

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

January 10, 2017

Diane Hoelzer, P.E.
Mark Goodwin & Associates, PA.
PO Box 90606
Albuquerque, NM 87199

RE: **Volcano Cliffs SAD 228**
6309 Camino Alto NW
Building Permit Pad Certification
Engineers Stamp Date 1/10/17 (D10D003C15)

Dear Ms. Hoelzer,

PO Box 1293

Based upon the information provided in your submittal received 1/10/17, this plan with Pad Certification dated 1/10/17 is approved to commence building.

Inform the owner/contractor that a separate wall permit is required.

Albuquerque

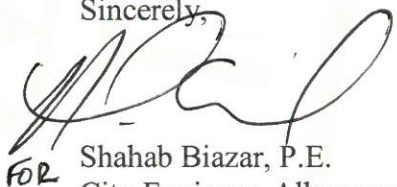
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

New Mexico 87103

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

FOR 

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

RR/SB
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 6309 Camino Alto N.W., Albuquerque, Building Permit #: 2016-34127 City Drainage #: D-10/

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 3-A-1 IN BLOCK C OF LOUISIANA SUBDIVISION, ALBUQUERQUE, NM

City Address: _____

Engineering Firm: MARK GOODWIN & ASSOCIATES, PA Contact: DIANE HOELZER, PE

Address: 8916 ADAMS NE, ABQ, NM 87113

Phone#: 828-2200 Fax#: _____ E-mail: diane@goodwinengineers.com

Owner: Raylee Homes Inc Contact: Jeff Grady

Address: PO Box 1443, ABQ, NM 87048

Phone#: 338-1438 Fax#: _____ E-mail: _____

Architect: Raylee Homes Contact: Bob Feeney

Address: _____

Phone#: 505-263-9956 Fax#: _____ E-mail: _____

Surveyor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

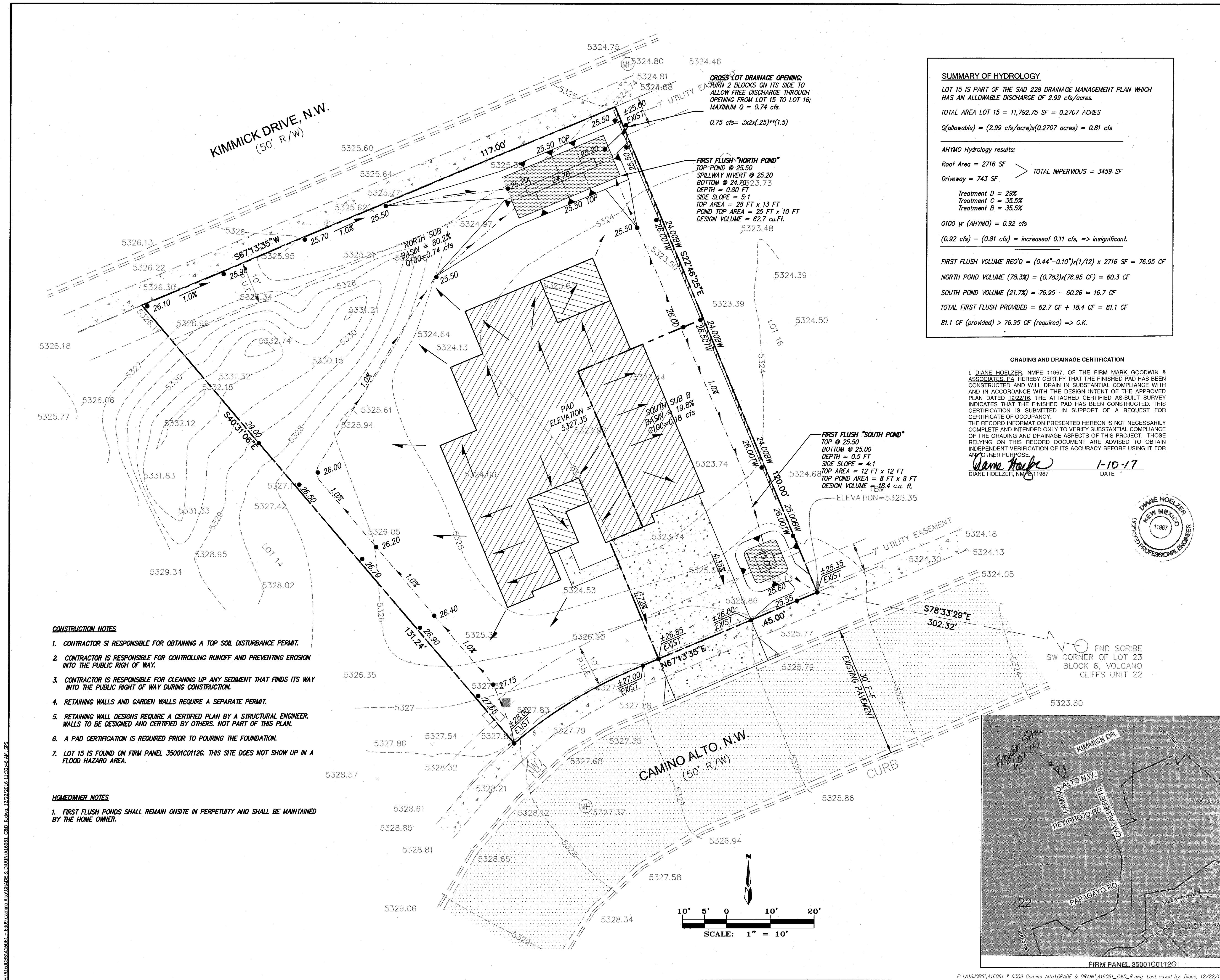
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: January 10, 2016 By: DIANE HOELZER, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



- CONSTRUCTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOP SOIL DISTURBANCE PERMIT.
 2. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING RUNOFF AND PREVENTING EROSION INTO THE PUBLIC RIGHT OF WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT FINDS ITS WAY INTO THE PUBLIC RIGHT OF WAY DURING CONSTRUCTION.
 4. RETAINING WALLS AND GARDEN WALLS REQUIRE A SEPARATE PERMIT.
 5. RETAINING WALL DESIGNS REQUIRE A CERTIFIED PLAN BY A STRUCTURAL ENGINEER. WALLS TO BE DESIGNED AND CERTIFIED BY OTHERS. NOT PART OF THIS PLAN.
 6. A PAD CERTIFICATION IS REQUIRED PRIOR TO POURING THE FOUNDATION.
 7. LOT 15 IS FOUND ON FIRM PANEL 35001C0112G. THIS SITE DOES NOT SHOW UP IN A FLOOD HAZARD AREA.

- HOMEOWNER NOTES**
1. FIRST FLUSH PONDS SHALL REMAIN ONSITE IN PERPETUITY AND SHALL BE MAINTAINED BY THE HOME OWNER.

SUMMARY OF HYDROLOGY

LOT 15 IS PART OF THE SAD 228 DRAINAGE MANAGEMENT PLAN WHICH HAS AN ALLOWABLE DISCHARGE OF 2.99 cfs/acre.

TOTAL AREA LOT 15 = 11,792.75 SF = 0.2707 ACRES

$Q(allowable) = (2.99 \text{ cfs/acre}) \times (0.2707 \text{ acres}) = 0.81 \text{ cfs}$

HYMO Hydrology results:

Roof Area = 2716 SF
Driveway = 743 SF
TOTAL IMPERVIOUS = 3459 SF

Treatment D = 29%
Treatment C = 35.5%
Treatment B = 35.5%

$Q100 \text{ yr (HYMO)} = 0.92 \text{ cfs}$

$(0.92 \text{ cfs}) - (0.81 \text{ cfs}) = \text{increase of } 0.11 \text{ cfs, } \Rightarrow \text{insignificant.}$

