

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 24, 2021

Philip W. Clark, PE  
Clark Consulting Engineers  
19 Ryan Rd  
Edgewood, NM 87015

**Re: Lot 23, Block 11, Unit 18 SAD 228  
6508 Petirrojo Rd. NW  
Grading and Drainage  
Engineers Stamp Date 7/21/2021 (C10D003H23)  
Certification dated: 11-18-2021**

Dear Mr. Clark,

Based upon the information provided in your submittal received 11/24/2021, this plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

**Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan and Pad Certification. Also, let the owner/contractor know that if a pool is to be added in the future the G&D plan will need to be modified showing the location of the pool and the land treatment differences. Also advise the owner & Contractor that dirt is not allowed in the public right of way to climb the curb. Crusher fines or lumber is allowed. If dirt is used this will delay going forward with the construction of the home.**

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 6508 Petirrojo NW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** D10/  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** D003H23  
**Legal Description:** Lot 11, Block 11, unit 18 Volcano Cliffs  
**City Address:** same as Title

**Applicant:** CLARK CONSULTING ENGINEERS **Contact:** PHIL  
**Address:** \_\_\_\_\_  
**Phone#:** 281-2444 **Fax#:** xxxx cell / txt 264.6042 **E-mail:** CCEalbq@aol.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** ☐ PLAT ☒ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

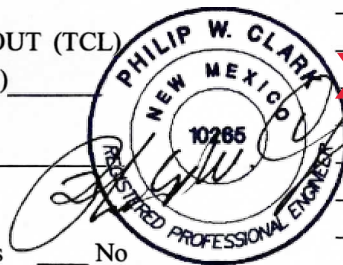
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☒ GRADING/ PAD CERTIFICATION  
☐ WORK-ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No



**DATE SUBMITTED:** 11/18/21 **By:** Phil Clark

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



CALCULATIONS

DESIGN CRITERIA  
HYDROLOGIC METHODS PER CHAPTER 6, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM)  
2020 EDITION FOR CITY OF ALBUQUERQUE.  
DISCHARGE RATE: Q=QPEAK x AREA.. "Peak Discharge Rates For Small Watersheds"  
VOLUMETRIC DISCHARGE: VOLUME = EWeighted x AREA  
P100-6 Hr= 2.17 in., Zone 1, TC = 12 Min.  
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

