

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 26, 2020

Jesse J Luehring, P.E.
Critical View Engineering
11501 Modesto Ave NE
Albuquerque, New Mexico 87122

RE: **Lot 2, Block 11, Unit 9 S.A.D. 228**
6524 Papagayo NW
Grading and Drainage Plan
Engineers Stamp Date 8/11/2020 (D10D003I11)

Mr. Luehring,

Based upon the information provided in your submittal received 8/24/2020, this plan is approved for Grading Permit.

PO Box 1293

A pad certification is required before concrete is poured, either by a letter from you stating that the pad is built according to the plan submitted or by an as-built with elevations plotted.

Albuquerque

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Also, please advise the owner/contractor that a separate wall permit must be obtained and this approved grading plan dated 8/11/2020 must be provided with the wall permit application.

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: G & D for 6524 Papagayo Residence **Building Permit #:** _____ **Hydrology File #:** TBD
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 11, Block 9, Volcano Cliffs Unit 18
City Address: 6524 Papagayo Rd NW

Applicant: Critical View Engineering **Contact:** Jesse Luehring
Address: 11501 Modesto Ave NE, Albuquerque NM 87122
Phone#: 505-321-5917 **Fax#:** _____ **E-mail:** criticalviewabq@gmail.com
Owner: Owner/Builder **Contact:** Lukas Gallegos
Address: 1901 Avondale Pl NW, Albuquerque NM 87120
Phone#: 505-340-7544 **Fax#:** _____ **E-mail:** handwconstructionllc@gmail.com

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

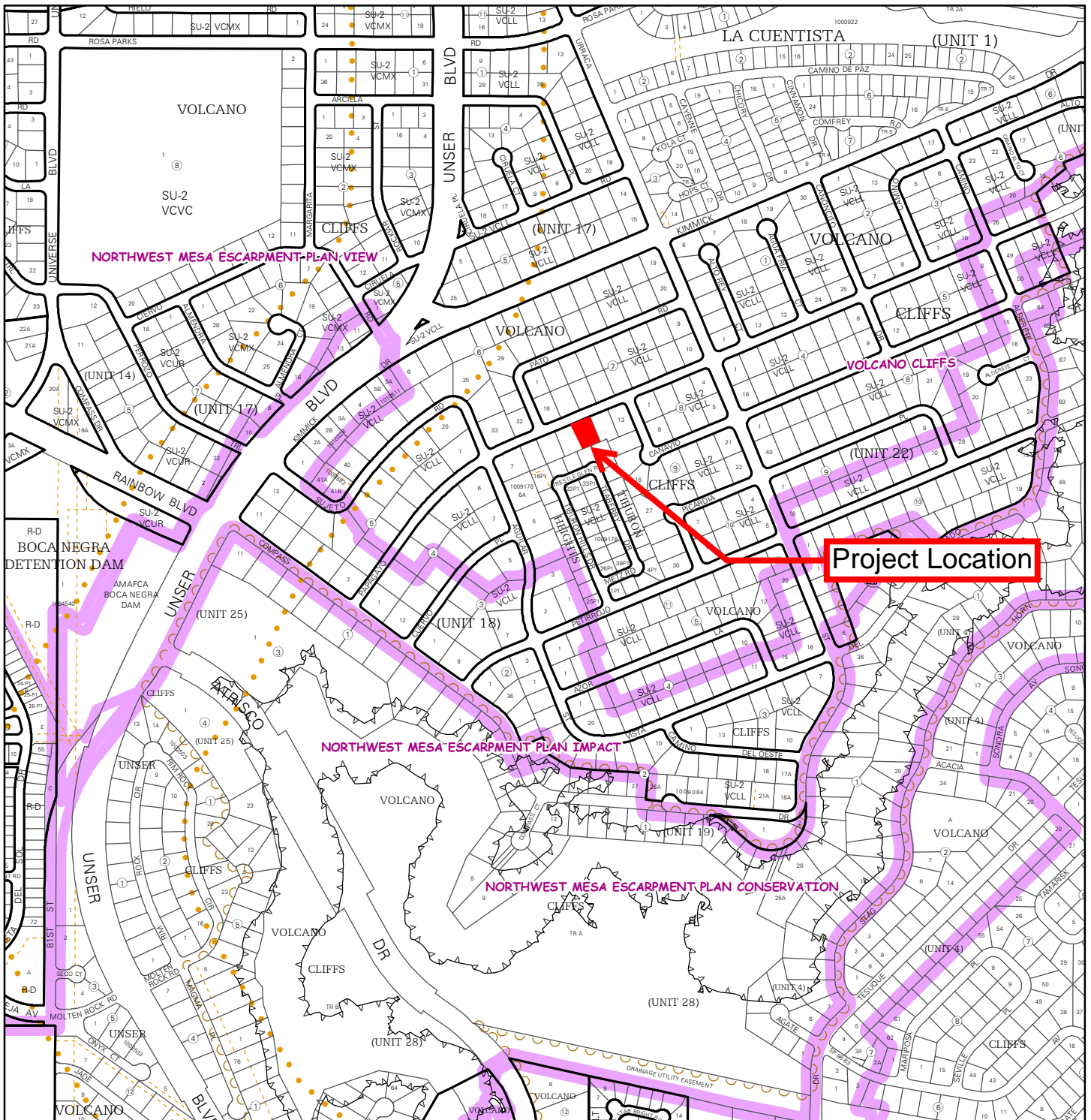
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** Jesse Luehring, PE

