

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Richard J. Berry

February 6, 2020

Jesse Luehring, P.E.
Critical View Engineering, LLC
11501 Modesto Ave NE
Albuquerque, New Mexico 87122

**Re: 7831 Aguila St. NW S.A.D. 228
Lot 2 Block 2 Volcano Cliff's Unit 19
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 6-26-19 (D10D003G2)
Certification dated: 1-31-20**

Dear Mr. Luehring,

PO Box 1293

Based on the Certification received on 2/4/2020, the site is acceptable for release of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov



Ernest Armijo, P.E.
Principal Engineer, Hydrology
Planning Department

C: RR/EA
email



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: G & D for 7831 Aguila Residence **Building Permit #:** _____ **Hydrology File #:** D10D003G2
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 2, Block 2, Volcano Cliffs Unit 19
City Address: 7831 Aguila Street NW

Applicant: Critical View Engineering **Contact:** Jesse Luehring
Address: 11501 Modesto Ave NE, Albuquerque NM 87122
Phone#: 505-321-5917 **Fax#:** _____ **E-mail:** criticalviewabq@gmail.com

Owner: Owner/Builder **Contact:** Lukas Gallegos
Address: 1901 Avondale Pl NW, Albuquerque NM 87120
Phone#: 505-340-7544 **Fax#:** _____ **E-mail:** handwconstructionllc@gmail.com

TYPE OF SUBMITTAL: _____ PLAT (_____ # OF LOTS) RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: Jesse Luehring, PE

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Critical View Engineering

PO Box 90073
Albuquerque, NM 87199
505-321-5917



January 31, 2020

Rudy E. Rael BS, CE, CFM
City of Albuquerque, Planning Department
Assistant Engineer, CRS Coordinator, Hydrology

RE: COO Certification by Engineer of Record (D10D003G2)

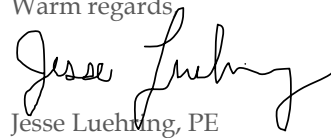
Property Desc: Lot #2, Block #2, Volcano Cliffs Unit #19

I, Jesse J. Luehring, NM Professional Engineer #21684, working on behalf of Critical View Engineering, LLC, hereby certify that the overall grading of the subject property is in substantial conformance to the approved plans dated 6/26/19, and will drain in accordance with the design intent. All 'as-built' elevations are shown on the attached plan.

The record information edited onto the original design document has been obtained under my supervision, and is true and correct to the best of my knowledge and belief. This certification is for the pad elevation, finished floor elevation and site grading, and is submitted to support the Certificate of Occupancy for this residence.

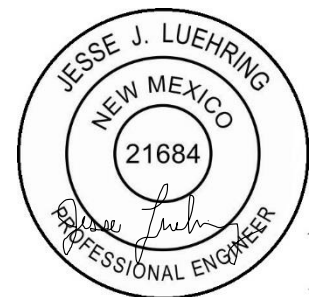
Note that the record information presented herewith is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of the property. Those relying on this record document are advised to obtain independent verification of its accuracy.

