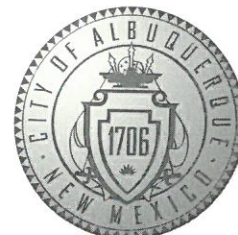


# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

November 7, 2019

Paul E. McGinnis, P.E.  
McGinnis & Associates, LLC  
PO Box 92606  
Albuquerque, New Mexico 87120

RE: **Lot 1 Block 2 SAD 228  
8024 Canoncito Dr. NW  
Volcano Cliffs Subdivision  
Grading and Drainage Plan  
Engineers Stamp Date 11/6/19 (D10D003C1)**

Mr. McGinnis,

Based upon the information provided in your submittal received 11/7/19, this plan cannot be approved for Grading Permit until the following comments are addressed.

- Remove the openings in the rear yard. Provide openings in new garden wall so that flows can exit onto Kimmick Drive at the N.W. corner.
- No fees will be charged for the resubmittal.

**Prior to building permit approval a pad certification will be required.**

**Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.**

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.  
City Engineer, Planning  
Division Manager

RR/SB  
C: File D10D003C1



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Grading and Drainage Plan Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot 1 Block 2 Unit 22 Volcano Cliffs Subdivision  
City Address: 8024 Canoncito Dr. NW, Albuquerque, NM 87120

**Applicant:** P.E. McGinnis & Associates, LLC Contact: Paul McGinnis  
Address: P.O. Box 92606 Albuquerque, NM 87199  
Phone#: 505-690-1168 Fax#: \_\_\_\_\_ E-mail: pesanto@aol.com  
**Owner:** Maldonado, Luis & Elena Contact: Elena  
Address: 1209 Rael St. SW Albuquerque, NM 87121-3480  
Phone#: 505-250-2829 Fax#: \_\_\_\_\_ E-mail: elenamaldonado@yahoo.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: November 7, 2019 By: Paul E. McGinnis

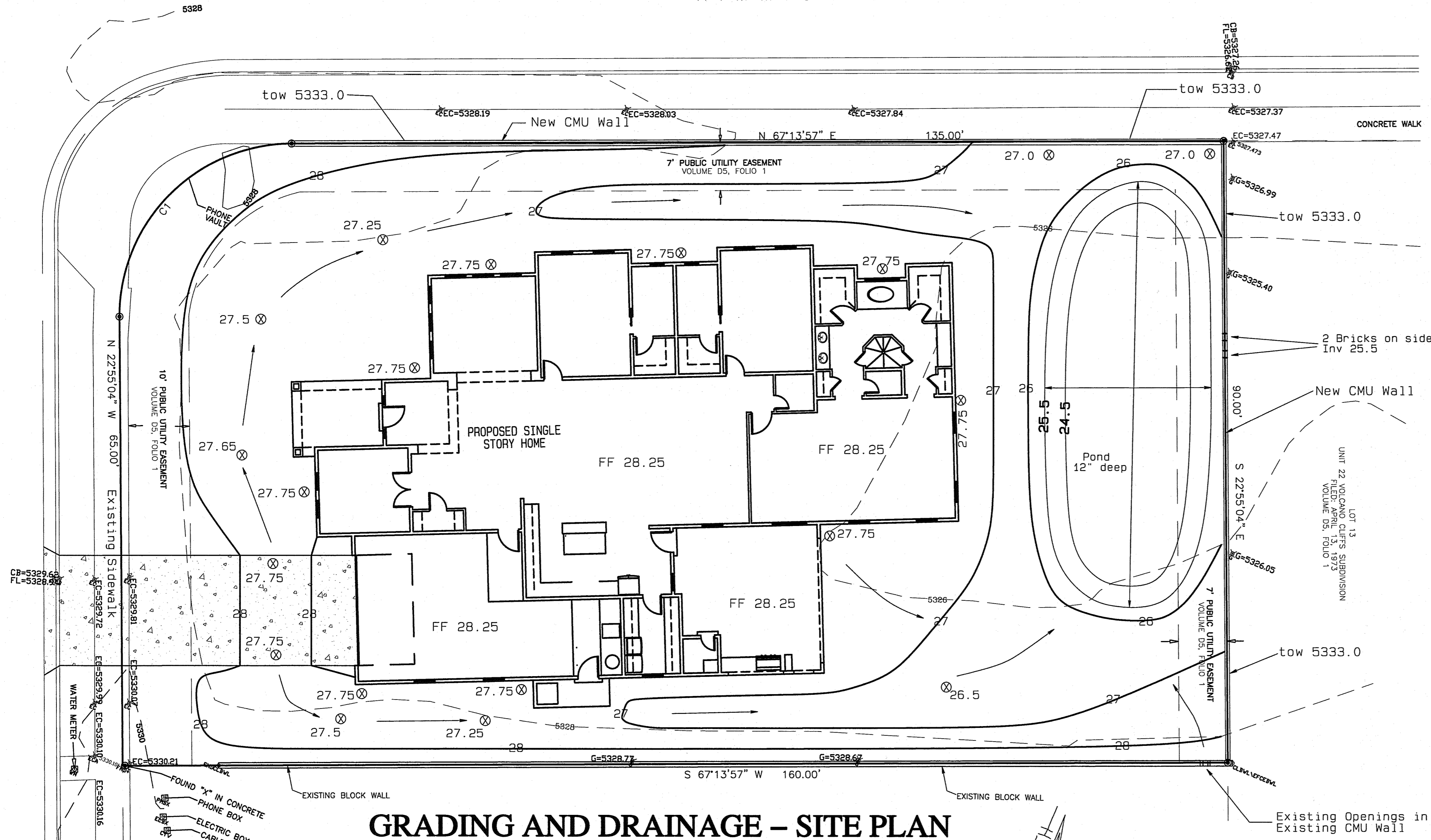
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