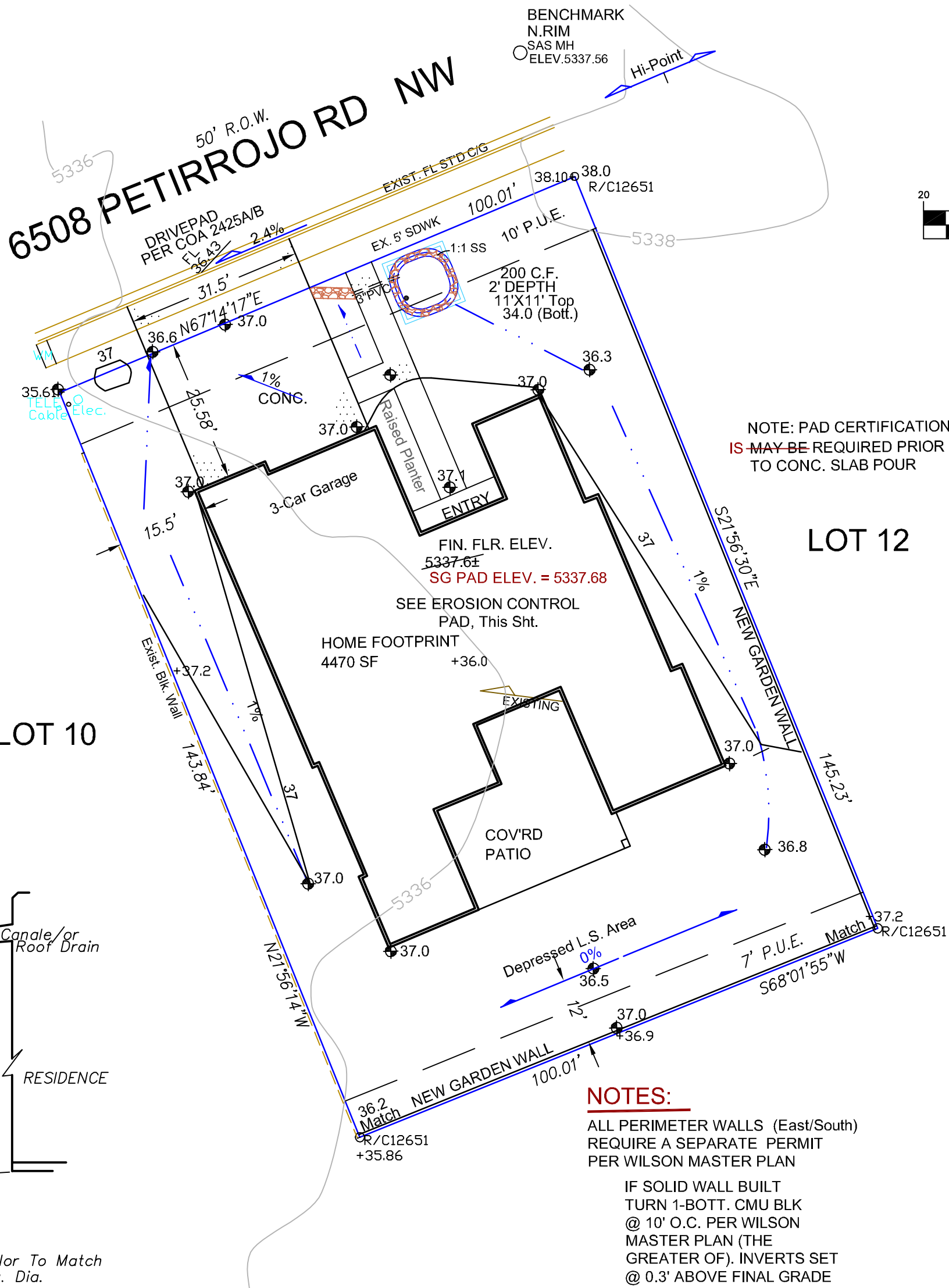
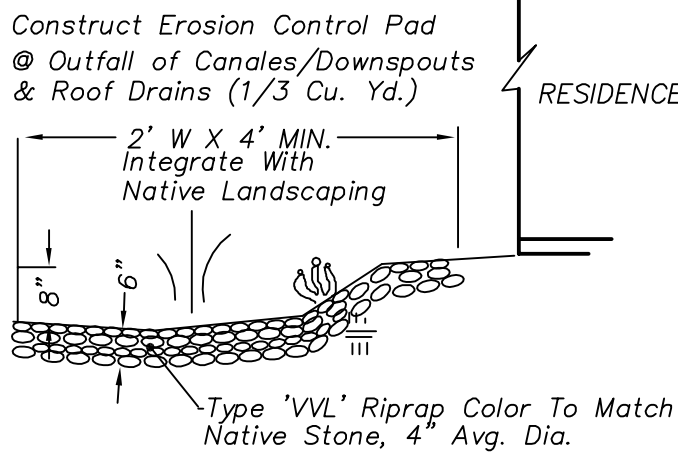
DEVELOPED CONDITIONS  
DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED	0.00 Ac. (~%)	A	1.54[0.30]	0.55[0.11]
LANDSCAPING, Native, <10%	0.10 Ac.(30%)	B	2.16[0.81]	0.73[0.26]
GRAVEL & COMPACTED SOIL	0.09 Ac.(29%)	C	2.87[1.46]	0.95[0.43]
ROOF - PAVEMENT	0.135 Ac.(41%)	D	4.12[2.57]	2.24[1.43]
	0.33 Ac.			

SAD 288 SETS MAX LT D OF 36%  
THEREFORE: .05 X 0.33 X 43560 X 2.24/12 = 134 CF  
CHECK 1ST FLUSH, AKA EPA SWQ & 2020 DPM - USE 0.42"  
THEN: 0.42"/12 X 0.135 X 43560 = 206 CF

