



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 6309 Camino Alto N.W., Albuquerque, Building Permit #: 2016-34127 City Drainage #: D-10/
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 3-A-1 IN BLOCK C OF LOUISIANA SUBDIVISION, ALBUQUERQUE, NM
City Address: _____

Engineering Firm: MARK GGODWIN & ASSOCIATES, PA Contact: DIANE HOELZER, PE
Address: 8916 ADAMS NE, ABQ, NM 87113
Phone#: 828-2200 Fax#: _____ E-mail: diane@goodwinengineers.com

Owner: Raylee Homes Inc Contact: Jeff Grady
Address: PO Box 1443, ABQ, NM 87048
Phone#: 338-1438 Fax#: _____ E-mail: _____

Architect: Raylee Homes Contact: Bob Feeney
Address: _____
Phone#: 505-263-9956 Fax#: _____ E-mail: _____

Surveyor: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN *(3rd subm)*
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☒ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: DECEMBER 22, 2016 By: DIANE HOELZER, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

December 22, 2016

Hydrology Division, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: 6309 Camino Alto NW Residence (SAD 228)
Engineers stamp date 12-22-16 (D10 /D___)

Attention Rudy Rael:

This letter is in response to your informal comment email dated 12-16-16 and our subsequent meeting:

1. The flows from this site have been modified in response to our meeting. Part of the flow is directed to the first flush pond located at the NE corner of the lot with runoff overflow conveyed through two turned blocks at the boundary. A second first flush pond at the SE corner of the property with runoff overflow directed to Camino Alto road.
2. Opening size has been provided on the plan.
3. The spillway elevation from the pond is set at 0.2' higher than the adjacent property as shown on the plan.
4. The note has been added to the construction notes.
5. This has been provided on the plan.
6. This note has been provided in the construction notes on the plan.

Please call me if you have any questions.

Sincerely,

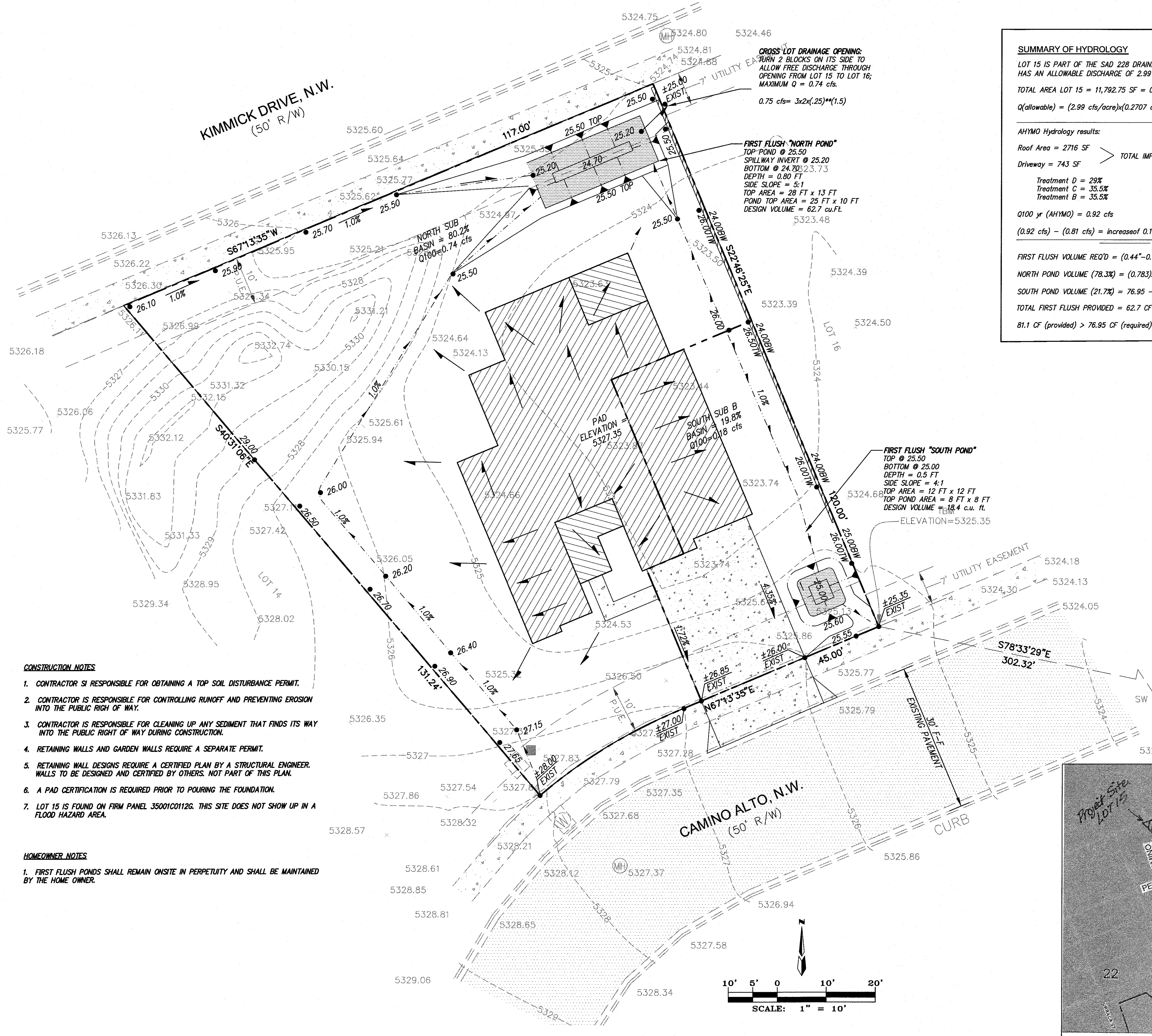
MARK GOODWIN & ASSOCIATES, P.A.