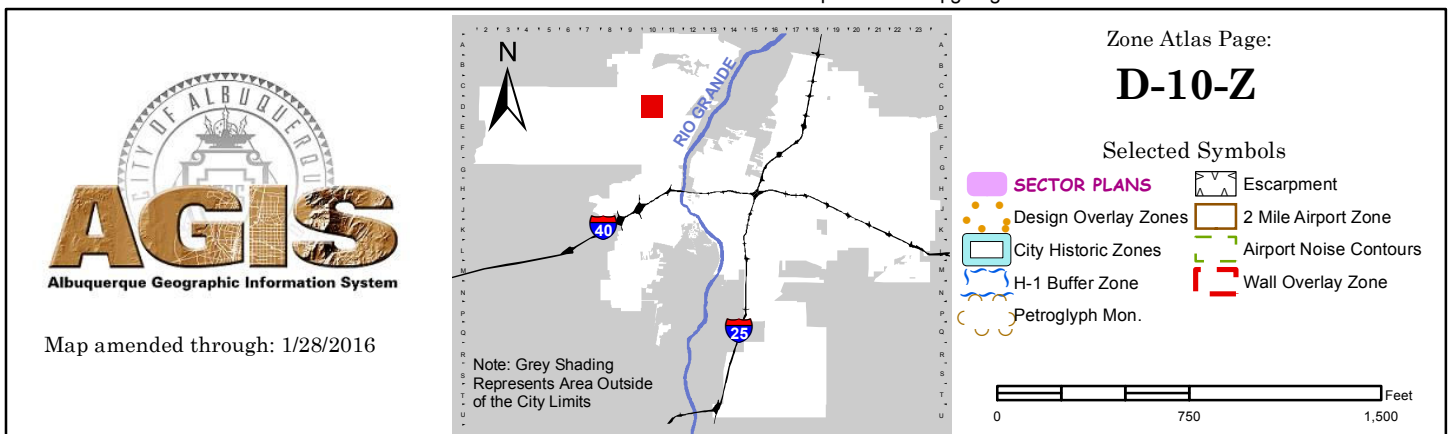
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

