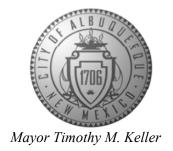
CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



May 25, 2021

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, New Mexico 87199

RE: Lot 36 Block 2 Unit 19 SAD 228
7808 Compass NW
Volcano Cliffs Subdivision
Revised Grading and Drainage Plan
Engineers Stamp Date 5/24/2021 (D10D003G36)

Mr. Soule,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 5/25/2021, this revised plan is approved for Grading Permit.

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

Advise the owner contractor not to use dirt as a ramp to climb the curb, use lumber or crusher fines for this purpose.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification. Also, if a swimming pool is to be placed the grading and drainage plan will change and will need to be resubmitted.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist is required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E. Principal Engineer, Planning Dept.

Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 7808 COMPASS DR DRB#: Legal Description: LOT 36 BLOCK 2	Building Permit #: EPC#:			
City Address: 7808 COMPASS	VOLCINO CLITT			
Address:				
Phone#:	_ Fax#:	E-mail:		
Other Contact: RIO GRANDE ENGINE		Contact:	DAVID SOULE	
Address: PO BOX 93924 ALB NM		····		
Phone#: 505.321.9099	Fax#: 505.872.0999	E-mail: ^d	avid@riograndeengineering.com	
TYPE OF DEVELOPMENT: PLAT				
Check all that Apply:				
DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	X B	OF APPROVAL/ACCE UILDING PERMIT APPR ERTIFICATE OF OCCUR	ROVAL	
TYPE OF SUBMITTAL:				
ENGINEER/ARCHITECT CERTIFICATION	P	RELIMINARY PLAT AP	PROVAL	
PAD CERTIFICATION	S	ITE PLAN FOR SUB'D A	APPROVAL	
CONCEPTUAL G & D PLAN		SITE PLAN FOR BLDG. PERMIT APPROVAL		
XX GRADING PLAN	F.	INAL PLAT APPROVAI		
DRAINAGE REPORT				
DRAINAGE MASTER PLAN		IA/ RELEASE OF FINAN		
FLOODPLAIN DEVELOPMENT PERMIT APPLIC		FOUNDATION PERMIT APPROVAL		
ELEVATION CERTIFICATE		GRADING PERMIT APPROVAL SO-19 APPROVAL		
CLOMR/LOMR			3741	
TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS)		PAVING PERMIT APPROVALRADING/ PAD CERTIFICATION		
TRAFFIC IMPACT STUDY (118) STREET LIGHT LAYOUT		WORK ORDER APPROVAL		
OTHER (SPECIFY)		CLOMR/LOMR		
PRE-DESIGN MEETING?		FLOODPLAIN DEVELOPMENT PERMIT		
IS THIS A RESUBMITTAL?: Yes No		THER (SPECIFY)		
DATE SUBMITTED:				
COA STAFF:	ELECTRONIC SUBMITTAL	RECEIVED:	-	
FEE PAID:				

Weighted E Method Area Area Treatment A Treatment B Treatment C Treatment D Weighted E Volume (acres) % (acres) % (acres) % (acres) (ac-ft) 1.15 0.042 TO STREET **REAR YARD** 4182.00 0.096 0% 0 30% 0.029 39% 0.0374 31% 0.030 1.198 **OVERAGE** 0.053 -0.031 Weighted $E = Ea^*Aa + Eb^*Ab + Ec^*Ac + Ed^*Ad / (Total Area)$ Volume = Weighted D * Total Area Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm-zone 1

Qb= 2.03 Eb= 0.67 Ec= 0.99 Qc= 2.87 Ed= 1.97 Qd= 4.37

ONSITE Conditions FIRST FLUSH WATER QUALITY VOLUME

PROVIDED REQUIRED (CF) (CF) WATER QUALITY 1424 1424 467 FLOOD CONTROL

Narrative

This site is within the SAD 228 Master Drainage plan boundaries. The site is supposed to drain to the adjacent roadway to the west per the

master drainage plan. The site is impacted by height restrictions that will not allow the pad to raise significantly without causing significant restraints on any home construction. We are therefore draining as much as possilb to the front and ther remainder to the rear where it is retained. The site does exceed the SAD 228 developed conditions assumptions, therefore ponding of 467 cf is required. Minor