CANONCITO DRIVE N.W.

KIMMICK DRIVE N.W.

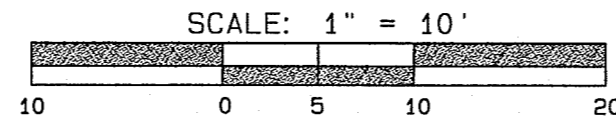


## GRADING AND DRAINAGE - SITE PLAN

SCALE: 1" = 10'

### LEGEND

- New Contour (Finished Surface Elev)
- - - Existing Contour
- Direction of Surface Drainage
- ⊗ Surveyed Spot Elevation
- ⊗ New Finished Spot Elevation



### DRAINAGE DATA - Lot 1, Unit 22 Volcano Cliffs Subdivision, Albuquerque, NM

ZONE 1 TABLE: PROJECT SITE DRAINAGE DATA  
Existing Land Treatment Conditions Proposed Land Treatment Conditions

Aa	Ab	Ac	Ad	At
0.328	0.000	0.000	0.000	0.328
Ew	V-360	V-10day	Gp-100	Gp-10
0.441	0.012	0.012	0.423	0.079
	523.882	523.882		

Aa	Ab	Ac	Ad	At
0.000	0.010	0.190	0.128	0.328
Ew	V-360	V-10day	Gp-100	Gp-10
1.363	0.037	0.053	1.125	0.661
	1,622.465	2,305.486		

Net Runoff Volume Created = V360 Day (Proposed) - V360 Day (Existing)  
Net Runoff Volume Created = 1,622 Cu. Ft. - 524 = 1,098 Cu Ft.  
PONDING PROVIDED = 1,100 Cu. Ft.

### NARRATIVE

Grading and Drainage Plan for the Construction of the Building Pad for Lot 1 Unit 22 Volcano Cliffs Subdivision, being a part of SAD 228. The site must maintain existing drainage patterns. Due to existing elevations, discharge to the street is not practical. The drainage plan will allow minor upland flow from the adjacent lot on the southeast side. Address of this Property: 8024 Canoncito Drive, NW

Purpose of this Plan is to establish the first floor elevation, house layout, lot drainage including off site flows.

### First Flush per EPA Standards

The Initial First Flush to be managed is 0.44" less 0.10" = 0.34  
The initial storage on site will be collected and held in the 1,100 cu.ft. landscape pond shown on the Plan.

