

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 3, 2021

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, New Mexico 87199

RE: **Lot 2 Block 2 Unit 18 SAD 228  
6612 Petirrojo NW  
Volcano Cliffs Subdivision  
Grading and Drainage Plan  
Engineers Stamp Date 4/27/2021 (D10D003G2P)**

Mr. Soule,

Based upon the information provided in your submittal received 4/30/2021, this plan is approved for Grading Permit.

**Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.**

**Advise the owner contractor not to use dirt as a ramp to climb the curb, use lumber or crusher fines for this purpose.**

**Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification. Also, if a swimming pool is to be placed the grading and drainage plan will change and will need to be resubmitted.**

**Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist is required.**

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 6612 Petirrojo NW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 2 BLOCK 2 VOLCANO CLIFFS UNIT 18  
**City Address:** 6612 Petirrojo NW

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**  
☒ HYDROLOGY/ DRAINAGE  
\_\_\_\_\_ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**  
\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**  
☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



Weighted E Method

										100-Year, 6-hr.			24 hour	
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)				
ALLOWED	14096.00	0.324	0%	0	20%	0.065	46%	0.1489	34%	0.110	1.259	0.034	1.04	0.038
PROPOSED	14096.00	0.324	0%	0	20%	0.065	43%	0.1391	37%	0.120	1.289	0.035	0.71	0.039
COMPARISON												0.001		#REF!

Equations:

Weighted E = Ea\**A*a + Eb\**A*b + Ec\**A*c + Ed\**A*d / (Total Area)

Volume = Weighted D \* Total Area

Flow = *Q*a \* *A*a + *Q*b \* *A*b + *Q*c \* *A*c + *Q*d \* *A*d

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44      Qa= 1.29  
Eb= 0.67      Qb= 2.03  
Ec= 0.99      Qc= 2.87  
Ed= 1.97      Qd= 4.37

