

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

December 11, 2017

Steve Metro, P.E.
Metro Development Inc.
8860 Desert Finch Ln. NE
Albuquerque, New Mexico 87122

**RE: Lot 4 Block 2 Unit 22 SAD 228
Volcano Cliffs Subdivision
8012 Canonicito Dr. NW
Request for Permanent C.O. - Accepted
Engineers Stamp Date 12/13/16 (D10D003C4)
Certification Dated: 12/8/17**

PO Box 1293

Dear Mr. Metro,

Albuquerque

Based on the Certification received 12/8/2017, the above mentioned residence is acceptable for release of Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 09/2015)

Project Title: 8012 Canoncito Dr. NW G+D Building Permit #: _____ City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 4, Block 2, Unit 22 Volcano Cliff Subdivision
City Address: 8012 Canoncito Dr. NW
Engineering Firm: Wilson & Company Contact: Steve Metro
Address: 4900 Lang Ave NE Albuquerque, NM 87109
Phone#: 505-280-4553 Fax#: 505-348-4055 E-mail: Steve.Metro@wilsonco.com
Owner: Derek Sanchez Contact: _____
Address: _____
Phone#: 505-977-5282 Fax#: _____ E-mail: dereklexus78@yahoo.com
Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

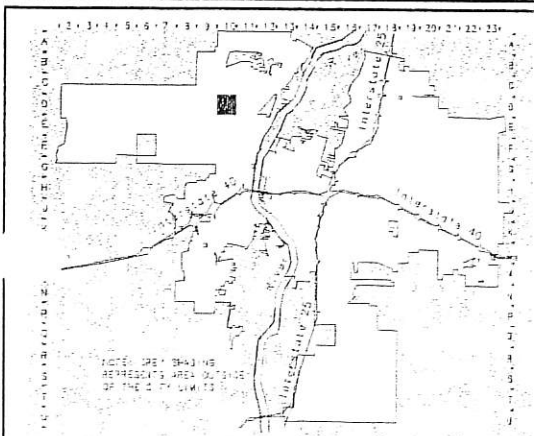
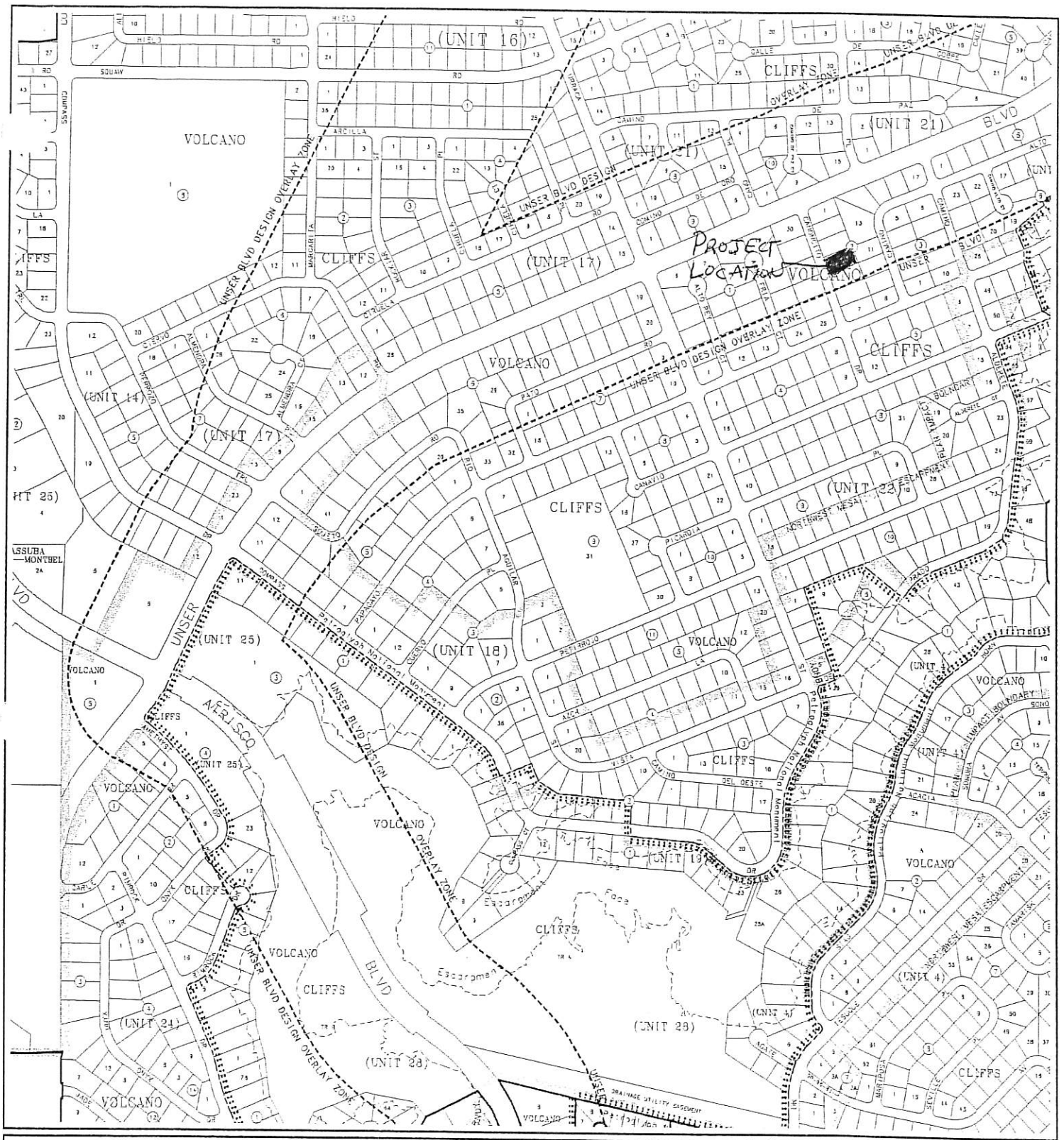
DATE SUBMITTED: 12-8-17 By: Steve Metro

