## CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

December 11, 2017

Steve Metro, P.E. Metro Development Inc. 8860 Desert Finch Ln. NE Albuquerque, New Mexico 87122

RE: Lot 4 Block 2 Unit 22 SAD 228

Volcano Cliffs Subdivision 8012 Canoncito Dr. NW

Request for Permanent C.O. - Accepted

**Engineers Stamp Date 12/13/16 (D10D003C4)** 

Certification Dated: 12/8/17

PO Box 1293

Dear Mr. Metro,

Albuquerque

Based on the Certification received 12/8/2017, the above mentioned residence is acceptable for release of Certificate of Occupancy by Hydrology.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

James D. Hughes, F.E.

Principal Engineer, Hydrology

ames D Bushes

Planning Department

RR/JDH C: File



# City of Albuquerque

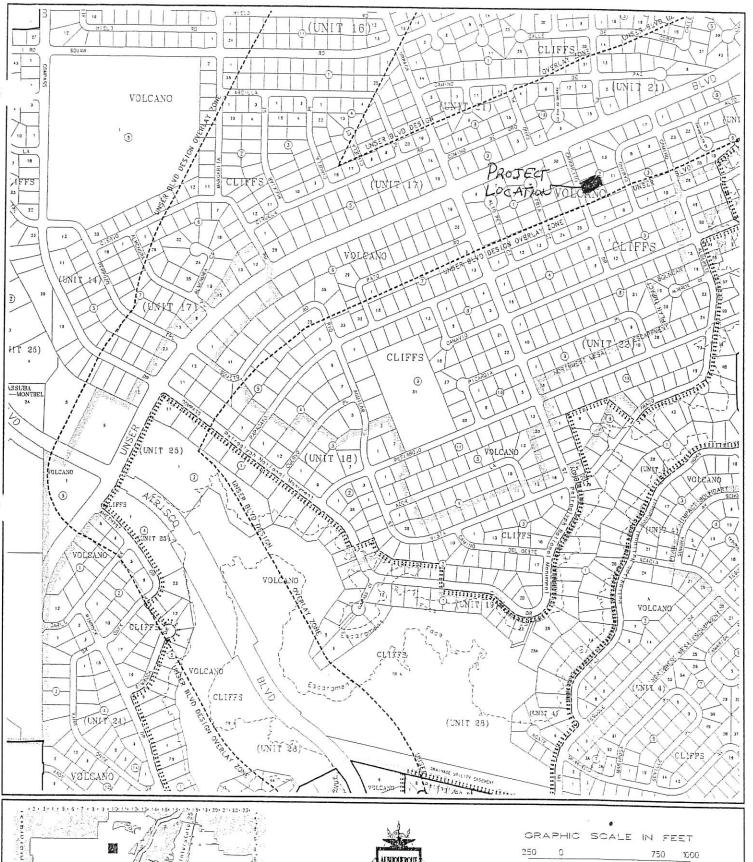
## Planning Department

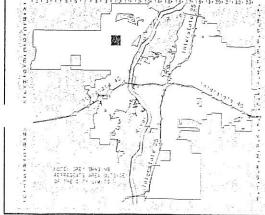
## Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 69 2015)