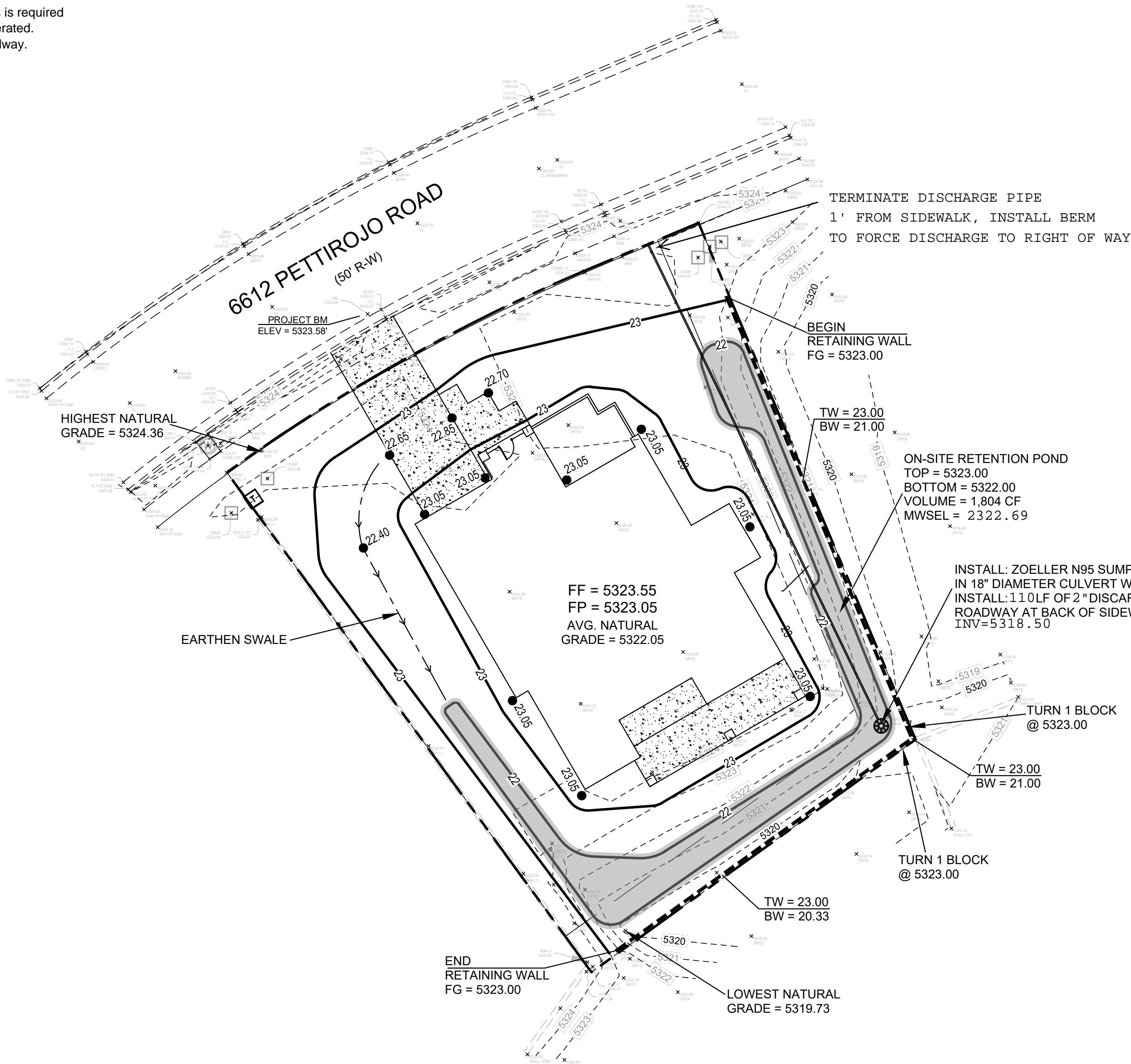
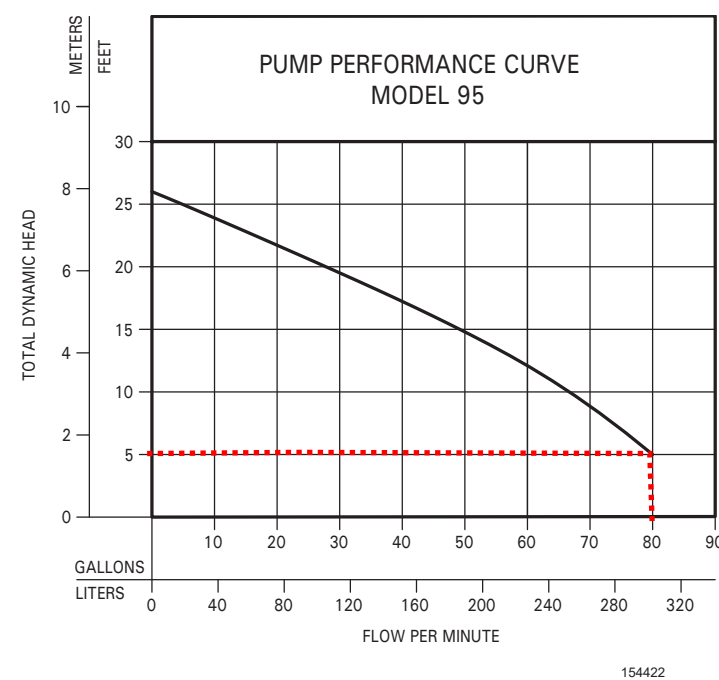
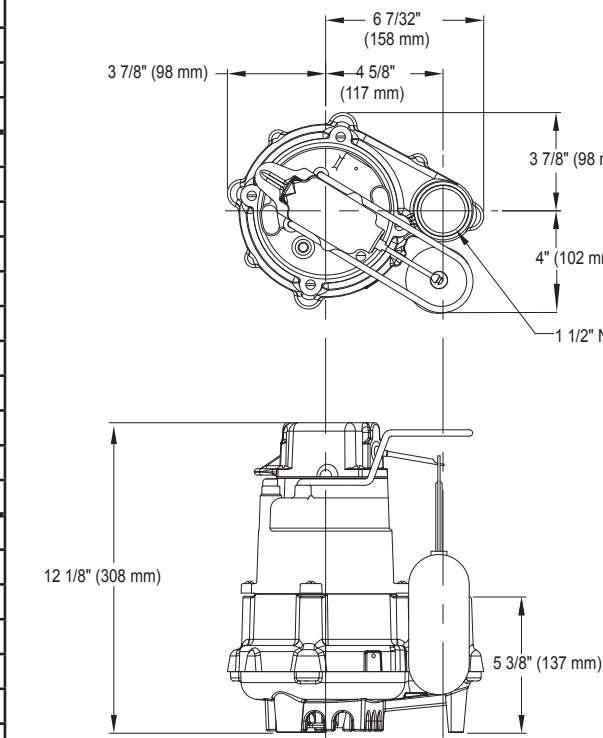
ONSITE Conditions  
DRAINAGE SUMMARY

