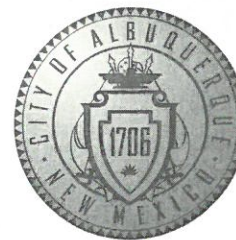


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



February 15, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

**RE: Lot 2 Block 2 Unit 22 Volcano Cliffs SAD 228
8020 Canoncito Dr. NW
Grading and Drainage Plan
Engineers Stamp Date 2/13/17 (D10D003C2)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 2/13/17, this plan is approved for Grading Permit. Prior to building permit approval, a pad certification will be required. A hold on the property will be placed until this certification has been approved.

PO Box 1293

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology. Reiterate to the Owner/Contractor that a separate permit for a garden wall must be obtained, with the approved G&D plan dated 2/13/17.

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

New Mexico 87103

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

RR/SB
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

February 13, 2017

Rudy Rael
Hydrology Section
City of Albuquerque
600 2nd street NW
Albuquerque, NM 87102

**RE: Grading plan resubmittal (D10D0003C2)
8020 Canoncito NW**

Dear Mr. Real:

Rio Grande Engineering has revised the enclosed grading plan to address written comments from Shahab Biazar dated 2/7/17. The following is summary of the comment and an explanation as to how it was addressed

1. Place turned blocks within the rear 10' PUE

We have moved the blocks.

2. Show 10' PUE and place swale 1' away from wall

The existing grades do not lend themselves to place swale at the requested location.

We have forced the entry and exit point to that location but to place swale will required too much fill. The water will enter and leave at the prescribed locations

3. Place elevation at turned blocks

We have added

4. Provide statement regarding pad certification

This has been added as note #4

5. Provide statement regarding block wall construction.

This was described in note #3

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

Weighted E Method													
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
NATIVE	14396.00	0.330	80%	0.2644	10%	0.033	10%	0.03305	0%	0.000	0.518	0.014	0.50
ALLOWED	14396.00	0.330	0%	0	10%	0.033	40%	0.13219	50%	0.165	1.448	0.040	1.17
PROPOSED	14396.00	0.330	0%	0	9%	0.030	33%	0.10906	39%	0.129	1.155	0.032	0.94
UPLAND	15998.00	0.367	0%	0	10%	0.037	40%	0.14691	50%	0.184	0.887	0.027	1.30
total													