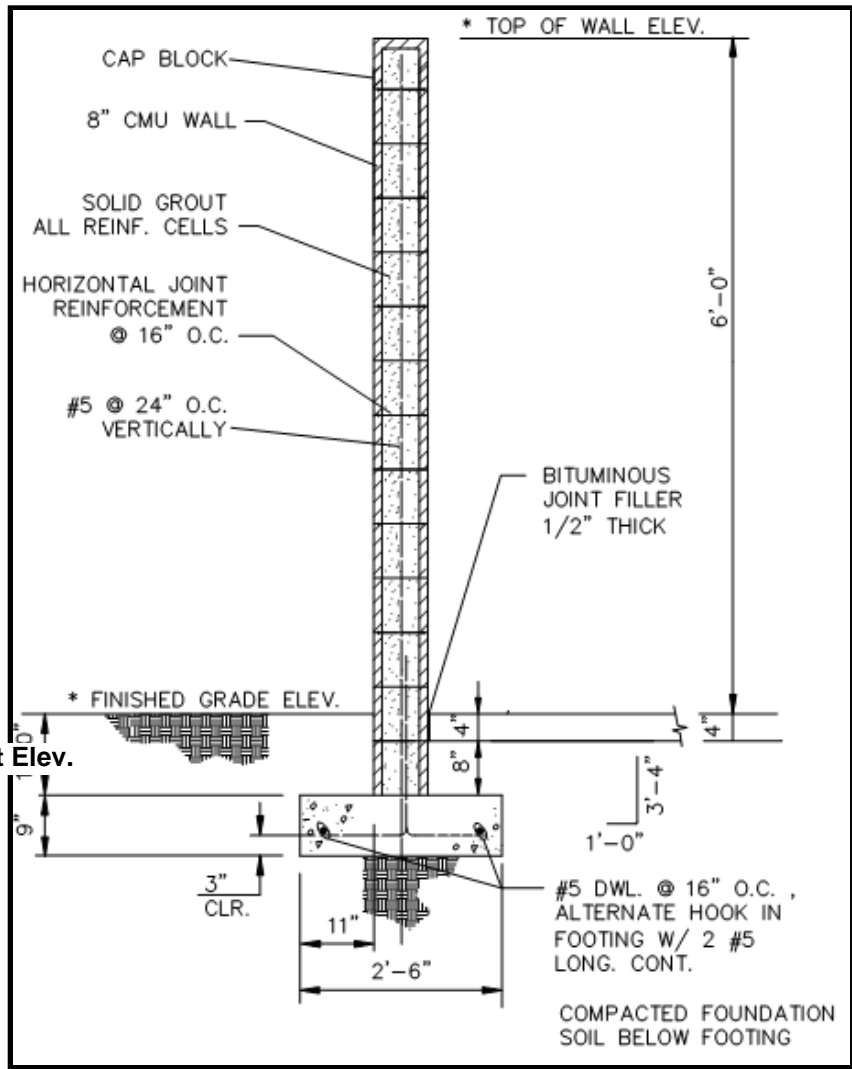
FEE PAID: _____



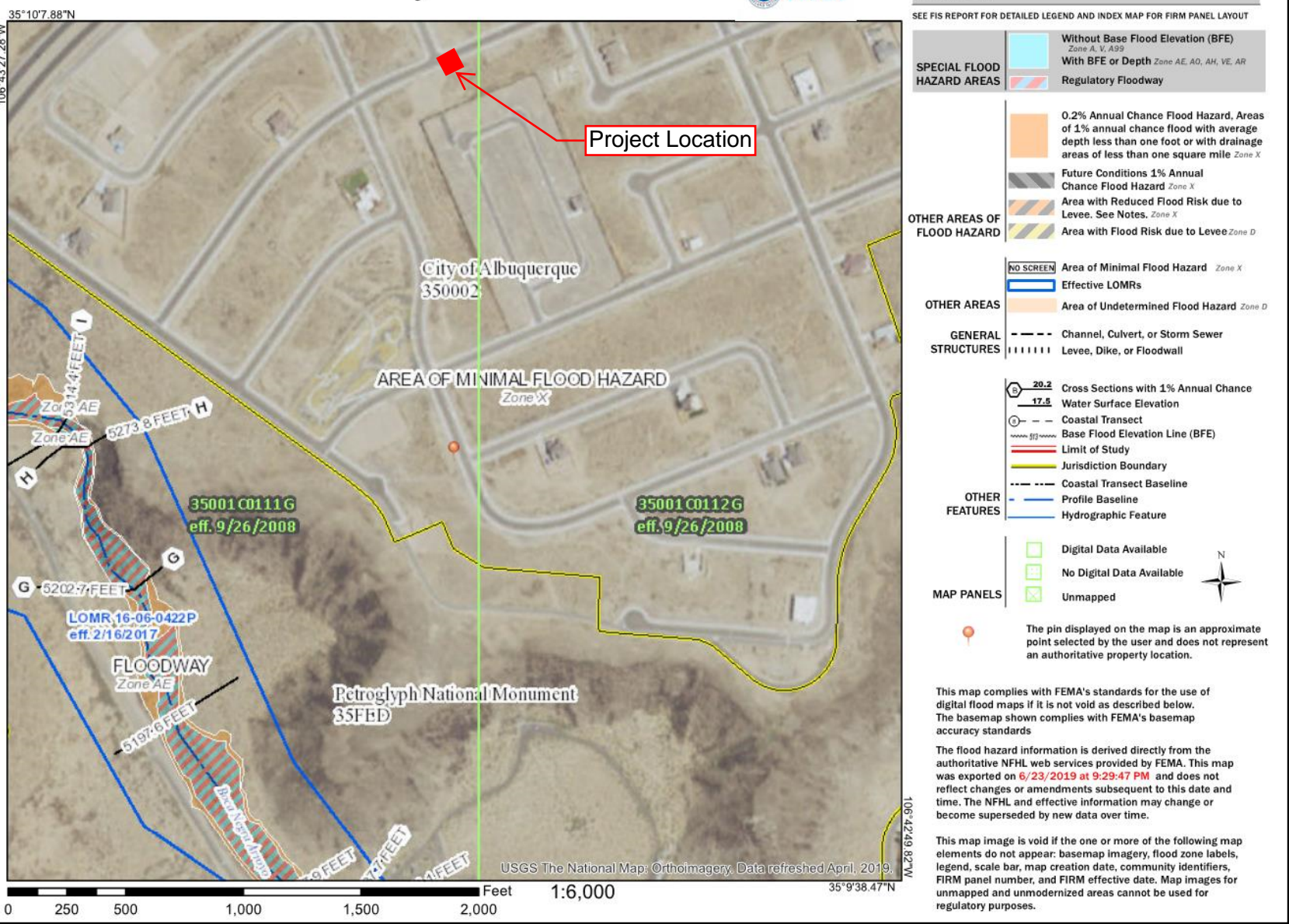
For more current information and details visit: <http://www.cabq.gov/gis>



CMU Garden Wall Detail



National Flood Hazard Layer FIRMette



General Notes:

1. All perimeter walls shall be permitted separately
2. No grading shall be allowed on adjacent properties
3. A pad certification is required before the building permit is issued
4. An as-built certification is required before certificate of occupancy is issued.
5. All disturbed areas shall be stabilized with concrete, gravel, asphalt, or native seed mix
6. It is recommended to contract with a licensed geotechnical engineer for all aspects of earthwork and engineered fill material
7. Driveway cutout shown in concept form only, and shall comply with NM Standard Specs for Public Works Construction, specifically Std Detail 2425
8. Any sideyard gates shall allow drainage conveyance to the front of the property as shown

Narrative:

This is a grading and drainage Plan for the construction of the building pad for the Lot at address 6524 Papagayo Rd (Lot #11, Block #9, Volcano Cliffs Subdivision Unit 18, a part of Special Assessment District 228)

The purpose of this plan is to establish the first floor elevation, house layout, site concrete layout, wall locations, and general lot drainage of the site. This drainage plan has been prepared in accordance with the latest revision to the City of Albuquerque Development Process Manual, and in accordance with the SAD 228 Drainage Report dated November 2011. There are negligible offsite flows entering this property. The site is located in rainfall 'Zone 1' per the DPM.