FIRST FLUSH VOLUME REQ'D = $(0.44 - 0.10) \times (1/12) \times 2716 \text{ SF} = 76.95 \text{ CF}$

NORTH POND VOLUME (78.3%) = $(0.783) \times (76.95 \text{ CF}) = 60.3 \text{ CF}$

SOUTH POND VOLUME (21.7%) = $76.95 - 60.26 = 16.7 \text{ CF}$

TOTAL FIRST FLUSH PROVIDED = $62.7 \text{ CF} + 18.4 \text{ CF} = 81.1 \text{ CF}$

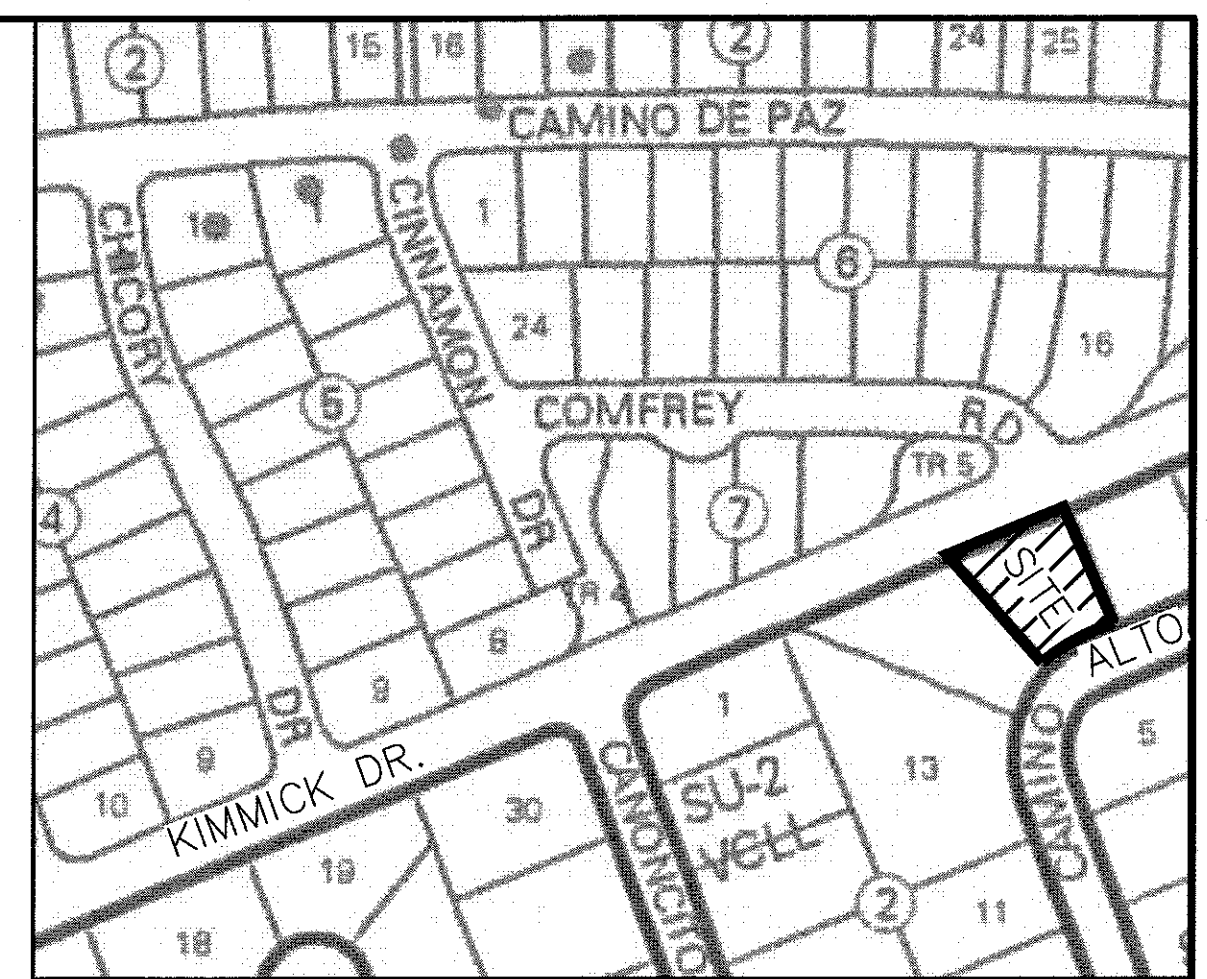
$81.1 \text{ CF (provided)} > 76.95 \text{ CF (required)} \Rightarrow \text{O.K.}$