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

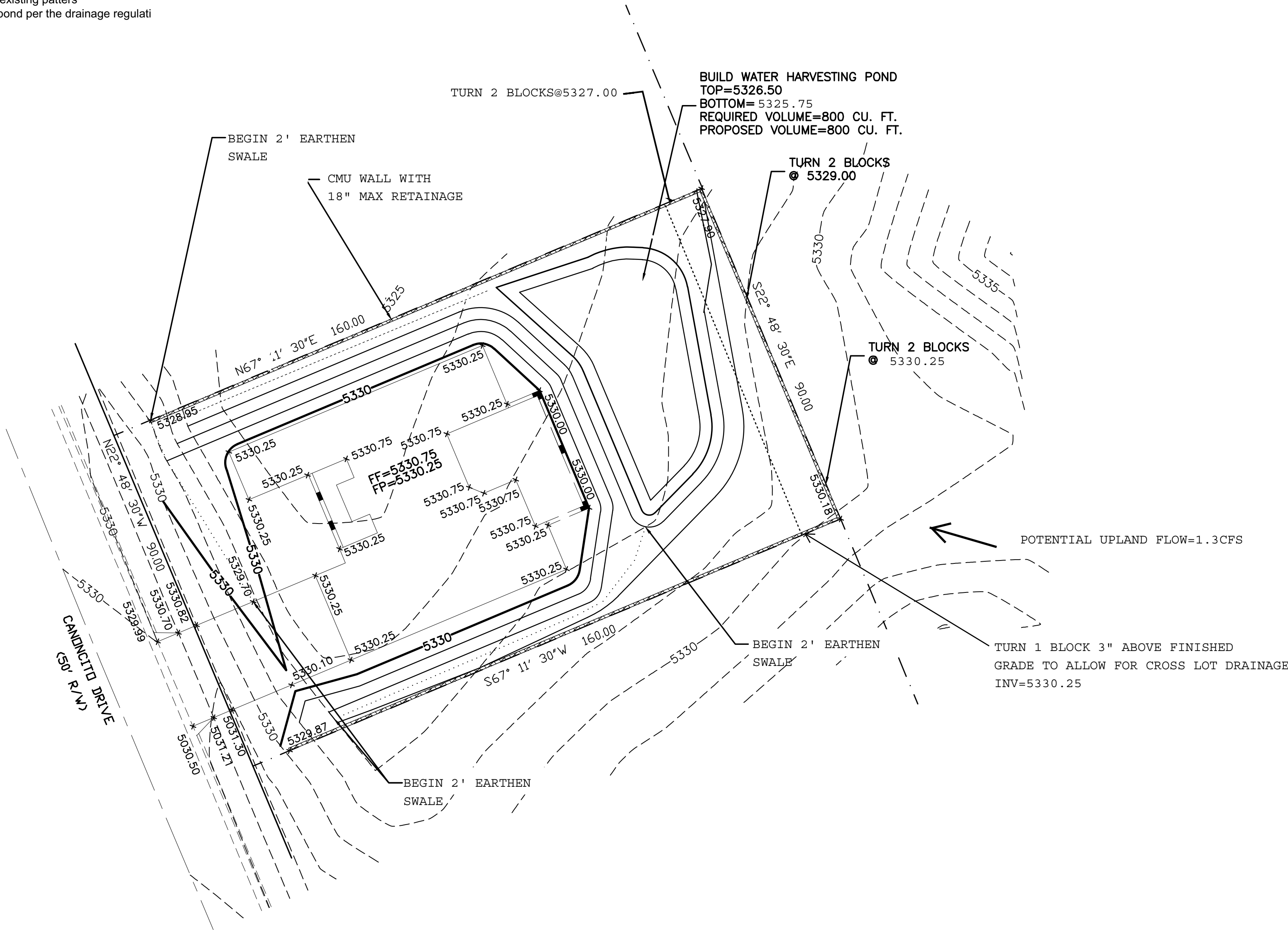
Where for 100-year, 6-hour storm- zone 1
Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditions		
FIRST FLUSH WATER QUALITY VOLUME	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	159	800

Narrative

This site is within the SAD 228 Master Drainage plan boundaries. The site is to maintain existing drainage patterns Due to the existing elevations, discharge to the street is not practical. The draina plan will maintain existing patters we are allowing the minor upland flow to pass thru the site. This plan has a shallow water harvest pond per the drainage regulati This plan is in conformance to the masterplan