Warm regards

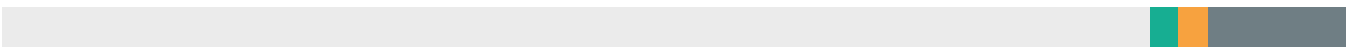


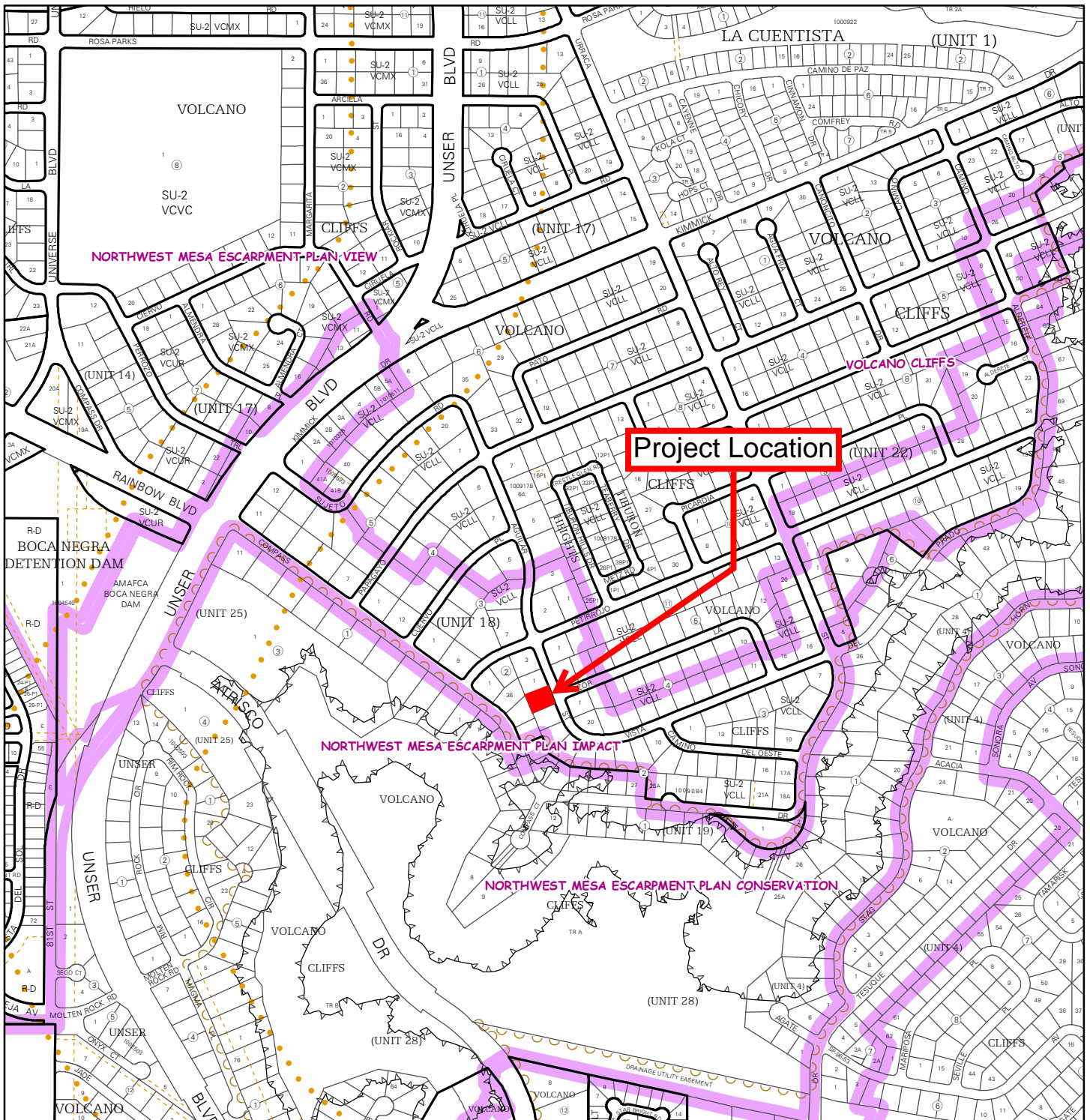
Jesse Luehring, PE

Attached: Revised Plan reflecting actual site conditions