Project Title: 8012 Canoncito Dr. Www.to  DRB#: EPC#:  Legal Description: Lot 4, Black 2, Unit 22 Volc  City Address: 8012 Canoncito Dr. Www.	Work Order≓:					
Engineering Firm: Wilson & Company Address: 4900 Long Ave NE Albuguer Phone#: 505-280-4553 Fax#: 505.348-	Contact: Steve Metro que, NM 87109 E-mail: 5/eve Metro Walsnes Con					
Owner: Derek Sonchey Address: Phone#: 505-977-5282 Fax#	E-mail: dereptexus 780 yahoo-Con					
Architect: Address:						
Phone#: Fax#;	E-mail:					
Other Contact:	Contact:					
Address:	E-mail:					
Check all that Apply:						
DEPARTMENT:  HYDROLOGY/ DRAINAGE  TRAFFIC/ TRANSPORTATION  MS4/ EROSION & SEDIMENT CONTROL  TYPE OF SUBMITTAL:  ENGINEER/ ARCHITECT CERTIFICATION	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:					
CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR	SITE PLAN FOR SUB'D APPROVAL  SITE PLAN FOR BLDG. PERMIT APPROVAL  FINAL PLAT APPROVAL  SIA/ RELEASE OF FINANCIAL GUARANTEE  FOUNDATION PERMIT APPROVAL  GRADING PERMIT APPROVAL  SO-19 APPROVAL  PAVING PERMIT APPROVAL  GRADING/ PAD CERTIFICATION  WORK ORDER APPROVAL  CLOMR/LOMR					
TRAFFIC CIRCULATION LAYOUT (TCL)TRAFFIC IMPACT STUDY (TIS)EROSION & SEDIMENT CONTROL PLAN (ESC)						
OTHER (SPECIFY)	PRE-DESIGN MEETING					
IS THIS A RESUBMITTAL?: Yes 🔏 No	X OTHER (SPECIFY) AS BUILT					
DATE SUBMITTED: 12-8-17 By: 1	Ed Metro					

COA STAFF ELECTRONIC SUBMITTAL RECEIVED \_\_\_

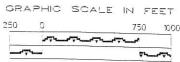






Albuquerque

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**Zone Atlas Page** 

D-10-Z

Map Amended through January 21, 2003

# CITY OF ALBUQUERO

Planning Department Suzanne Lubar, Director



Mayor Richard J. Berry

December 16, 2016

Steve Metro, P.E. Metro Development Inc. 8860 Desert Finch Ln. NE Albuquerque, New Mexico 87122

RE:

Lot 4 Block 2 Unit 22 Volcano Cliffs SAD 228

8012 Canoncito Dr. NW Grading and Drainage Plan

Revised Engineers Stamp Date 12/13/16 (D10D003C4)

Dear Mr. Metro,

PO Box 1293

Based upon the information provided in your submittal received 12/13/16, this plan is approved for Grading Permit and Building Permit.

Albuquerque

Please inform the Architect/Owner or contractor to attach a copy of this approved plan dated 12/13/16 to the construction sets in the permitting process prior to sign-off by Hydrology, otherwise the permitting process will be delayed until this plan is provided. Also advise the owner/contractor that a separate wall permit will be needed and a Pad Certification provided before the slab is poured.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Abiel Carrillo, P.E.