EROSION CONTROL PAD

NO SCALE



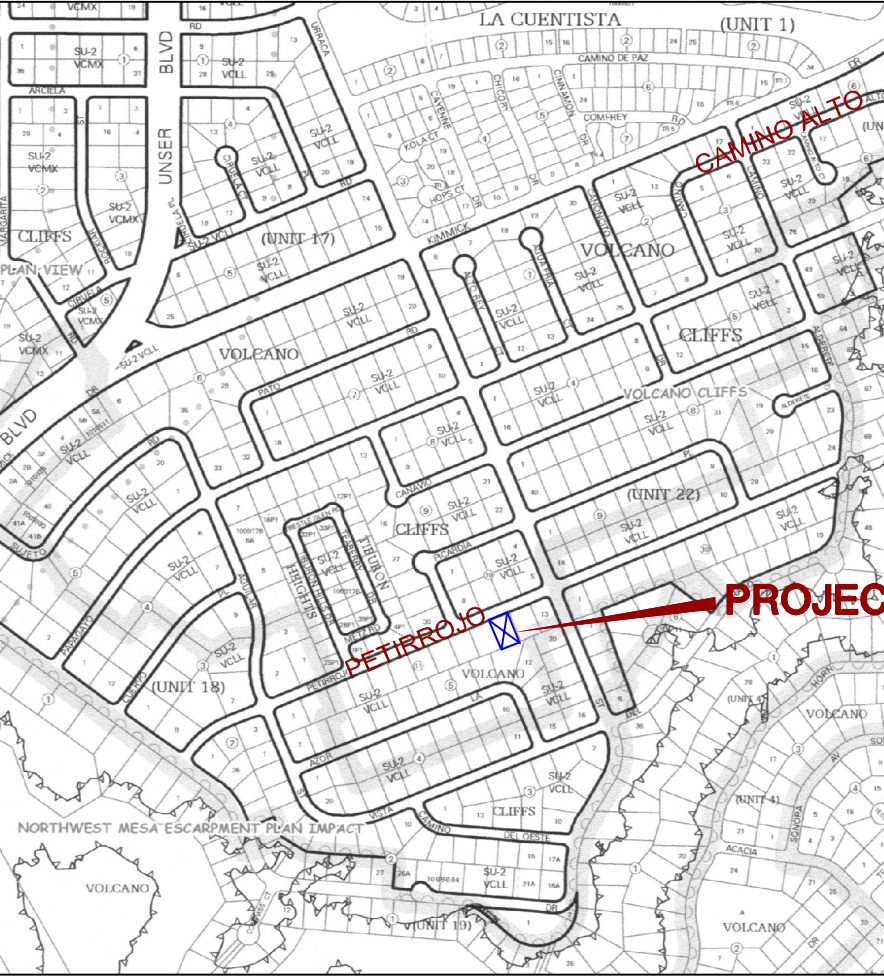
NOTES:  
ALL PERIMETER WALLS (East/South)  
REQUIRE A SEPARATE PERMIT  
PER WILSON MASTER PLAN  
IF SOLID WALL BUILT  
TURN 1-BOTT. CMU BLK  
@ 10' O.C. PER WILSON  
MASTER PLAN (THE  
GREATER OF). INVERTS SET  
@ 0.3' ABOVE FINAL GRADE

AS-CONSTRUCTED  
SUBGRADE PAD, 11/18/21  
ONLY

I, PHILIP W. CLARK, PROFESSIONAL ENGINEER, REGISTERED IN ACCORDANCE WITH THE LAWS IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT INFO. THE GRADING AND DRAINAGE IMPROVEMENTS INDICATED ON THE PLAN WERE CONSTRUCTED AS SHOWN, AND COMPLIES WITH THE DESIGN INTENT OF THE APPROVED PLAN.

PHILIP W. CLARK, P.E.#10265  
11/18/21

6/25/21  
PHILIP W. CLARK  
NEW MEXICO  
10265  
REGISTERED PROFESSIONAL ENGINEER



VICINITY MAP

ZONE D-10

NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 2020.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1012, NATIVE SEED MIX.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1. DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.

LEGEND

- +24.0 EXIST. SPOT ELEVATION
- 10 EXIST. CONTOUR
- +24.0 NEW SPOT ELEVATION
- 54 NEW CONTOUR
- NEW SWALE
- DRAINAGE DIRECTION, EXISTING
- FL FLOWLINE
- O PP EXISTING POWER POLE
- NG OR G NATURAL GROUND, EXISTING
- R/C REBAR AND CAP, EXISTING
- VVL, 4" AVG. DIA. SMOOTH RUN COBBLES / RIPRAP

PROJECT DATA

LEGAL DESCRIPTION (EXISTING)  
LOT 11, BLOCK 11, VOLCANO CLIFFS, UNIT 18  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK  
NORTH RIM OF EXISTING MANHOLE  
SEE PLAN, ELEVATION = 5337.56 AS TIED FROM ACS CONTROL MONUMENT SYSTEM (NAVD 88).

EXPRESSLY PREPARED FOR TERRANOVA BUILDERS

Clark Consulting Engineers			
Edgewood, New Mexico 87015			
Telle: (505) 281-2444		Cell/Txt: (505) 264-6042	
DATE	REVISION	LOT 11, BLOCK 11, VOLCANO CLIFFS, UNIT 18	
7/21/21	ADDR. COA HYDR.	ALBUQUERQUE, BERNALILLO COUNTY, NM	
		6508 PETIRROJO RD, NW	
		Grading & Drainage Plan	
DESIGNED BY: PWC	DRAWN BY: CCE	Terranova_Palleras	1 OF 1
CHECKED BY: PWC	DATE: JUNE 2021	FILE #:	G/D