Drainage Intent:

Existing Conditions: This lot is an 0.33 acre vacant land property, that is bound on the South, East, and West by developed lots, with street frontage to Papagayo Rd. to the North. The lot is lower than the elevation of the road, and generally drains to the West, with negligible offsite flows entering the property. The SAD 228 DMP places this property in drainage basin 201-H, and assumes that onsite will drain West or North to the street, eventually discharging into Pond 5 at the West end of SAD 228 development.

Proposed Conditions: Improvements to the lot include a new residence and concrete driveway that will add approximately 6200 SF of impervious area, or 43% of the property area (SAD 228 DMP allows up to 50%). The lot is designed to drain to the street, in accordance with the SAD 228 DMP.

A water quality detention pond with a volume of 228 Cu. Ft. is designed to capture the 'first flush' of approximately 202 Cu. Ft. The existing sandy loam soils at the site are well drained (hydrologic soil group 'B') which will ensure a short retention time. Larger storm event flows will discharge from the NW edge of the pond by overflowing the existing sidewalk.

Additional improvements will include the construction of approximately 100 LF of 6 ft tall garden wall. These walls may retain up to 2' of soil. Drainage will traverse through any location of gates on the sideyard, and gates will be a minimum of 6" above grade.

First Flush:

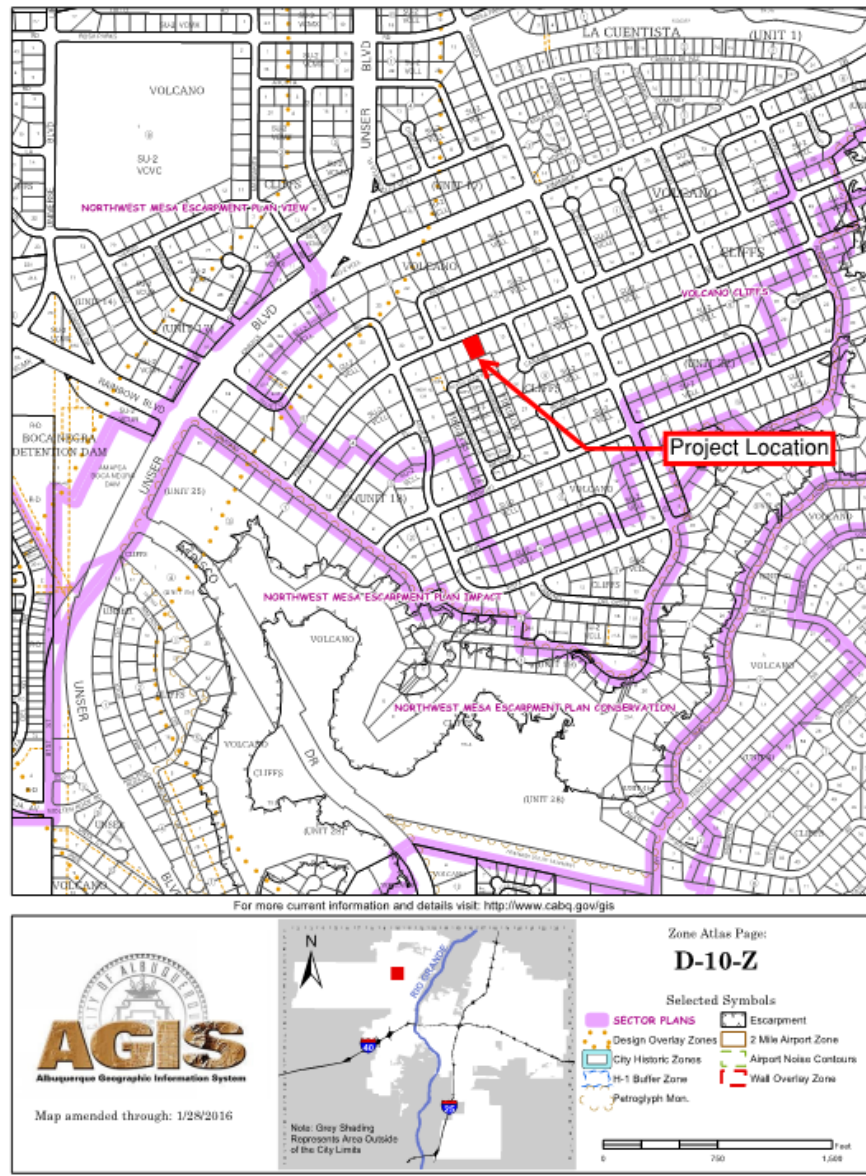
The initial 'First Flush' to be managed on this lot is 0.44" less 0.10" initial abstraction, resulting in a net of 0.34" rainfall, or 202 cubic feet of detention storage for this property. The initial storage on site will be collected and held in the 228 cubic foot capacity landscape pond near the street as shown on the Plan.

