

# CITY OF ALBUQUERQUE

*Planning Department*

Alan Varela, Interim Director



*Mayor Timothy M. Keller*

February 4, 2022

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

**Re: Lot 7 Block 5 SAD 228  
Volcano Cliffs Subdivision Unit 22  
6531 Azor Pl. NW  
Grading and Drainage Plan  
Engineers Stamp Date 2/11/2021 (D10D003H7)  
Pad Certification Date 1/27/2022  
CO Certification Dated: 1/31/2022**

Dear Mr. Soule,

Based on the Certification received on 2/4/2022, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6531 AZOR Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 7, Block 5 VOLCANO CLIFFS UNIT 19

City Address: 6531 AZOR

Applicant: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



# Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A (acres)	Treatment B (acres)	Treatment C (acres)	Treatment D (acres)	100-Year, 6-hr.		24 hour Volume (ac-ft)
							Weighted E (ac-ft)	Flow cfs	
ALLOWED	14019.00	0.322	0%	0	24% 0.077	40% 0.1287	36% 0.116	1.362	0.037
PROPOSED	14019.00	0.322	0%	0	22% 0.071	27% 0.0869	51% 0.164	1.560	0.042
COMPARISON								0.005	0.009

## Equations:

Weighted E = Ea\**A*a + Eb\**A*b + Ec\**A*c + Ed\**A*d / (Total Area)

Volume = Weighted E \* Total Area

Flow = Qa \* *A*a + Qb \* *A*b + Qc \* *A*c + Qd \* *A*d

Where for 100-year, 6-hour storm- zone 1

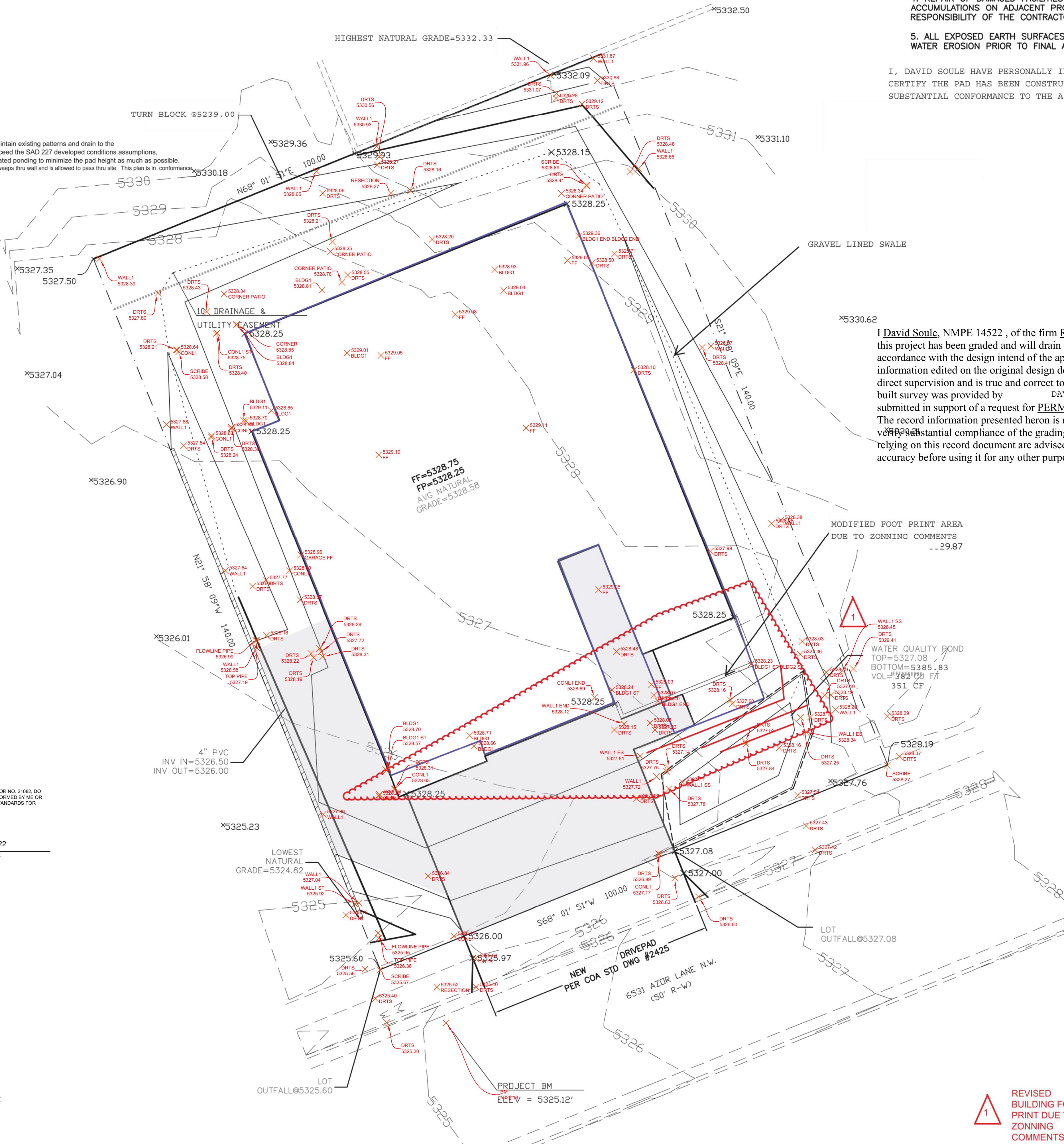
Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

## ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME REQUIRED (CF)	PROVIDED (CF)
0	382
371	392

## Narrative

This site is within the SAD 228Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the adjacent roadway to the southeast per the master drainage plan. The site does exceed the SAD 227 developed conditions assumptions, therefore ponding of 371 cf is required. Due to tight restrictions we have incorporated ponding to minimize the pad height as much as possible. We are ponding the water harvest volume generated by the site. Upland flow from adjacent lot weeps thru wall and is allowed to pass thru site. This plan is in conformance to the master drainage plan



## EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 2/11/21

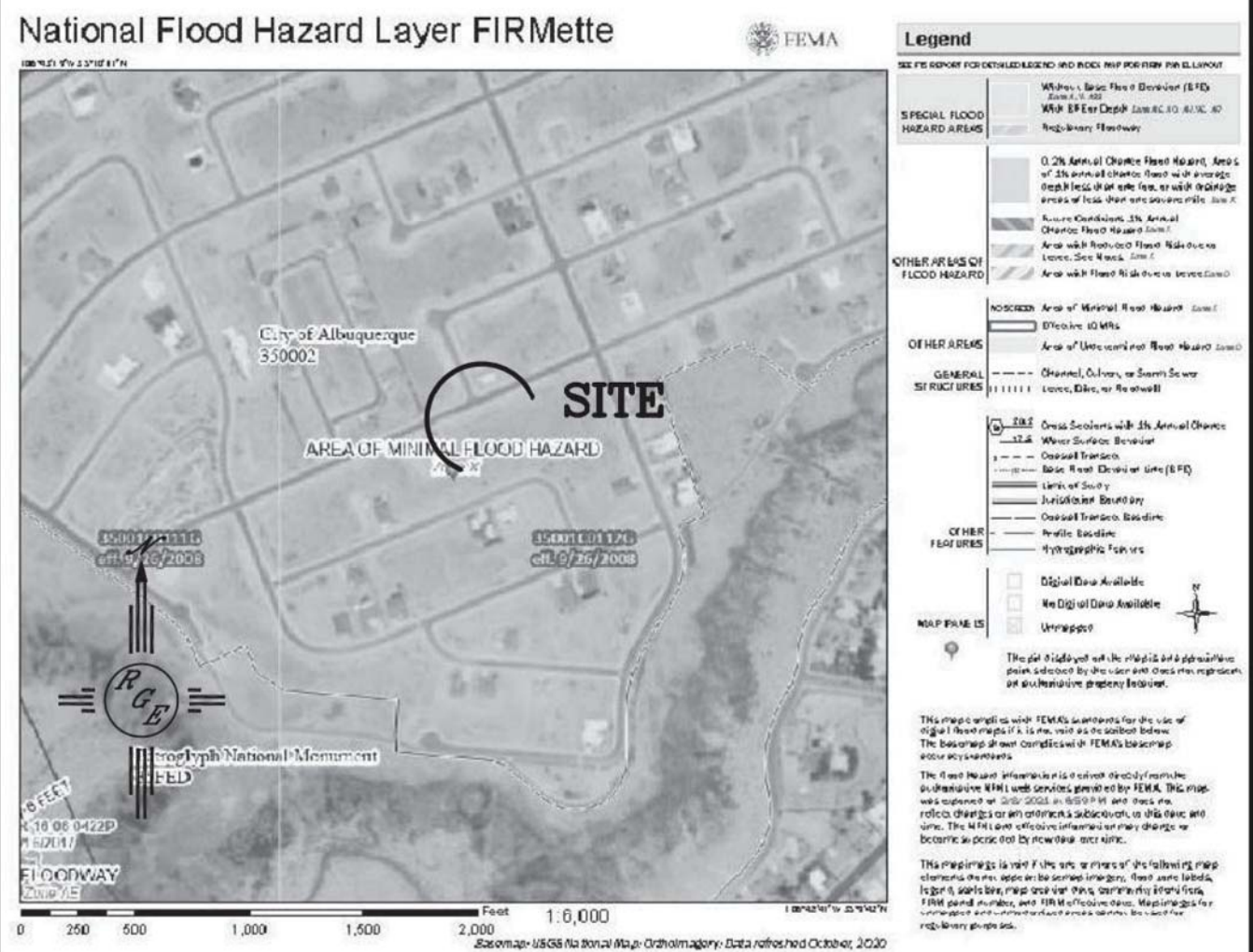
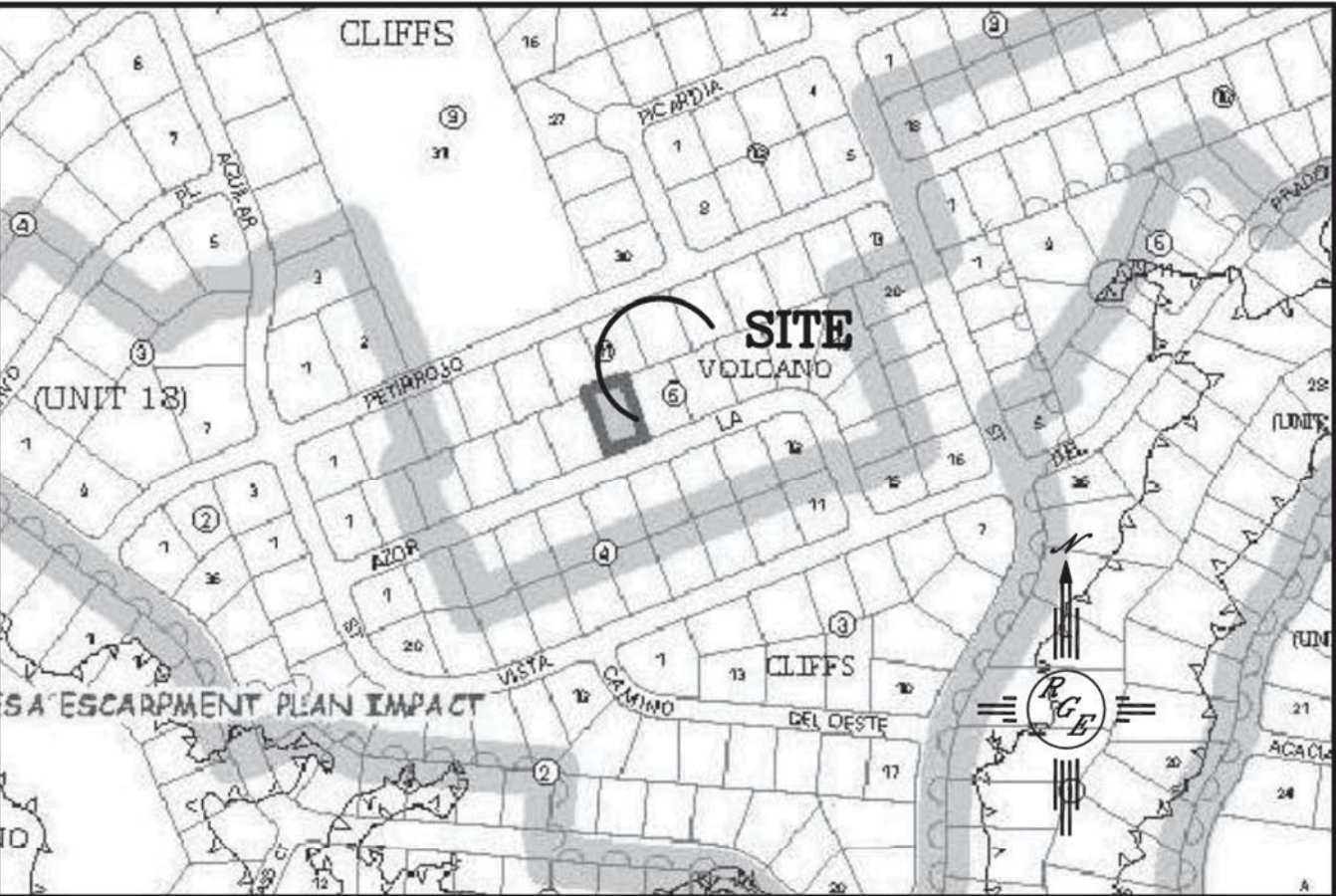


