRADING AND DRAINAGE PLAN	21800-LAYOUT-9-22-17
	 <div><i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0898</div>	SHEET # —
		JOB # 21800