GRADING AND DRAINAGE CERTIFICATION

I, DIANE HOELZER, NMP# 11967, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THE FINISHED PAD HAS BEEN CONSTRUCTED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/22/16. THE ATTACHED CERTIFIED AS-BUILT SURVEY INDICATES THAT THE FINISHED PAD HAS BEEN CONSTRUCTED. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Diane Hoelzer
DIANE HOELZER, NMP# 11967
1-10-17
DATE



VICINITY MAP ZONE MAP: D-10-Z

LEGAL DESCRIPTION

UNIT 22, BLOCK 2, LOT 15 OF THE VOLCANO CLIFFS SUBDIVISION, BERNALILLO COUNTY, NEW MEXICO AS SAID LOT IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF, BERNALILLO COUNTY, NEW MEXICO ON JULY 9, 1975, VOL. D6, FOLIO 162.

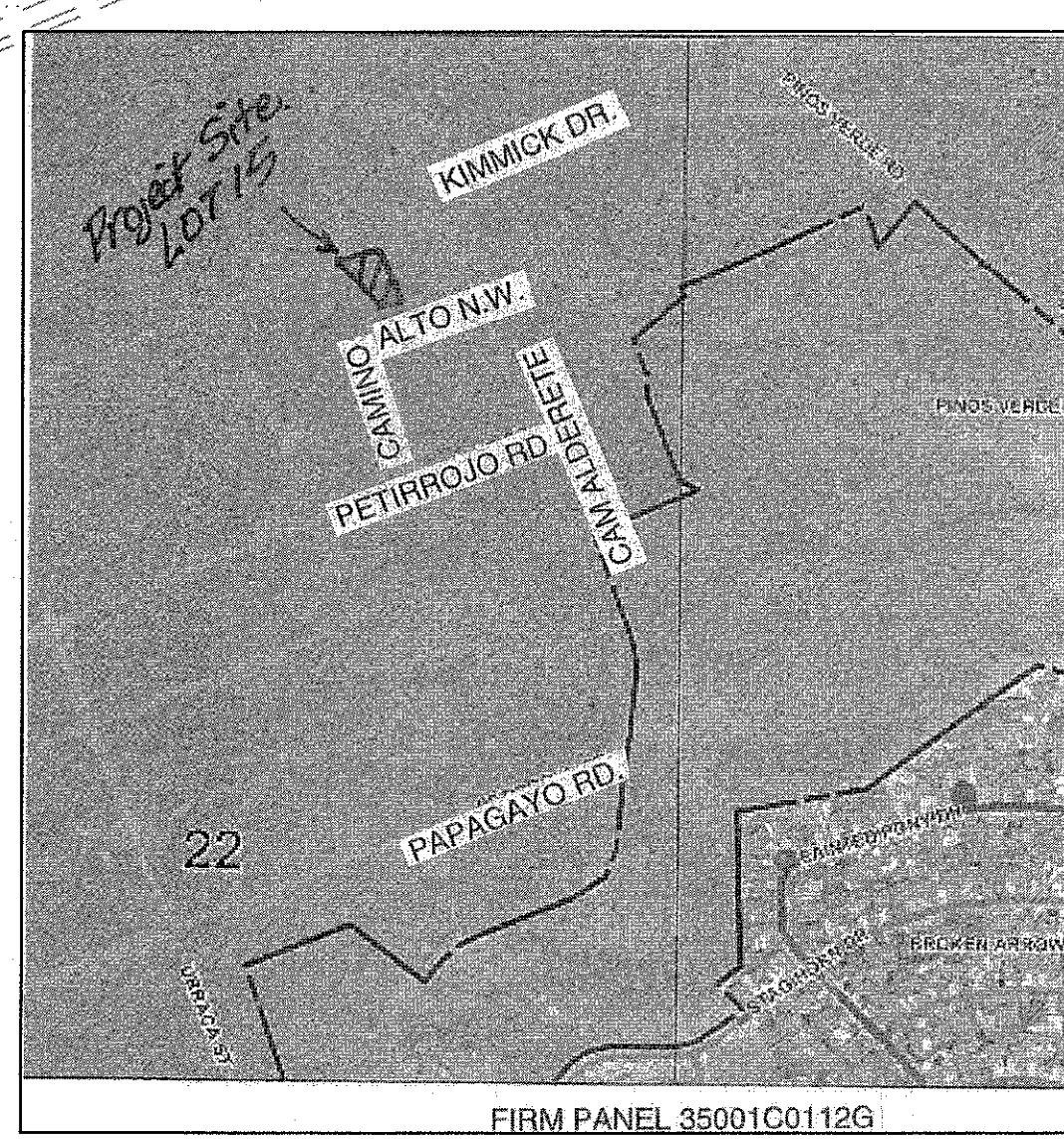
- LEGEND**
- EXISTING SPOT ELEVATION
 - EXISTING UTILITY PEDESTAL
 - EXISTING TRANSFORMER
 - EXISTING WATER METER W/CONC PAD
 - EXISTING SAS MANHOLE
 - EXISTING CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - EXISTING EASEMENT
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING PAVEMENT
 - NEW RETAINING WALL
 - NEW SPOT ELEVATION
 - NEW TOP OF WALL ELEVATION
 - NEW BOTTOM OF WALL ELEVATION
 - NEW FLOW DIRECTION ARROW
 - NEW DRAINAGE SWALE
 - DRAINAGE SUB BASIN BOUNDARY