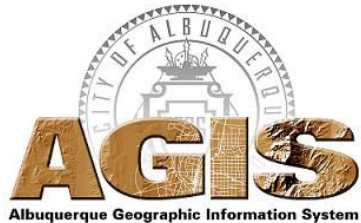


1-31-20

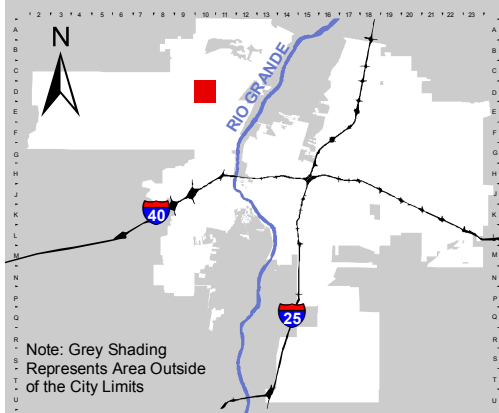




For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 1/28/2016



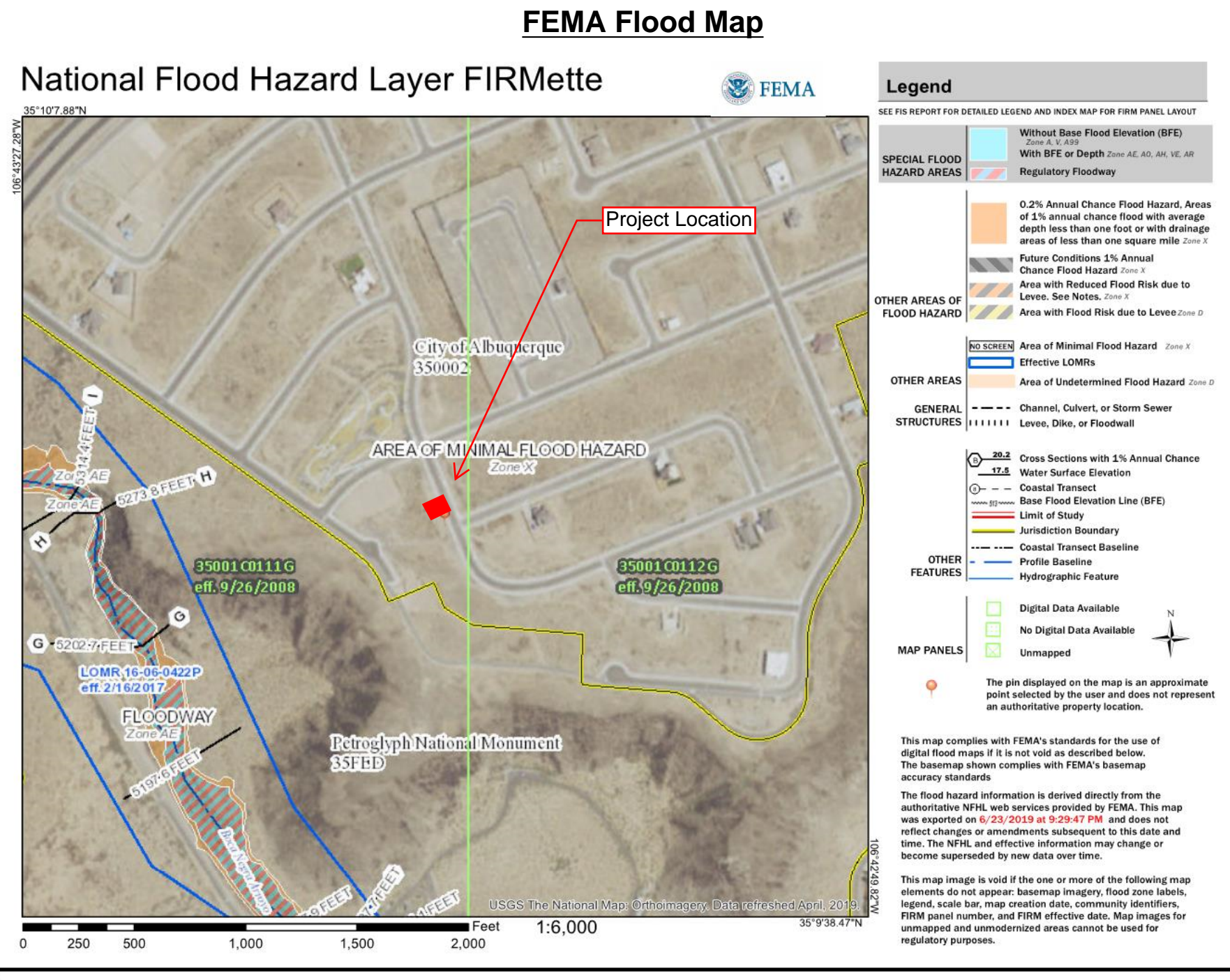
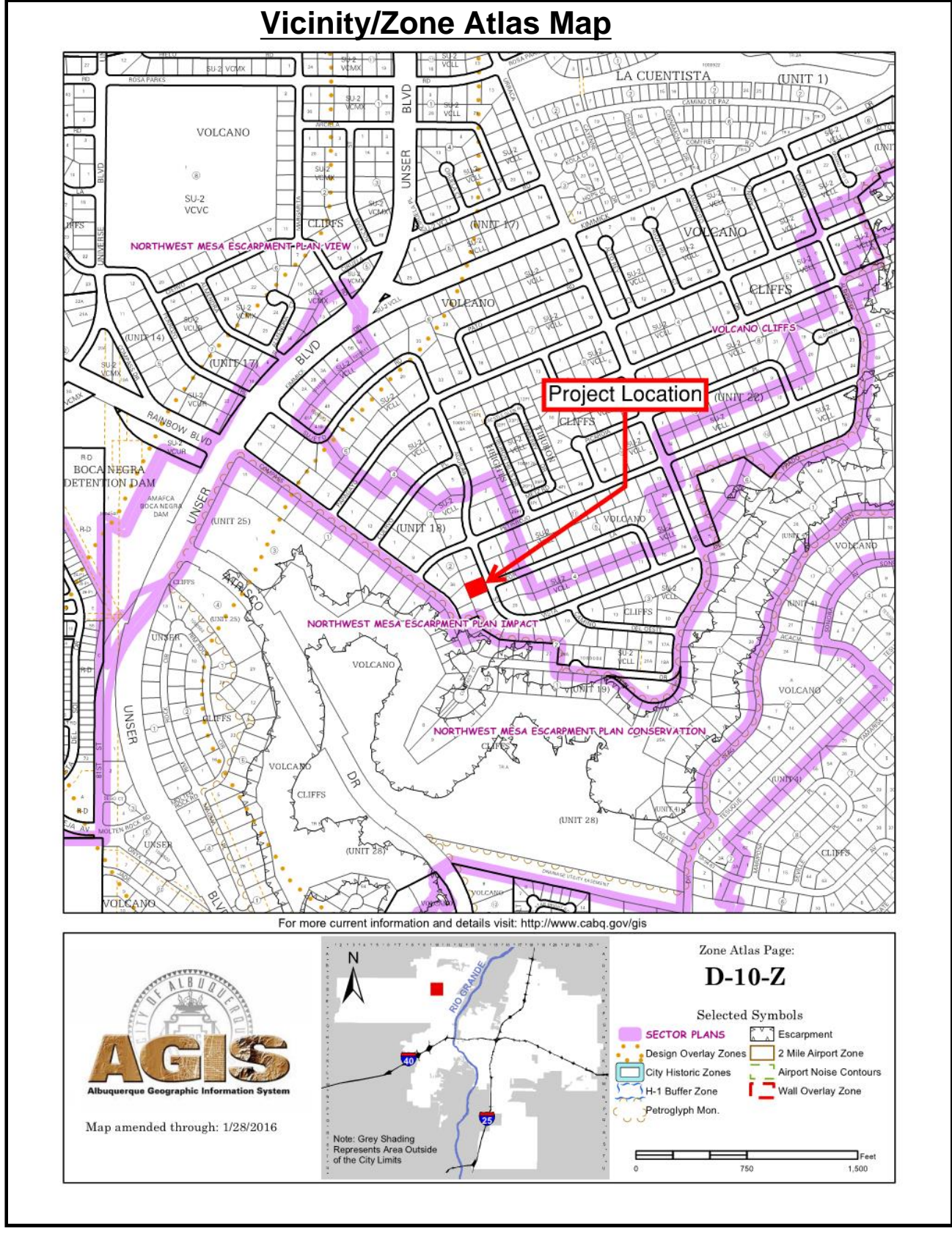
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