Engineer's Certification

I, Jesse Luehring, hereby certify that I have inspected the site, and that all existing grades are accurately reflected in the topographic survey obtained to develop this grading and drainage plan.

Jesse Luehring
Jesse Luehring, PE #21684

Vicinity/Zone Atlas Map



Drainage Calculations

Land Type	Area Lot (SF)	Property Area %	SAD 228 DMP %	100-Yr Storm Inch Depth (6 hr)	Excess Precip (In)	Peak Discharge CFS/AC	Peak Rate of Discharge (CFS)	100-Yr Storm Volume (Ac-Ft)	First Flush Volume (Ac-Ft)
Type D	6200	43%	50%	2.20	1.97	4.37	0.62	0.023	0.004033
Type C	3500	24%	40%	2.20	0.99	2.87	0.23	0.007	0.000603
Type B	4800	33%	10%	2.20	0.67	2.03	0.22	0.006	-
	14500	100%	100%				1.08	0.036	0.004635
Total Drainage Basin Area:						14500 SF 0.333 AC	ALLOWED Peak Discharge: 1.18 CFS ACTUAL Peak Discharge: 1.08 CFS First Flush Volume: 202 Cubic Ft 100-Yr Storm Volume: 1575 Cubic Ft		

- Legend:**
- Existing Min. Contour
 - Existing Maj. Contour
 - Proposed Min. Contour
 - Proposed Maj. Contour
 - Existing Spot Elev.
 - Proposed Spot Elev.
 - Flow Direction

- NOTES:**
- Date of Survey – May 8, 2020
 - Coordinates are modified NM State Plane ground surface coordinates, Central Zone, NAD83, using a combined factor of 1.000328829 applied at origin (0,0).
 - Benchmark Reference – National Geodetic Survey CORS Station 'ZAB1'. Static GPS observations post-processed to ZAB1 to obtain NAVD88 elevations
 - This is not a boundary survey. Property lines shown hereon are for reference only, and are based on previous surveys by others.

Rio Grande Surveying Co. PC
PO Box 7155
Albuquerque, NM 87194
(505) 379-4579 m
rgsc360@gmail.com

May 14, 2020

GRADING AND DRAINAGE PLAN

6524 PAPAGAYO RD NW
LOT #11, BLOCK #9, VOLCANO CLIFFS UNIT #18

Critical View Engineering, LLC

11501 Modesto Ave NE
Albuquerque NM, 87122
505-321-5917



Drawn: 8/11/20
Rev: 0