Diane Hoelzer, PE
Senior Engineer

DLH/dlh

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\\F:\A16\JOBS\A16061 - 6309 Camino Alto\GRADE & DRAIN\A16061_G&D_R.dwg, Last saved by: Diana, 12/22/16



- CONSTRUCTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOP SOIL DISTURBANCE PERMIT.
 2. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING RUNOFF AND PREVENTING EROSION INTO THE PUBLIC RIGHT OF WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT FINDS ITS WAY INTO THE PUBLIC RIGHT OF WAY DURING CONSTRUCTION.
 4. RETAINING WALLS AND GARDEN WALLS REQUIRE A SEPARATE PERMIT.
 5. RETAINING WALL DESIGNS REQUIRE A CERTIFIED PLAN BY A STRUCTURAL ENGINEER. WALLS TO BE DESIGNED AND CERTIFIED BY OTHERS, NOT PART OF THIS PLAN.
 6. A PAD CERTIFICATION IS REQUIRED PRIOR TO POURING THE FOUNDATION.
 7. LOT 15 IS FOUND ON FIRM PANEL 35001C0112G. THIS SITE DOES NOT SHOW UP IN A FLOOD HAZARD AREA.

- HOMEOWNER NOTES**
1. FIRST FLUSH PONDS SHALL REMAIN ONSITE IN PERPETUITY AND SHALL BE MAINTAINED BY THE HOME OWNER.

SUMMARY OF HYDROLOGY

LOT 15 IS PART OF THE SAD 228 DRAINAGE MANAGEMENT PLAN WHICH HAS AN ALLOWABLE DISCHARGE OF 2.99 cfs/acre.

TOTAL AREA LOT 15 = 11,792.75 SF = 0.2707 ACRES

$Q(allowable) = (2.99 \text{ cfs/acre}) \times (0.2707 \text{ acres}) = 0.81 \text{ cfs}$

AHYMO Hydrology results:

Roof Area = 2716 SF
Driveway = 743 SF
TOTAL IMPERVIOUS = 3459 SF

Treatment D = 29%
Treatment C = 35.5%
Treatment B = 35.5%

$Q100 \text{ yr (AHYMO)} = 0.92 \text{ cfs}$

$(0.92 \text{ cfs}) - (0.81 \text{ cfs}) = \text{increase of } 0.11 \text{ cfs, } \Rightarrow \text{insignificant.}$