	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	0	1804
FLOOD CONTROL(ENTIRELOT)	1714 (24-hour)	1804
Narrative		

This site is within the SAD 228 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the south per the master drainage plan. The site does exceed the SAD 228 developed conditions assumptions, therefore ponding of 66 cfs is required Based upon height restrictions, the pad can not be built to drain to the roadway, therefore the yard will retain the entire 198 cf generated. A sump pump will be installed to drain the yard to the street. The pump will discarche at . 1.7 cf to the front discharging to the roadway. Existing wall appears to prevent cross lot drainage. This plan is in conformance to the master drainage plan

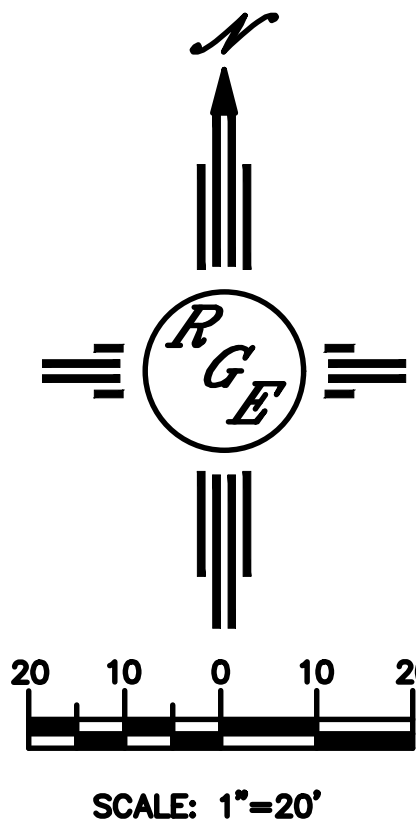
PRODUCT SPECIFICATIONS

MOTOR	Horse Power	1/2
	Voltage	115
	Phase	1 Ph
	Hertz	60 Hz
	RPM	3450
PUMP	Type	Permanent split capacitor
	Insulation	Class B
	Amps	10.5
	Operation	Automatic
	Auto On/Off Points	9-1/2" (24 cm) / 2-1/2" (6.4 cm)
MATERIALS	Discharge Size	1-1/2" NPT
	Solids Handling	1/2" (12 mm) spherical solids
	Cord Length	15' (4.6 m)
	Cord Type	UL listed, 3-wire, grounded plug
	Max. Head	26' (7.9 m)
	Max. Flow Rate	80 GPM (303 LPM)
	Max. Operating Temp.	130° F (54° C)
	Cooling	Oil filled
	Motor Protection	Auto reset thermal overload
	Cap	Cast iron
	Motor Housing	Cast iron
	Pump Housing	Cast iron
	Base	Cast iron
	Upper Bearing	Sleeve bearing
	Lower Bearing	Ball bearing
	Mechanical Seals	Carbon and ceramic
	Impeller Type	Non-clogging vortex
	Impeller	Engineered thermoplastic
	Hardware	Stainless steel
	Motor Shaft	AISI 1215 cold rolled steel
	Gasket	Neoprene



CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.