- General Notes**
1. All perimeter walls shall be permitted separately
 2. No grading shall be allowed on adjacent properties
 3. A pad certification is required before the building permit is issued
 4. An as-built certification is required before certificate of occupancy is issued.
 5. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
 6. It is recommended to contract with a licensed geotechnical engineer for all aspects of earthwork and engineered fill material
 7. Driveway cutout shown in concept form only, and shall comply with NM Standard Specs for Public Works Construction, specifically Std Detail 2425

Narrative:

This is a grading and drainage Plan for the construction of the building pad for the Lot at address 7831 Aguilas St. NW (Lot #2, Block #2, Volcano Cliffs Subdivision Unit 19, a part of Special Assessment District 228)

The purpose of this plan is to establish the first floor elevation, house layout, site concrete layout, wall locations, and general lot drainage of the site. This drainage plan has been prepared in accordance with the latest revision to the City of Albuquerque Development Process Manual, and in accordance with Plate 3 of the SAD 228 Drainage Report dated November 2011. There are negligible offsite flows entering this property. The site is located in rainfall 'Zone 1' per the DPM.

Drainage Intent:

Existing Conditions: This lot is an 0.287 acre vacant land property, that is bound on the North, East, and South by undeveloped lots, with street frontage to Aguilas St. to the West. The lot has had fill grading done since SAD 228 development, and existing topographic information shown on this plan reflects the current state. The lot generally drains to the East, with negligible offsite flows entering the property. The SAD 228 DMP places this property in drainage basin 205-A, and assumes that onsite will drain into Aguilas St., eventually discharging into Pond 6 at the southern end of SAD 228 development.

Proposed Conditions: Improvements to the lot include a new residence and concrete driveway that will add approximately 5336 SF of impervious area, or 43% of the property area (SAD 228 DMP allows up to 50%). The lot is designed to drain to the street, in accordance with the SAD 228 DMP.

Two water quality detention ponds with a combined volume of 410 Cu. Ft. are designed to capture the 'first flush' of approximately 189 Cu. Ft. The existing sandy loam soils at the site are well drained (hydrologic soil group 'B') which will ensure a short retention time. Larger storm event flows will discharge from the southern pond at the SE corner of the property by overflowing the existing sidewalk.

Additional improvements will include the construction of approximately 290 LF of 6 ft tall garden wall. These walls may retain up to 1' of soil. Drainage will traverse through the location of the gates on the sideyard, and gates will be a minimum of 6" above grade.