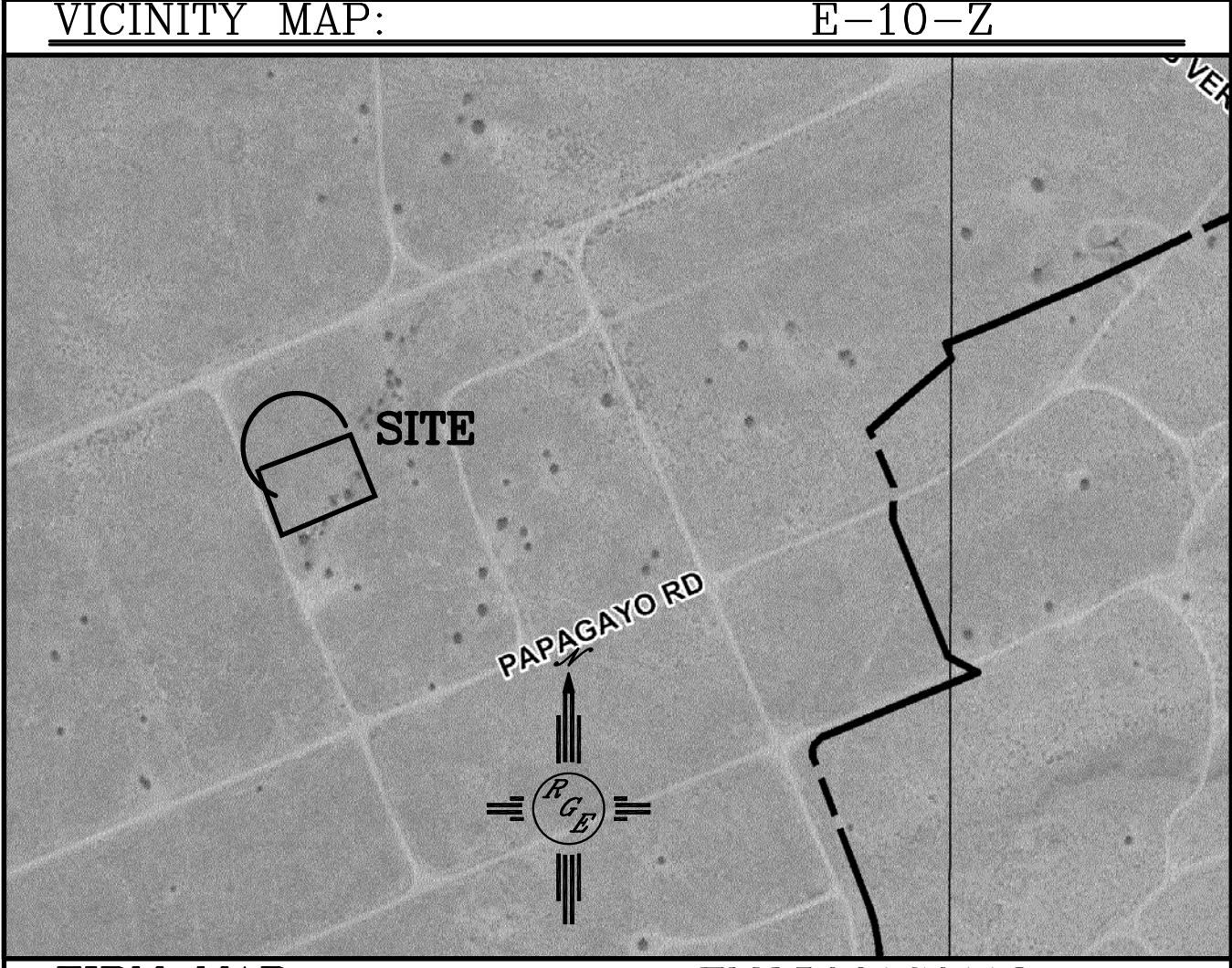
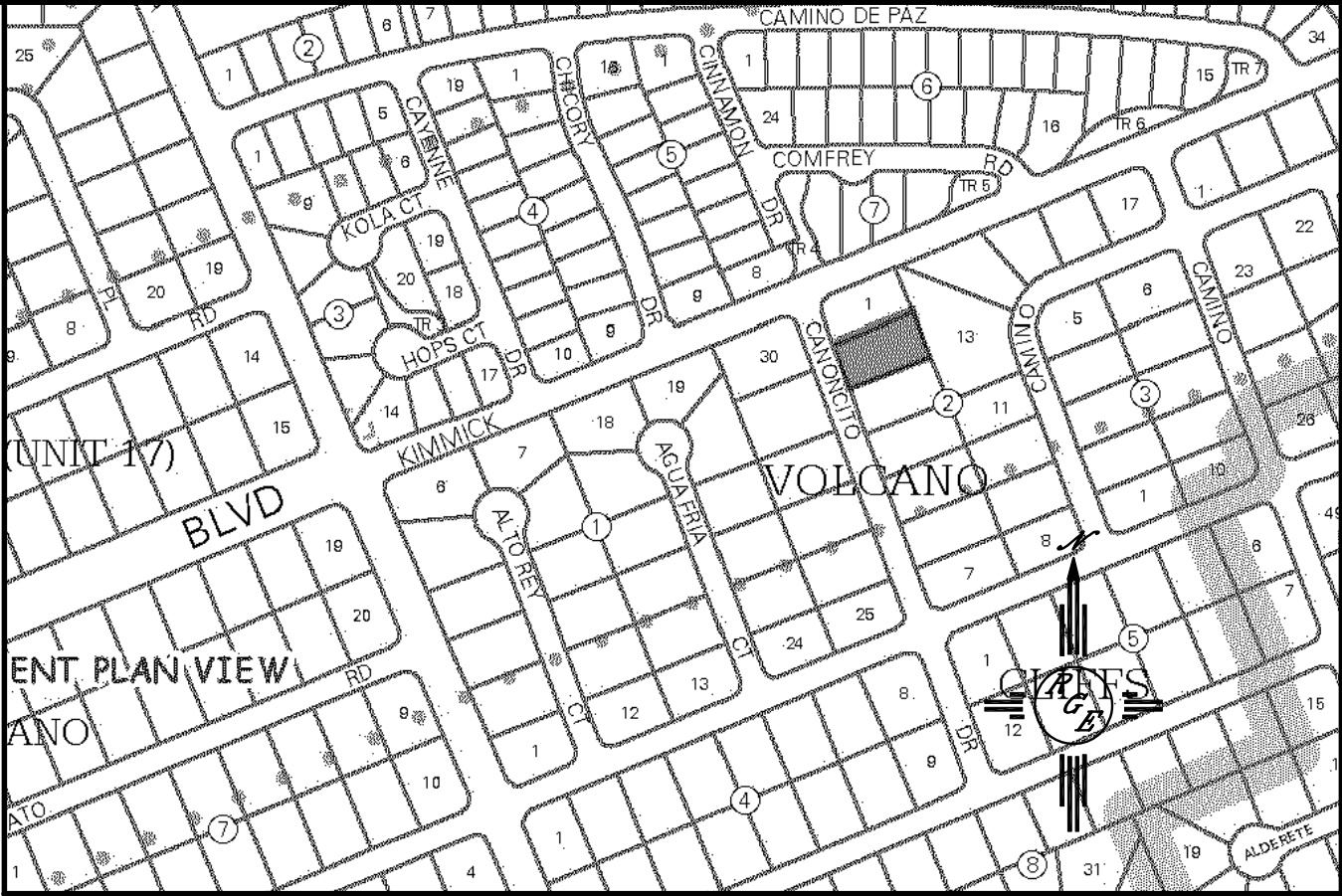
Point Table				
Point #	Elevation	Northing	Easting	Description
1	5306.26	530823.26	530661.19	ALJUN CAP
207	5306.12	530864.67	530664.99	VN
208	5306.63	530864.67	530674.29	CHS 2