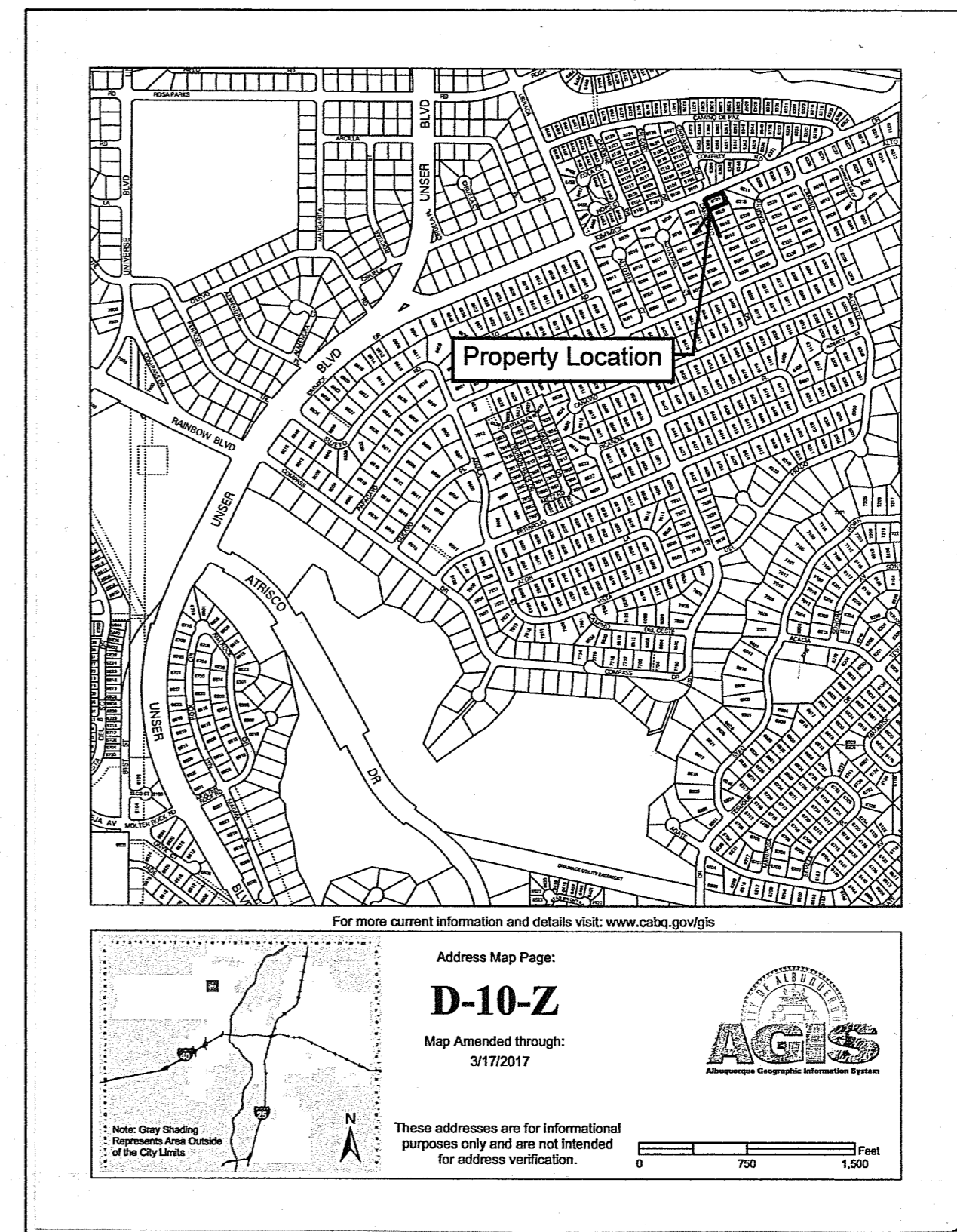
### Grading Plan Note:

Contractor must confirm existing surface elevations throughout the construction area including the pond location(s). Surface swales must have a minimum slope of 1% to "daylight" with the flow line at least 4' ft. from the footings where possible. P.E. McGinnis & Associates, LLC is not responsible for construction methods & techniques of the Contractor, nor proper soils engineering for footings and interior floor support. P.E. McGinnis & Assoc., LLC is not a soils engineering or structural engineering firm. Runoff factors used in this plan assumes some soil infiltration of moisture during runoff events. If soils are not suitable for this reality, proper mitigation of percolation should be implemented by the Contractor as advised by the Architect, Landscape Specialists, or Soils Engineer.