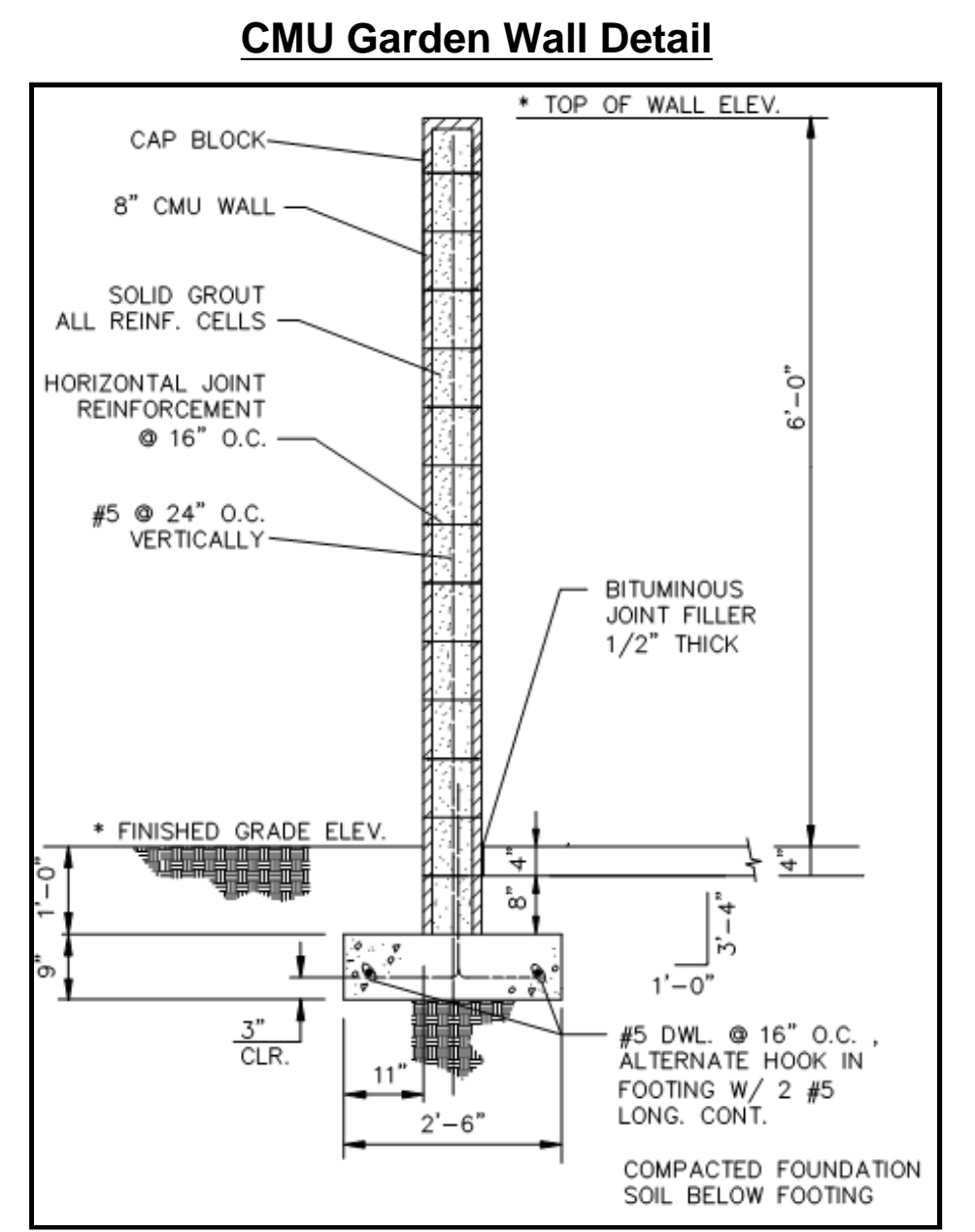
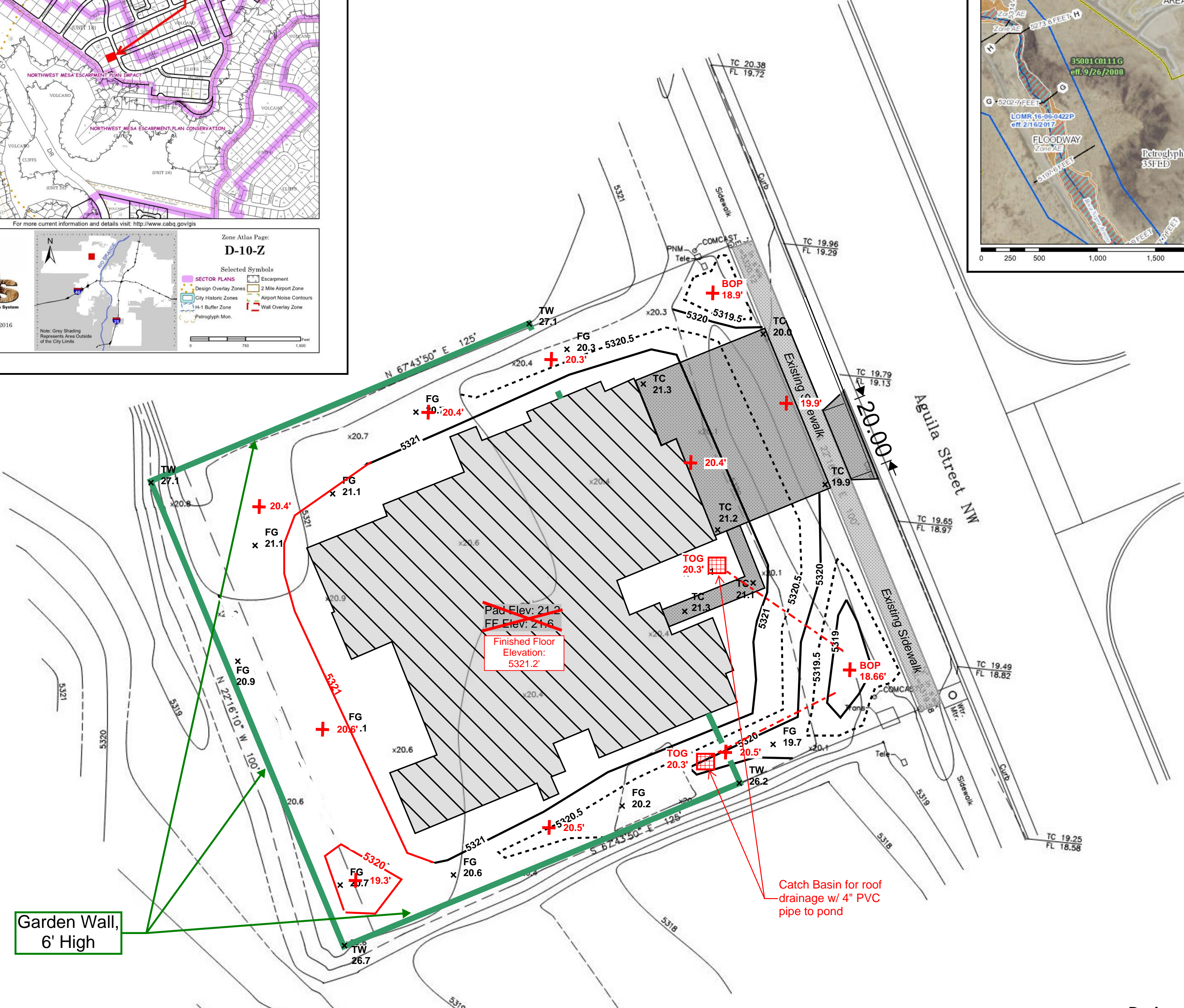
First Flush:

The initial 'First Flush' to be managed on this lot is 0.44" less 0.10" initial abstraction, resulting in a net of 0.34" rainfall, or 189 cubic feet of detention storage for this property. The initial storage on site will be collected and held in the two landscape ponds near the street as shown on the Plan.

Engineer's Certification

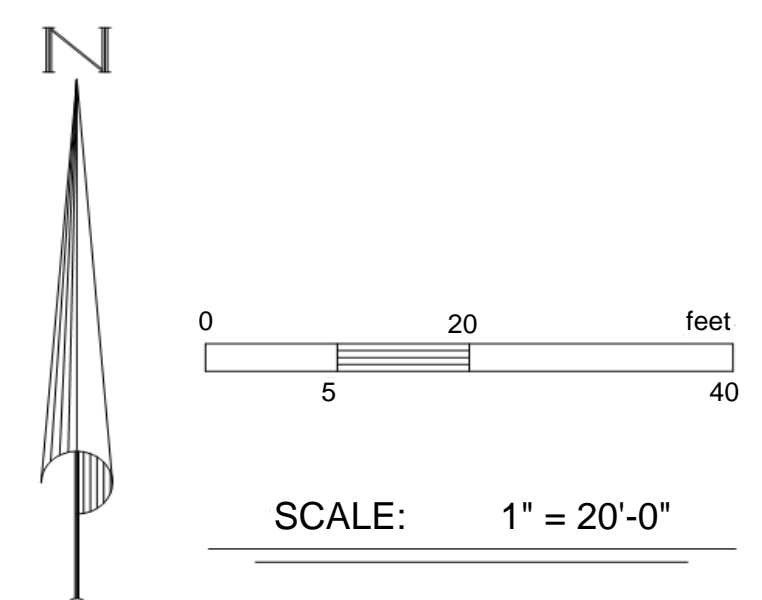
I, Jesse Luehring, hereby certify that I have inspected the site, and that all existing grades are accurately reflected in the topographic survey obtained to develop this grading and drainage plan.

Jesse Luehring
 Jesse Luehring, PE #21684



Drainage Calculations

Lot 2, Block 2, Volcano Cliffs Unit 19							
Land Type	Area Lot (SF)	Property Area %	SAD 228 DMP %	100-Yr Storm Inch Depth (6 hr)	Excess Precip (in)	Peak Discharge CFS/AC	100-Yr Storm Volume (Ac-Ft)
Type D	5336	43%	50%	2.20	1.97	4.37	0.020
Type C	5015	40%	40%	2.20	0.99	2.87	0.009
Type B	2150	17%	10%	2.20	0.67	2.03	0.003
		12501	100%	100%		0.97	0.032
						0.966 CFS	0.004334
						188.799 Cubic Ft	
						1409.773 Cubic Ft	
Total Drainage Basin Area:		12501 SF 0.287 AC					



Contour Interval = 0.5 Feet (6 inches)

Elevations are NAVD88 datum, based on NGS CORS Station 'ZAB1'.

GRADING AND DRAINAGE PLAN
 7831 AGUILAS ST NW
 LOT #2, BLOCK #2, VOLCANO CLIFFS UNIT # 19

Critical View Engineering, LLC
 111501 Modesto Ave NE
 Albuquerque NM, 87122
 505-321-5917



6-26-19

Drawn: 6/25/19
 Rev: 0 Rev 2-COO Cert 1-24-20