4" PVC DRAIN

61.293, R=260.730

D =13.4693

PROJECT BM

ELEV = 5323.89'

INV OUT=5323.47

NEW 20' DRIVEPAD

PER COA STD DWG #2425

18" MAX

5324.50

5324.50

5324.50

5324.50

DRAINAGE BASIN

324.50

DIVIDE

FF=5325.0

FP=5324.50

AVERAGE NATURAL GRADÉ\$5321.82

DESIGN BY OTHERS

RETENTION POND

TOP=5323.75
BOTTOM=5322.75
VOL=815 CU FT

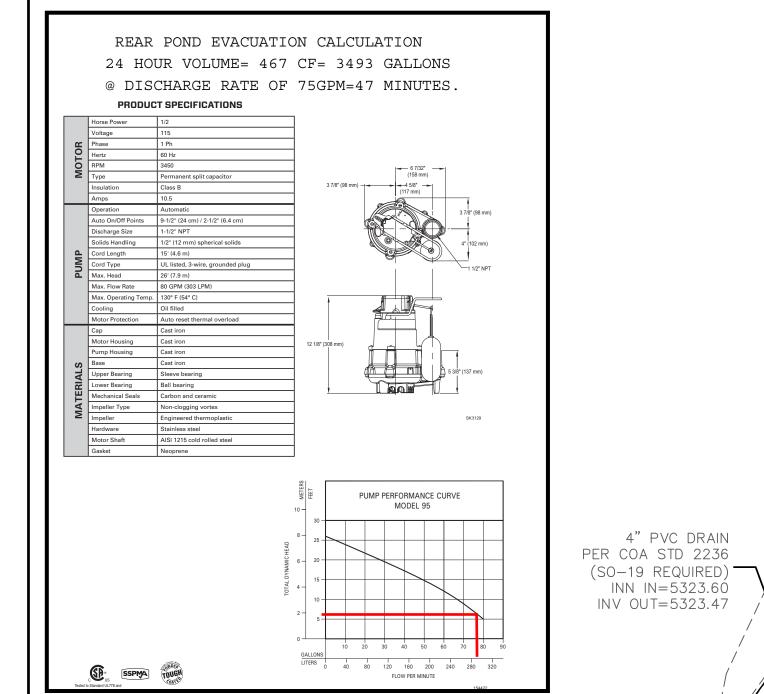
TOP=5324.00

BOTTOM=5323.33

RETAINAGE

PROPERTY LINE

upland flow may enters the site from the rear yard of the lot to the north. This flow will fill and pass through to the south This plan is in conformance to the master drainage plan and attempts to address heigh restrictions



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Private Drainage Facilities within City Right-of-Way

Notice to Contractor (Special Order 19 ~ "SO-19")

- 1. Build sidewalk culvert per COA STD DWG 2236. 2. Contact Storm Drain Maintenance at (505) 857-8033 to
- schedule a meeting prior to forming.
- work within City Right-Of-Way.

3. An excavation permit will be required before beginning any

- 4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- 5. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.
- 6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- 7. Backfill compaction shall be according to traffic/street use. 8. Maintenance of the facility shall be the responsibility of the
- owner of the property being served. 9. Work on arterial streets may be required on a 24-hour basis. 10. Contractor must contact Storm Drain Maintenance at (505)

857-8033 to schedule a construction inspection. For

excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL TO ANY EXCAVATION TO DETERMINE THE IMPROVEMENTS.

EROSION CONTROL NOTES:

REAR YARD RETENTION POND

- LOWEST NATURAL GRADE=5318.95

INSTALL 2" DISCHARGE LINE.