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



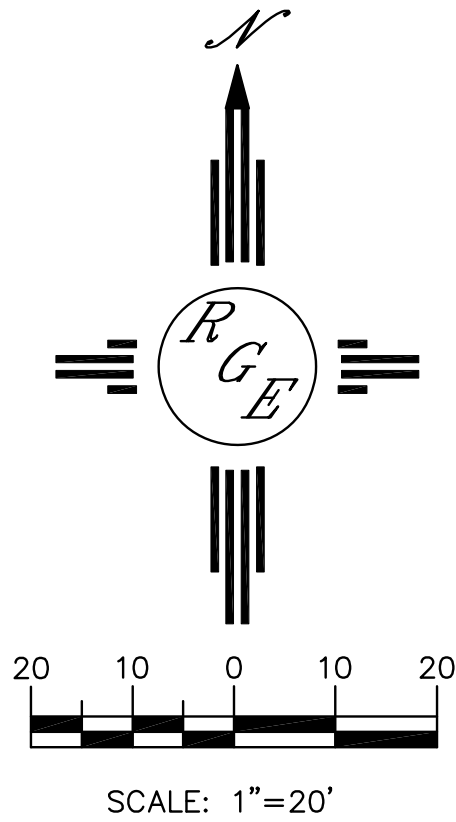
FIRM MAP: FM35001C0112

LEGAL DESCRIPTION:
LOT 2 BLOCK 2, UNIT 22 VOLCANO CLIFFS

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
 3. ANY AND ALL WALLS SHALL BE PERMIT UNDER SEPERATE PERMIT PRIOR TO CONSTRUCTION. ALL WALLS MUST ALLOW FOR CROSS LOT DRAINAGE
 4. PAD GRADING MUST BE CERTIFIED PRIOR TO RELEASE OF BUILDING PERMIT

LEGEND

- XXXX----- EXISTING CONTOUR
- - - - -XXXX- - - - - EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- XXXX----- SLOPE TIE
- + XXXX EXISTING SPOT ELEVATION
- + XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- - - - - CENTERLINE
- RIGHT-OF-WAY
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CMU SCREEN WALL



ENGINEER'S SEAL 2/13/17	LOZOYA RESIDENCE 8020 CANONCITO DR NW	DRAWN BY: WCVJ DATE: 2-02-17
	GRADING AND DRAINAGE PLAN	21706-LAYOUT-2-01-17
 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		SHEET # —
		JOB # 21706