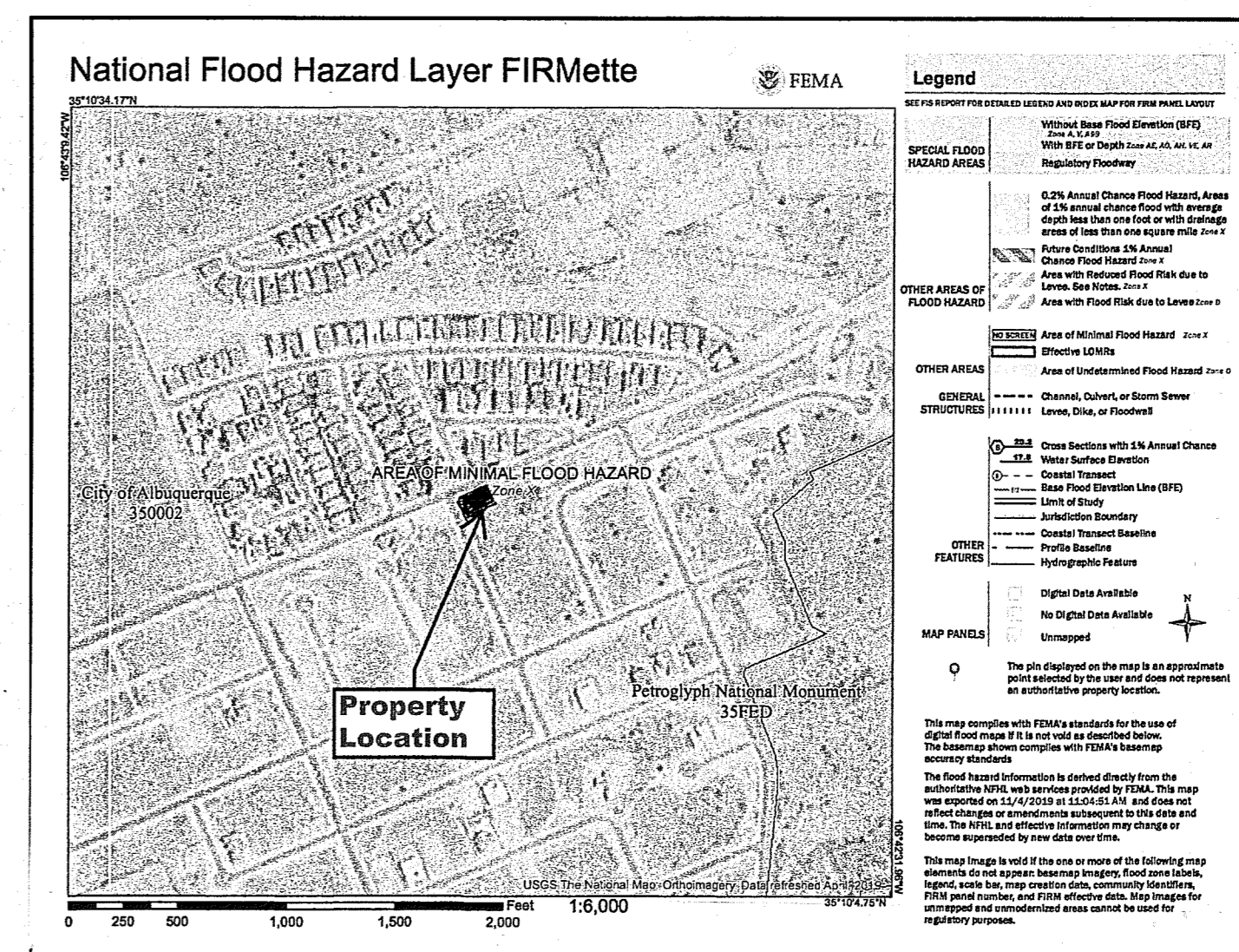
Revisions to the grading plan, changes in location of the structures, driveway, or pond location without the expressed approval of P.E. McGinnis & Associates, LLC invalidates this grading plan.