BEGIN RW

DESIGN BY OTHERS TOP=5322.00 BOTTOM=5321.33

GRATE=5320.50

INVERT IN=5317.50

INVERT OUT=5323.75

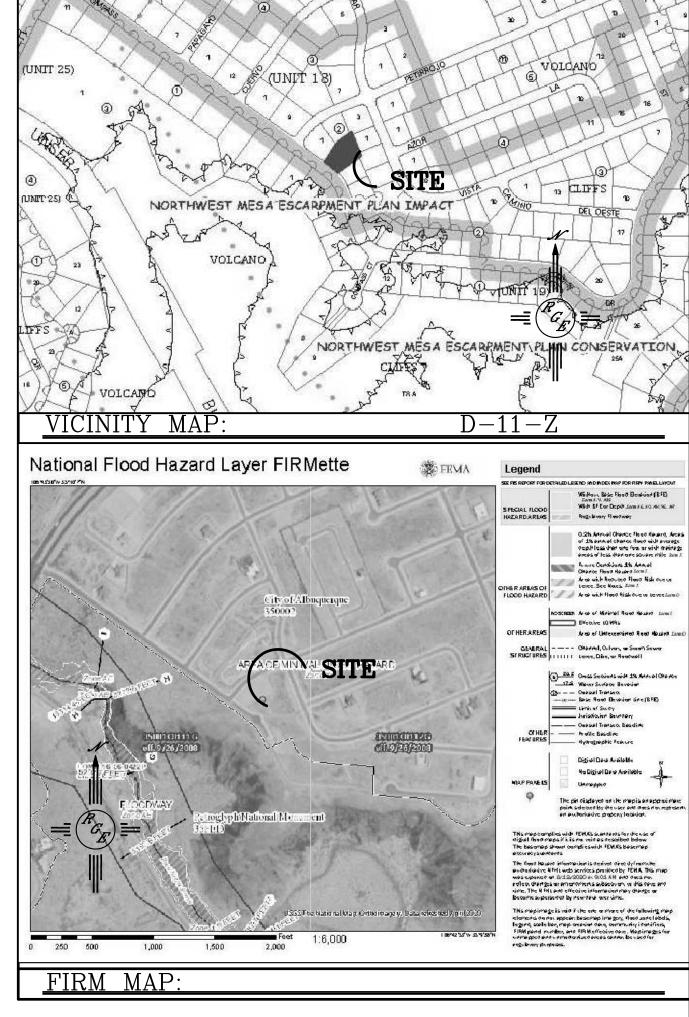
INSTALL ONE ZOELLER N95 SUMP PUMP IN 18" DIAMETER CULVERT WITH GRATE

TOP=5321.00

VOL=1424

80TTOM = 5320.00

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

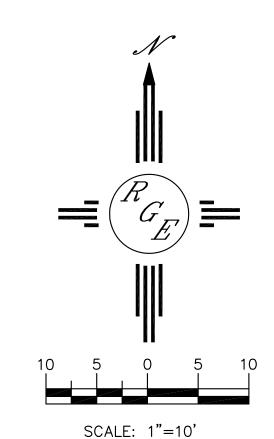
LOT 36 BLOCK 2 VC UNIT 19

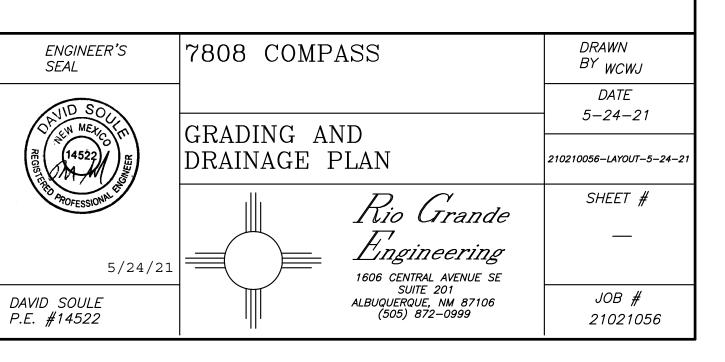
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE

2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

LEGEND

- EXISTING CONTOUR -------- Existing index contour — PROPOSED CONTOUR PROPOSED INDEX CONTOUR SLOPE TIE **EXISTING SPOT ELEVATION** × XXXX * XXXX PROPOSED SPOT ELEVATION ----- LOT LINE CENTERLINE RIGHT—OF—WAY PROPOSED 4" PVC SD ---- GRAVEL LINED SWALE





CAUTION:

NECESSARY FIELD INVESTIGATIONS PRIOR ACTUAL LOCATION OF UTILITIES & OTHER