Principal Engineer, Hydrology

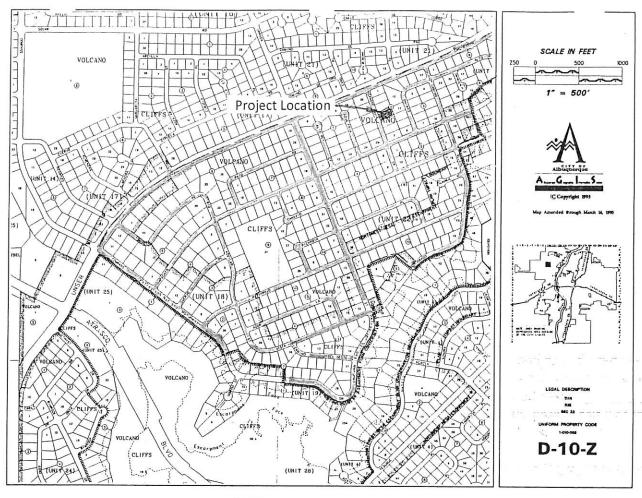
Planning Department

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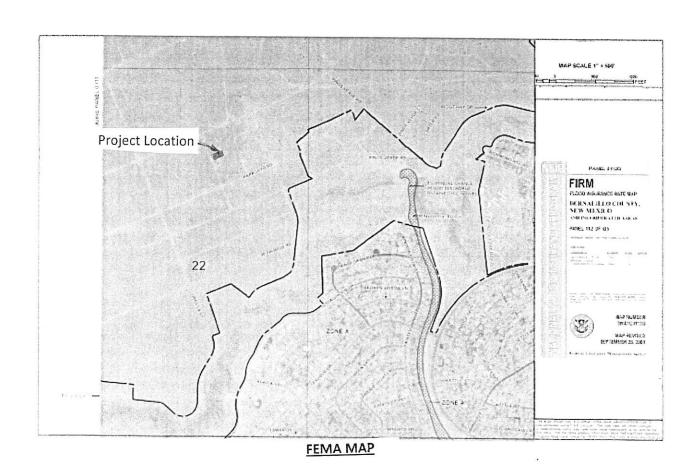


### FIELD DENSITY TESTS TROXLER 3400 SERIES MOISTURE-DENSITY GAUGE

OB NO: 1660008600			DA	TE:	1/30/2	017	
PROJECT: SAD 228			TE	STED BY:		<i>N</i> JL	
CLIENT:			ME	TER NO:	63	169	
CONTRACTOR:			SH.	EET <u>1</u>	OF_1_		
TEST NUMBER	1	2				REMARK	S
% COMPACTION REQUIRED	95.0	95.0				Proctor = 125	.4/9.0
% MOISTURE REQUIRED	9.0	9.0					
DENSITY COUNT	654	660					
MOISTURE COUNT	122	125					
MOISTURE	9.6	9.9					
% MOISTURE	8.1	8.3					
WET DENSITY	129.1	129.4					
DRY DENSITY	119.4	119.5					
% DRY DENSITY	95.4	95.5					
% VOIDS							
% ASPHALT DENSITY							
LOCATION/ELEVATION	8012 Canoncito Dr NW	8012 Canoncito Dr NW					



VICINITY MAP



### **Narrative**

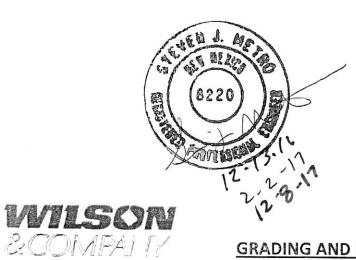
Grading and Drainage Plan for the construction of the building pad for Lot  $\frac{U}{U}$ , Block  $\frac{Z}{U}$ , Unit  $\frac{Z}{U}$ , Volcano Cliff S Subdivision, being a part of SAD 228.

Address: 8012 Canoncito Drive, NW

Purpose of this Plan is to establish the first floor elevation, house layout, lot drainage including offsite flows.

### First Flush per EPA Standards

The Initial First Flush to be manages is 0.44'' less 0.10'' initial impervious abstraction = 0.34'' or  $\frac{1}{2}$  cubic feet. The initial storage on site will be collected and held in the two landscape ponds near the street as shown on the Plan.