### GENERAL NOTES:

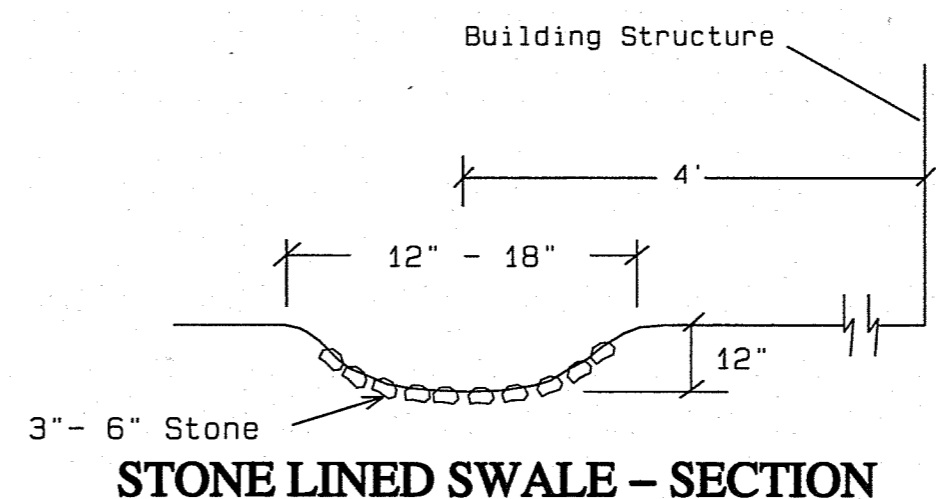
- Earth surfaces disturbed in the construction process will either be treated with formal landscaping (lawn, flower beds, etc.) or with native plant seeding. City of Albuquerque, Standard Specification No. 1012 shall be used to control native plant seeding when the permanent structure is built.
- A Pad Certification is required before the slab is poured
- All walls and/or fences require a separate permit. The Owner shall acquire a separate permit for the retaining wall (if any) that is designed by a Professional Engineer.



## ZONE MAP



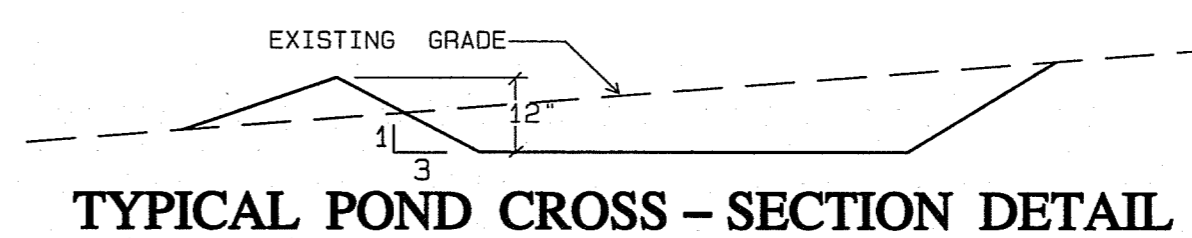
## FEMA MAP



### STONE LINED SWALE - SECTION

SWALE NOTE  
Swale flow lines must be at least 4' from footings

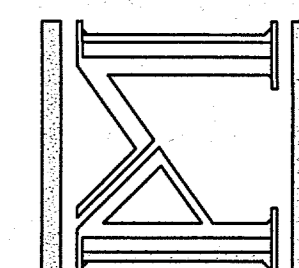
NTS



### TYPICAL POND CROSS - SECTION DETAIL

NTS

**P. E. MCGINNIS & ASSOCIATES, LLC**  
GRADING AND DRAINAGE PLANS, FEMA FLOOD PLAIN CHALLENGES  
WATER/WASTEWATER LINE EXTENSIONS, DRAINAGE ANALYSIS  
OFFICE: 1114 HICKOX - SANTA FE, NEW MEXICO 87501  
MAIL: P.O. BOX 2351 - SANTA FE, NEW MEXICO 87504  
SANTA FE: PHONE (505) 983-1563 ALBUQUERQUE: PHONE/FAX (505) 823-6620



**GRADING AND DRAINAGE PLAN**  
MALDONADO RESIDENCE  
8024 CANONCITO DR NW  
CITY OF ALBUQUERQUE, NEW MEXICO

11/6/19