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☒ OTHER (SPECIFY) AS BUILT

COA STAFF ELECTRONIC SUBMITTAL RECEIVED _____

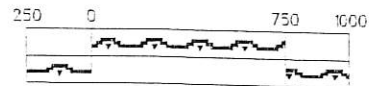


CITY OF
Albuquerque

A G I S
ALBUQUERQUE
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET



Zone Atlas Page

D-10-Z

Map Amended through January 21, 2003

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

December 16, 2016

Steve Metro, P.E.
Metro Development Inc.
8860 Desert Finch Ln. NE
Albuquerque, New Mexico 87122

**RE: Lot 4 Block 2 Unit 22 Volcano Cliffs SAD 228
8012 Canoncito Dr. NW
Grading and Drainage Plan
Revised Engineers Stamp Date 12/13/16 (D10D003C4)**

Dear Mr. Metro,

Based upon the information provided in your submittal received 12/13/16, this plan is approved for Grading Permit and Building Permit.

Please inform the Architect/Owner or contractor to attach a copy of this approved plan dated 12/13/16 to the construction sets in the permitting process prior to sign-off by Hydrology, otherwise the permitting process will be delayed until this plan is provided. Also advise the owner/contractor that a separate wall permit will be needed and a Pad Certification provided before the slab is poured.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Hydrology
Planning Department