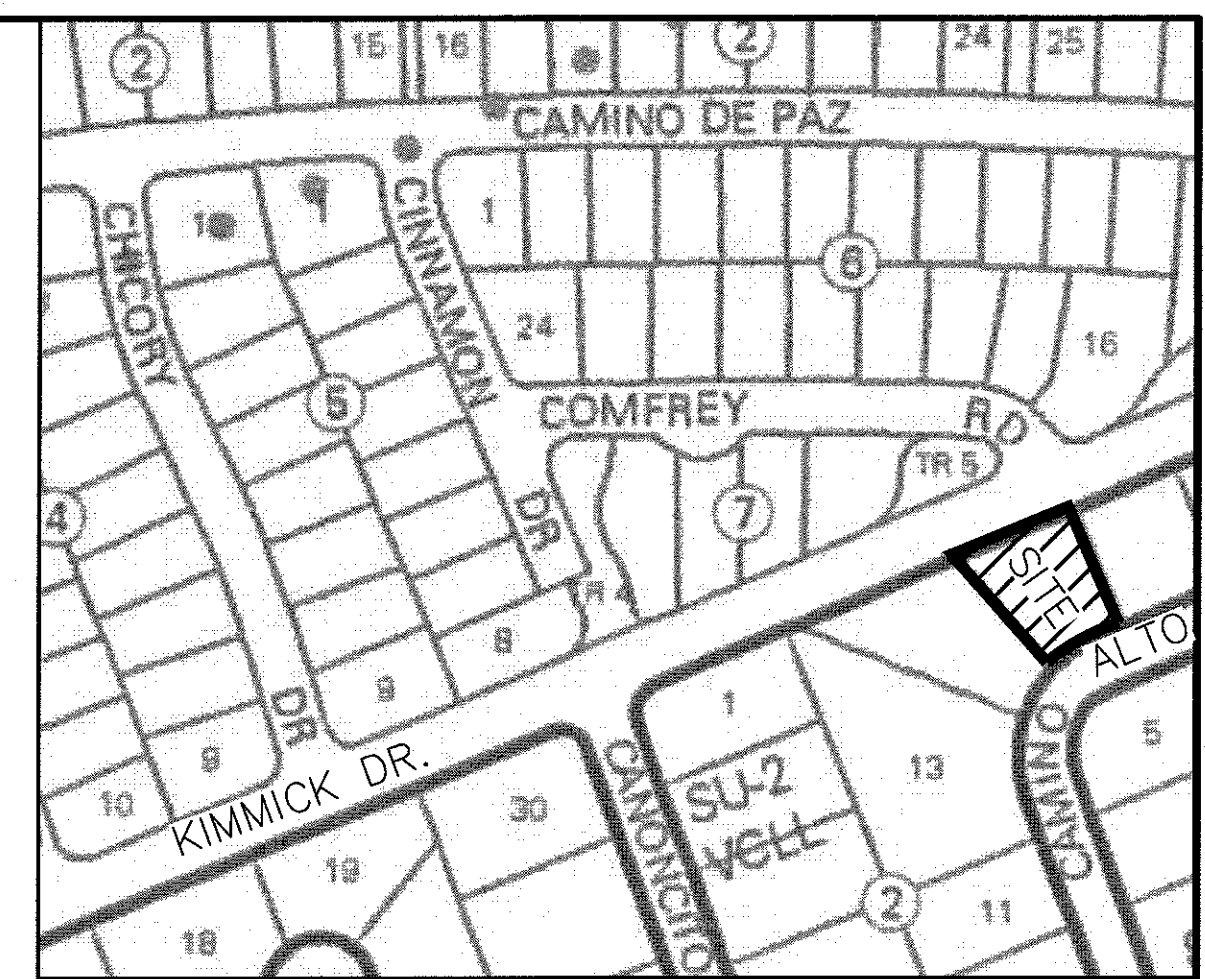
FIRST FLUSH VOLUME REQ'D = $(0.44 - 0.10) \times (1/12) \times 2716 \text{ SF} = 76.95 \text{ CF}$

NORTH POND VOLUME (78.3%) = $(0.783) \times (76.95 \text{ CF}) = 60.3 \text{ CF}$

SOUTH POND VOLUME (21.7%) = $76.95 - 60.26 = 16.7 \text{ CF}$

TOTAL FIRST FLUSH PROVIDED = 62.7 CF + 18.4 CF = 81.1 CF

$81.1 \text{ CF (provided)} > 76.95 \text{ CF (required)} \Rightarrow \text{O.K.}$