EARTHEN SWALE  
NTS

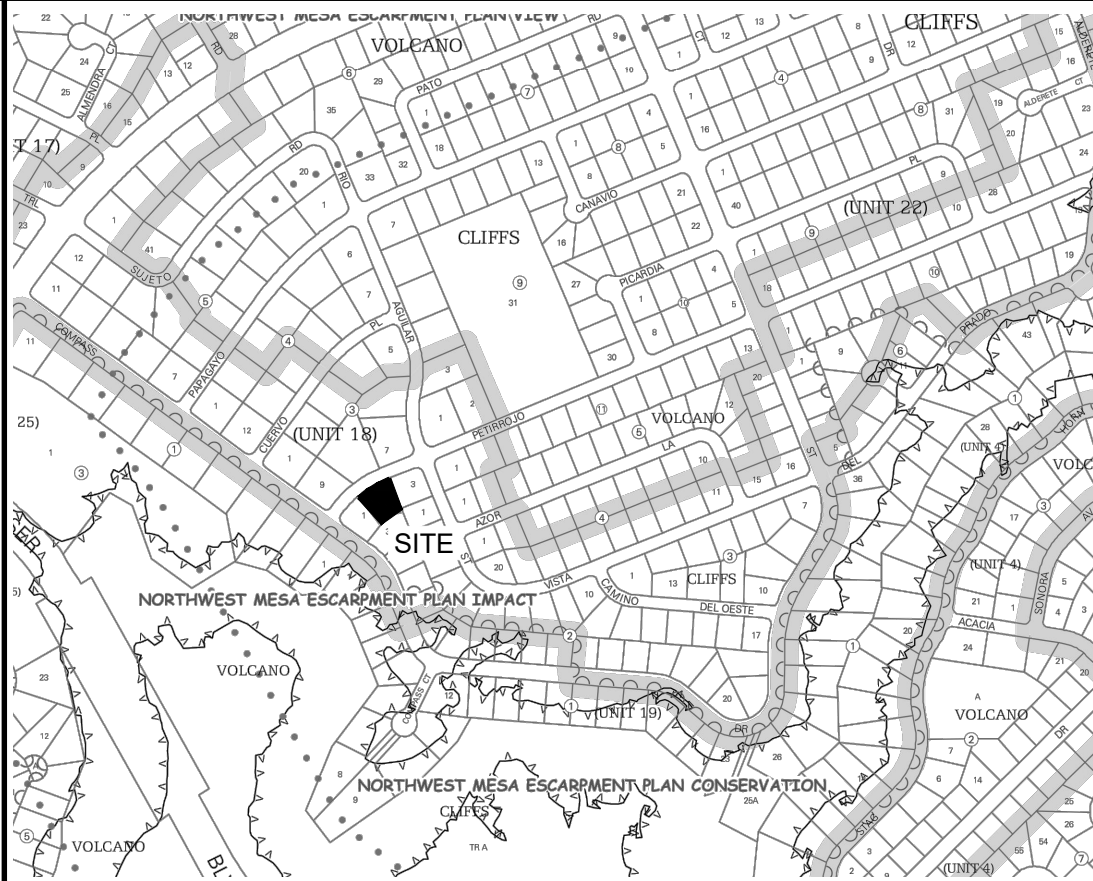


CAUTION:

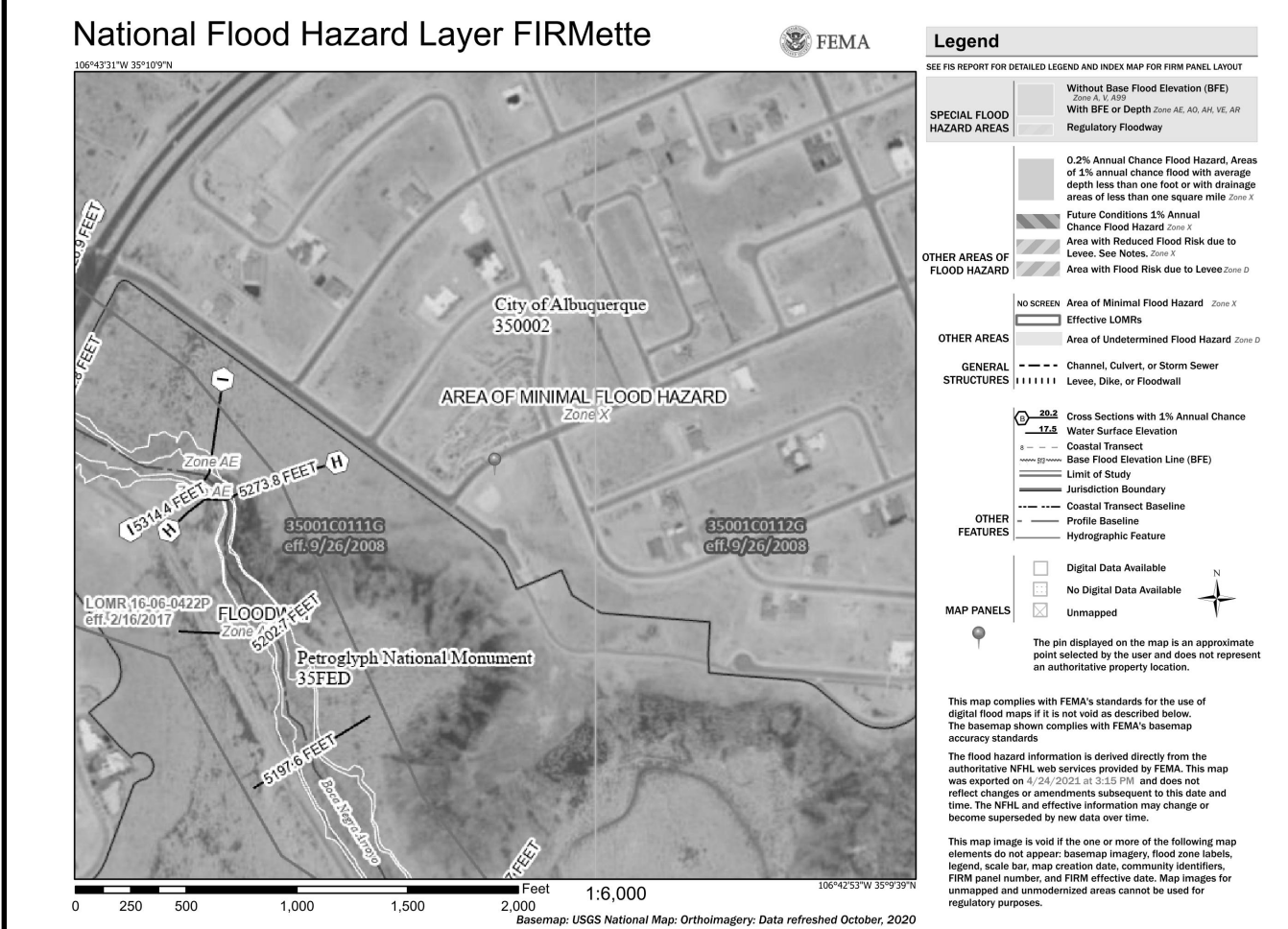
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 2 BLOCK 2 UNIT 18 VOLCANO CLIFFS SUBDIVISION  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

---	XXXX	EXISTING CONTOUR
---	XXXX	EXISTING INDEX CONTOUR
---	XXXX	PROPOSED CONTOUR
---	XXXX	PROPOSED INDEX CONTOUR
+	XXXX	EXISTING SPOT ELEVATION
●	XXXX	PROPOSED SPOT ELEVATION
---		BOUNDARY
---		ADJACENT BOUNDARY
==		EXISTING CURB AND GUTTER
---		PROPOSED EARTHEN SWALE
---		PROPOSED RETAINING WALL
---		PROPOSED CONCRETE
---		PROPOSED PONDING

ENGINEER'S SEAL  DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER  4 / 27 / 21  DAVID SOULE P.E. #14522	Lot 2 Blk 2 Un 18 VC 6612 PETTIROJO ROAD  GRADING AND DRAINAGE PLAN   P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-9099	DRAWN BY DEM DATE 4-26-21 Lot 2 Blk 2 Un 18 VC.dwg  SHEET # C1 JOB #
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