Diane Hoelzer
12-22-16

ROYBAL RESIDENCE
6309 CAMINO ALTO N.W.
GRADING & DRAINAGE PLAN

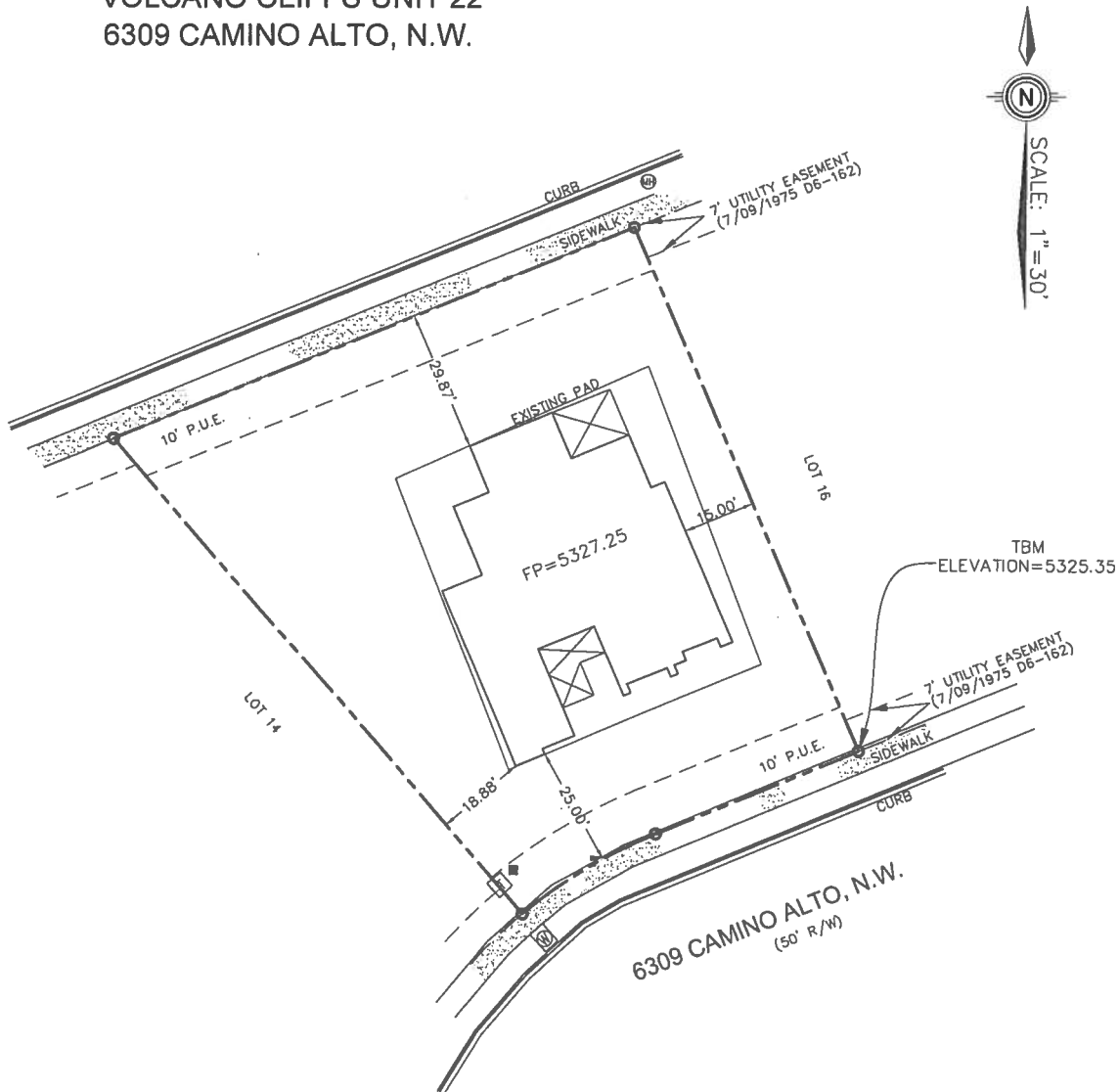
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH Drawn: ACH Checked: DMG Sheet 1 of 1
Scale: 1" = 1' Date: 09-19-16 Job: A16061



PAD CERTIFICATION

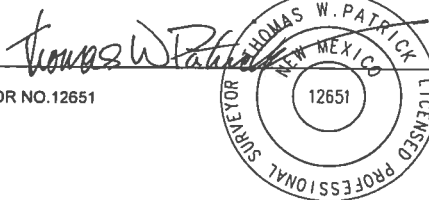
LOT 15, BLOCK 2
VOLCANO CLIFFS UNIT 22
6309 CAMINO ALTO, N.W.



SURVEYOR'S AS-BUILT CERTIFICATE FOR LOT 15, BLOCK 2, VOLCANO CLIFFS UNIT 22: FINISH PAD

I, THOMAS W. PATRICK, NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651, DO HEREBY CERTIFY THAT THE AS-BUILT DATA SHOWN HEREON, COLLECTED BY ME OR UNDER MY DIRECT SUPERVISION ON JANUARY 4, 2017, ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. COMMUNITY SCIENCES CORPORATION IS NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING AND/OR INTENT OF THE RECORD DESIGN DRAWINGS.

THOMAS W. PATRICK
NEW MEXICO PROFESSIONAL SURVEYOR NO. 12651



1-05-2017
DATE

Community
Sciences
Corporation

LAND SURVEYING & LAND PLANNING
P.O. Box 1328, Corrales N.M., 87048 (505) 897.0000
01/05/17, sln