3/23/21

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 2/11/21. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by DAVID ACOSTA 21082. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



1/31/22



## FIRM MAP:

## LEGAL DESCRIPTION:

LOT 7, BLOCK 5, VOLCANO CLIFFS UNIT 19

## NOTES:

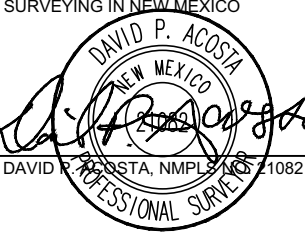
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

## LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
- - - -	PROPOSED INDEX CONTOUR
---	SLOPE TIE
+ XXXX	EXISTING SPOT ELEVATION
+ XXXX	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED 4" PVC SD
---	GRAVEL LINED SWALE
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CMU SCREEN WALL-DESIGN BY OTHERS

## SURVEYOR'S CERTIFICATE:

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO.

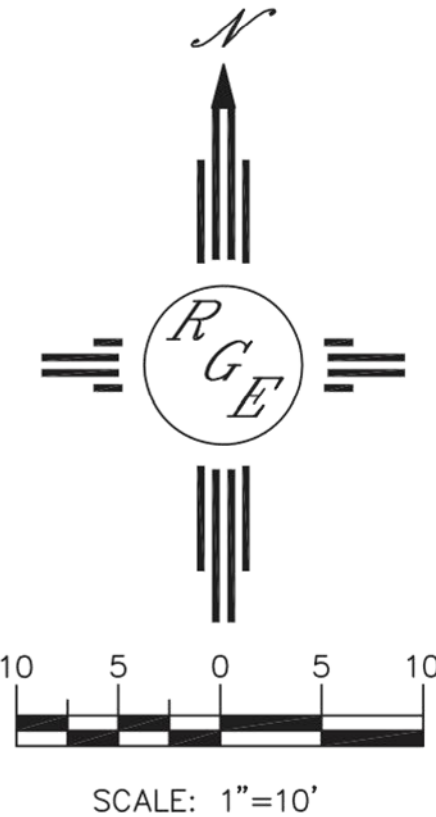


01-27-22  
DATE

## CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

REVISED  
BUILDING FOOT  
PRINT DUE TO  
ZONING  
COMMENTS



ENGINEER'S SEAL	6531 AZOR	DRAWN BY WCMJ
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	GRADING AND DRAINAGE PLAN	DATE 1-26-21
2/11/21	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0399	210210015-LAYOUT-2-10-21
DAVID SOULE P.E. #14522		SHEET # —
		JOB # 21021008