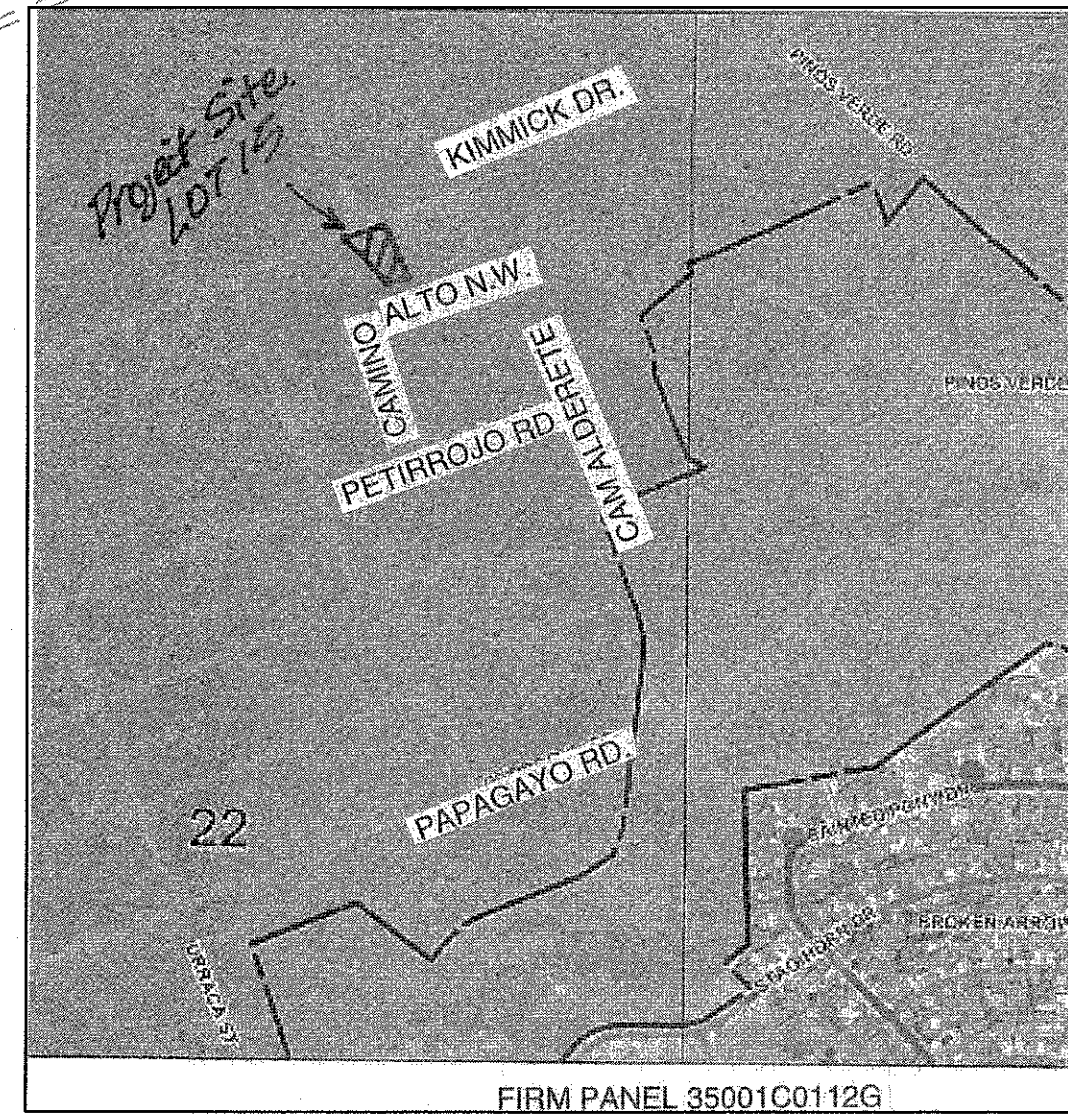
VICINITY MAP ZONE MAP: D-10-Z

LEGAL DESCRIPTION

UNIT 22, BLOCK 2, LOT 15 OF THE VOLCANO CLIFFS SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO AS SAID LOT IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF, BERNALILLO COUNTY, NEW MEXICO ON JULY 9, 1975, VOL. D6, FOLIO 162.

LEGEND

- | | |
|--|---------------------------------|
| | EXISTING SPOT ELEVATION |
| | EXISTING UTILITY PEDESTAL |
| | EXISTING TRANSFORMER |
| | EXISTING WATER METER W/CONC PAD |
| | EXISTING SAS MANHOLE |
| | EXISTING CURB & GUTTER |
| | EXISTING CONTOUR (MAJOR) |
| | EXISTING CONTOUR (MINOR) |
| | EXISTING EASEMENT |
| | EXISTING BOUNDARY LINE |
| | EXISTING SIDEWALK |
| | EXISTING PAVEMENT |
| | NEW RETAINING WALL |
| | NEW SPOT ELEVATION |
| | NEW TOP OF WALL ELEVATION |
| | NEW BOTTOM OF WALL ELEVATION |
| | NEW FLOW DIRECTION ARROW |
| | NEW DRAINAGE SWALE |
| | DRAINAGE SUB BASIN BOUNDARY |



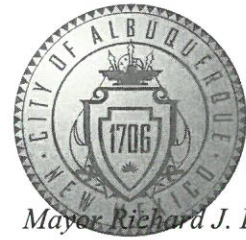
ROYBAL RESIDENCE
6309 CAMINO ALTO N.W.
GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH Drawn: ACH Checked: DMG Sheet 1 of 1
Scale: 1" = 1' Date: 09-19-16 Job: A16061

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayer Richard J. Berry

December 23, 2016

Diane Hoelzer, PE
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87199

**Re: 6309 Camino Alto NW
S.A.D. 228 Lot 15 Block 2
Grading and Drainage Plan
Engineer's Stamp dated: 12/22/2016 (D10D003C15)**

Dear Ms. Hoelzer,

Based on the information provided in your submittal received 12/22/2016 the above referenced Grading and Drainage Plan is approved for Grading Permit. The building permit will be approved once a pad certification is completed. Spot elevations are not required, a note on the plans stating that you have visited the site and that the pad is certified by you, which is in compliance with the original G&D plan dated 12/22/16.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Albuquerque
Planning Department