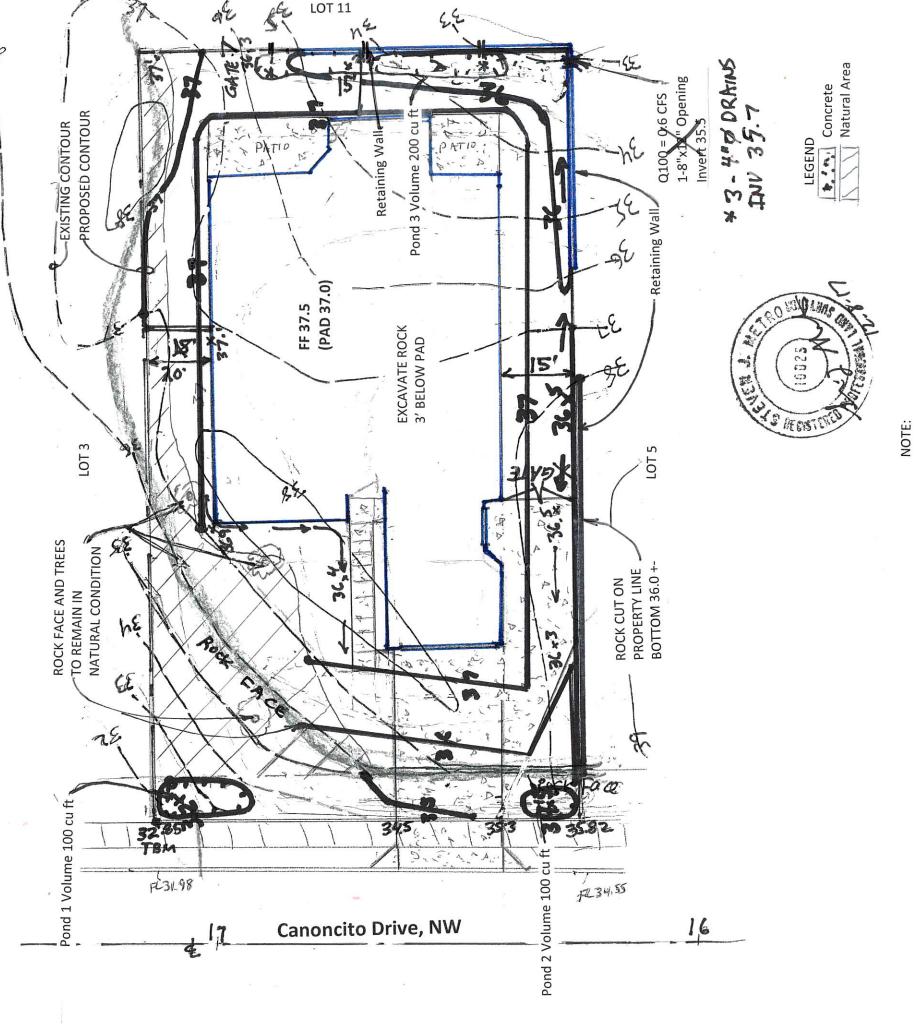
**AS BUILT** 

**GRADING AND DRAINAGE PLAN** 

LOT 4, BLOCK 2, UNIT 22, VCS ADDRESS: 8012 Canoncito Dr., NW

4900 LANG AVE., N.E. SUITE 200 ALBUQUERQUE, NEW MEXICO 87109 PH (505) 348-4000 FAX (505) 348-4072

www.wilsonco.com



- A pad certification is required before slab is poured.
   All walls / fences require a separate permit. The Owner shall acquire
  a separate permit for the retaining wall that is designed by a Professional
  Engineer.

LISTEVEN J. METEO, NMPE 8220, OF THE FIRM WISON & COMPAINION

I, Steven J. Meteo, NMPE 8220, OF THE FIRM WISON & COMPAINION. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-13-2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA TO THE ORIGINAL TOPOGRAPHIC SURVEY PREPARED BY Steven J. Metro, NMPS 10025, OF THE FIRM WISON & Company, Inc., AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Certificate of Occupancy at 8512 Canoncito Drive, NW.

900	8220	1"=20"	AS BUILT	PREPARED BY STEVEN J. METRO, PE AND PS	CPADING & DRAINAGE DI AN		SSIZ Canoncito Drive, NW	Chart 2 of 2	Sheet 2 of 2
15	MED IT THE			REAR OF REAR LOT	Q100 CFS	0.36	0.18	0.03	0.58
THIS CERTIFICATION IS FOR THE CERTIFICATE OF OCCUPANCY.  THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.    12-8-17	DRAIN TO	REAR OF	LOT SF	3,600	2,800	700	7,100		
	SAD 228	DMP	Q100 CFS	0.72	0.38	0.07	1.17		
	TOTAL	PROP	Q100 CFS	0.72	0.31	0.12	1.15		
	Q100 CFS	/ ACRE	ZONE 1	4.37	2.87	2.03			
		SAD 228	DMP %	20	40	10	100		
		*	%	%09	33%	17%	100%		
			<b>AREA LOT SF</b>	7,160	4,760	2,480	14400		
	Steven J. Metro, NMPI		LOT 4, BLOCK 2,	<b>UNIT 22 VCS</b>	TYPE D	TYPE C	TYPE B		