RR/AC
C: File

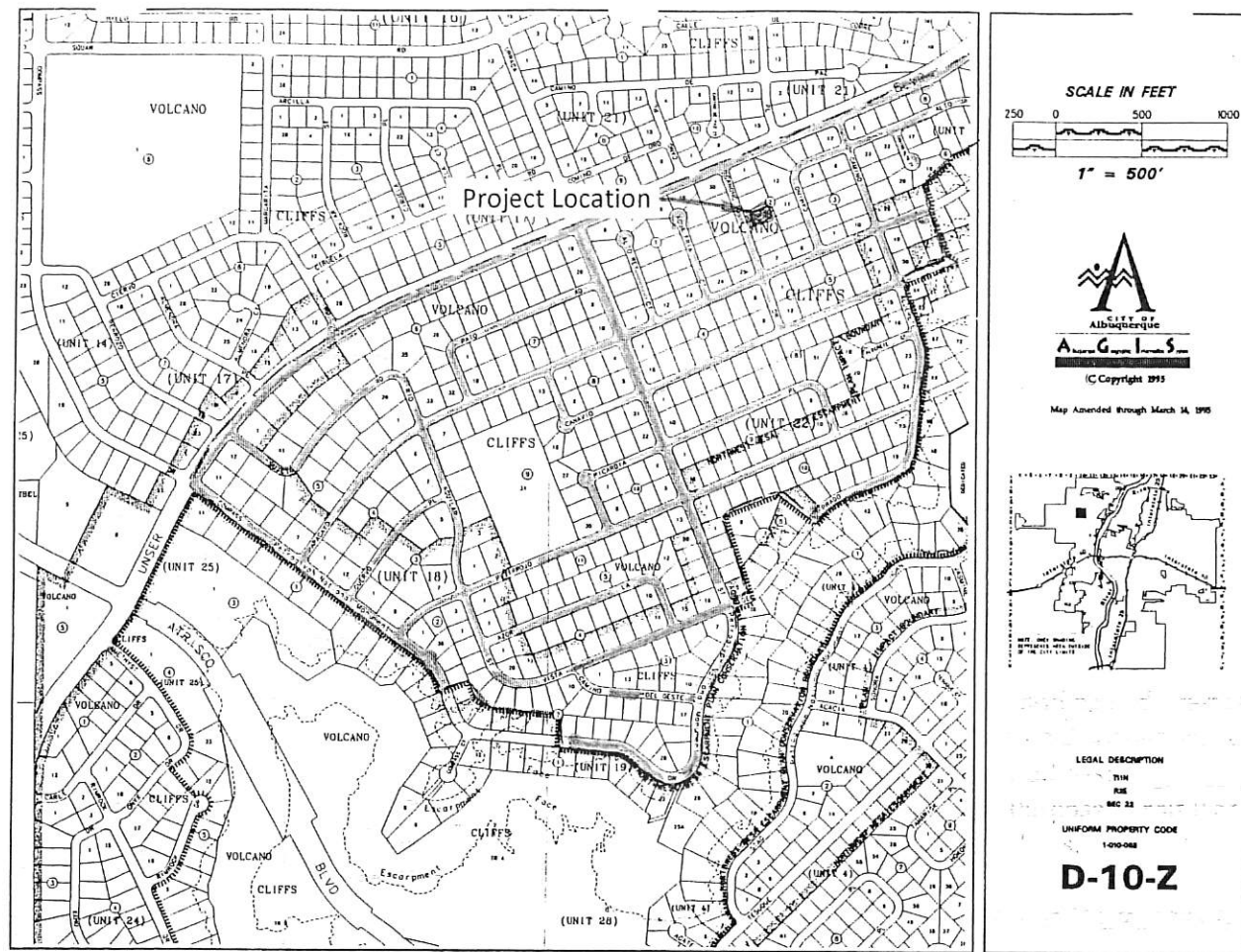


**FIELD DENSITY TESTS
TROXLER 3400 SERIES
MOISTURE-DENSITY GAUGE**

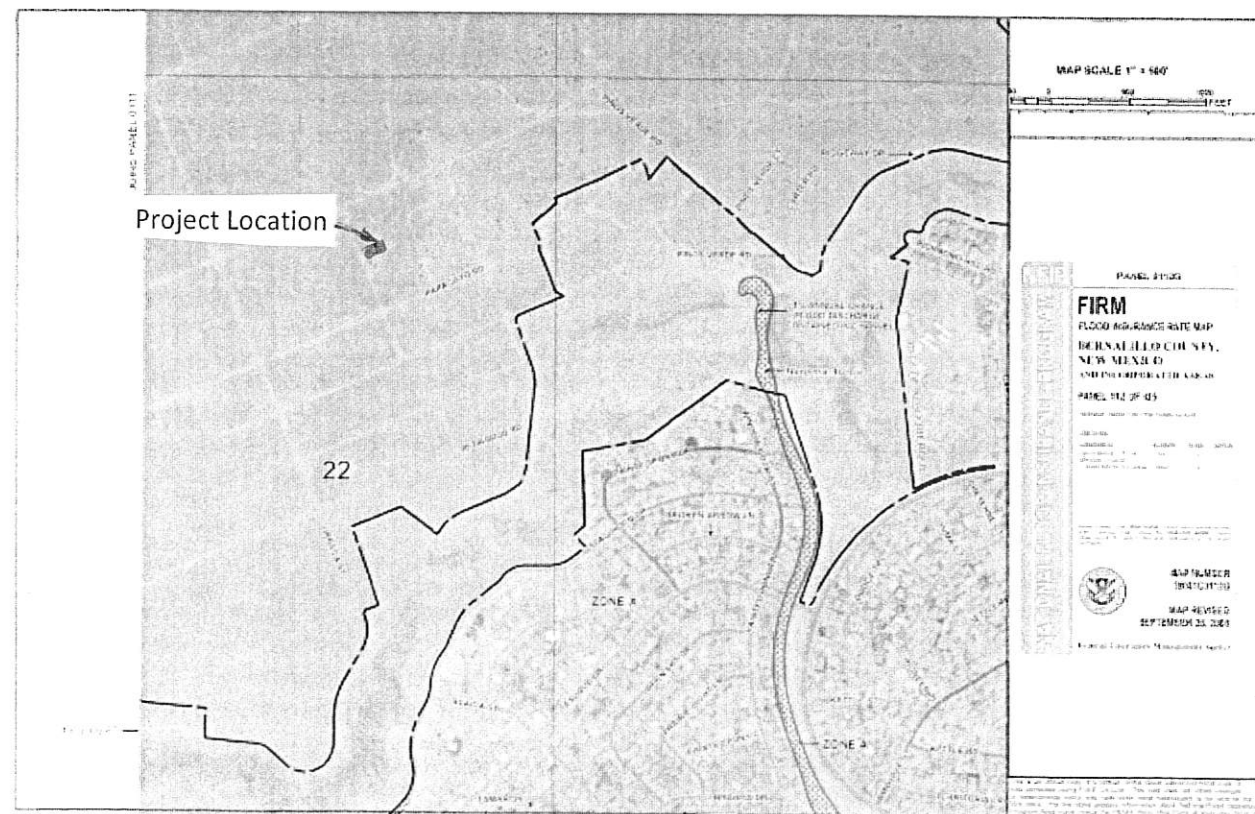
JOB NO: 1660008600
PROJECT: SAD 228
CLIENT: _____
CONTRACTOR: _____

DATE: 1/30/2017
TESTED BY: WJL
METER NO: 63469
SHEET 1 OF 1

TEST NUMBER	1	2				REMARKS
% COMPACTION REQUIRED	95.0	95.0				Proctor = 125.4/9.0
% MOISTURE REQUIRED	9.0	9.0				
DENSITY COUNT	654	660				
MOISTURE COUNT	122	125				
MOISTURE	9.6	9.9				
% MOISTURE	8.1	8.3				
WET DENSITY	129.1	129.4				
DRY DENSITY	119.4	119.5				
% DRY DENSITY	95.4	95.5				
% VOIDS						
% ASPHALT DENSITY						
LOCATION/ELEVATION	8012 Canoncito Dr NW	8012 Canoncito Dr NW				



VICINITY MAP



FEMA MAP

Narrative

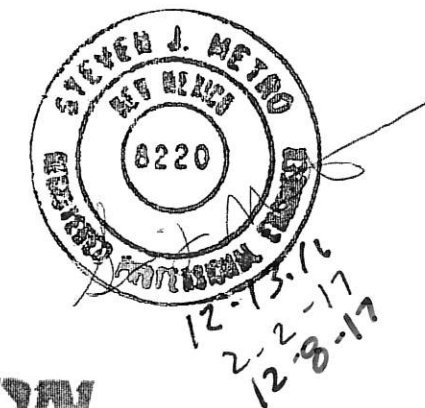
Grading and Drainage Plan for the construction of the building pad for Lot 4, Block 2, Unit 22, Volcano Cliff S Subdivision, being a part of SAD 228.

Address: 8012 Canonicito Drive, NW

Purpose of this Plan is to establish the first floor elevation, house layout, lot drainage including offsite flows.

First Flush per EPA Standards

The Initial First Flush to be managed is 0.44" less 0.10" initial impervious abstraction = 0.34" or 400 cubic feet. The initial storage on site will be collected and held in the two landscape ponds near the street as shown on the Plan.



WILSON & COMPANY
4900 LANG AVE., N.E.
SUITE 200
ALBUQUERQUE, NEW MEXICO
87109
PH (505) 348-4000
FAX (505) 348-4072
www.wilsonco.com

AS BUILT

GRADING AND DRAINAGE PLAN
LOT 4, BLOCK 2, UNIT 22, VCS
ADDRESS: 8012 Canonicito Dr., NW

