Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

February 24, 2022

Jackie McDowell, PE
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87121

RE: Lot 3 Block 4 Unit 18, S.A.D. 228
Volcano Cliffs Subdivision
6612 Papagayo St.. NW
Grading and Drainage Plan
Engineers Stamp Date 5/19/2021
Pad Cert Date: 2/21/2022 (D10D003J3)
Revised Pad Cert for Pool: 2/24/2022

Ms. McDowell,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 2/24/2022, this revised plan is approved for Building Permit. **Dirt is not allowed to climb the curb, use crusher fines or lumber for this purpose. Place this note on the plan.**

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor.

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Candelaria - TEDSTROM LOT 3 Building Permit #:_____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 3, BLOCK 4, UNIT 18, VOLCANO CLIFFS SUB'D

City Address: 6612 PAPAGAYO RD NW ALBUQUERQUE NM 87120

Applicant: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE, ALBUQUERQUE, NM 87122

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Other Contact: DIEGO CANDELARIA Contact: DIEGO CANDELARIA

Address: 1330 Crestview Dr. Los Lunas, NM 87035

Phone#: 505-480-5608 Fax#: _____ E-mail: diego@candelariahomes.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) X RESIDENCE _____ DRB SITE ___ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes _____ No I think the fee has already been paid

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
X PAD CERTIFICATION updated to move letter
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) POOL ADDED
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL Already issued, but Rudy wanted this for file
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) POOL ADDED

DATE SUBMITTED: 2-24-22 By: JACKIE MCDOWELL

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:_____

FEE PAID:_____

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

February 23, 2022

RESPONSE TO COMMENT

Jackie McDowell, PE
McDowell Engineering, Inc.
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Albuquerque, NM 87121

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Volcano Cliffs Subdivision
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Grading and Drainage Plan
Engineers Stamp Date 5/19/2021
Pad Certification Date: 2/21/2022
Rev_BP_for_ Pool, 2/22/2022 (D10D003J3)

Ms. McDowell,

PO Box 1293

Based upon the information provided in your submittal received 12/10/2021, this plan cannot be approved for pad certification until the following comments are addressed.

Albuquerque

- Provide the new land treatments for the addition of the pool, impervious area has increased. Do not cover land treatment values with pad cert language.

New land treatments have been provided. Most of the pool area replaced an area that was previously designated as covered porch, therefore the increase in impervious area was only 241 sf, or 0.005 ac.

NM 87103

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

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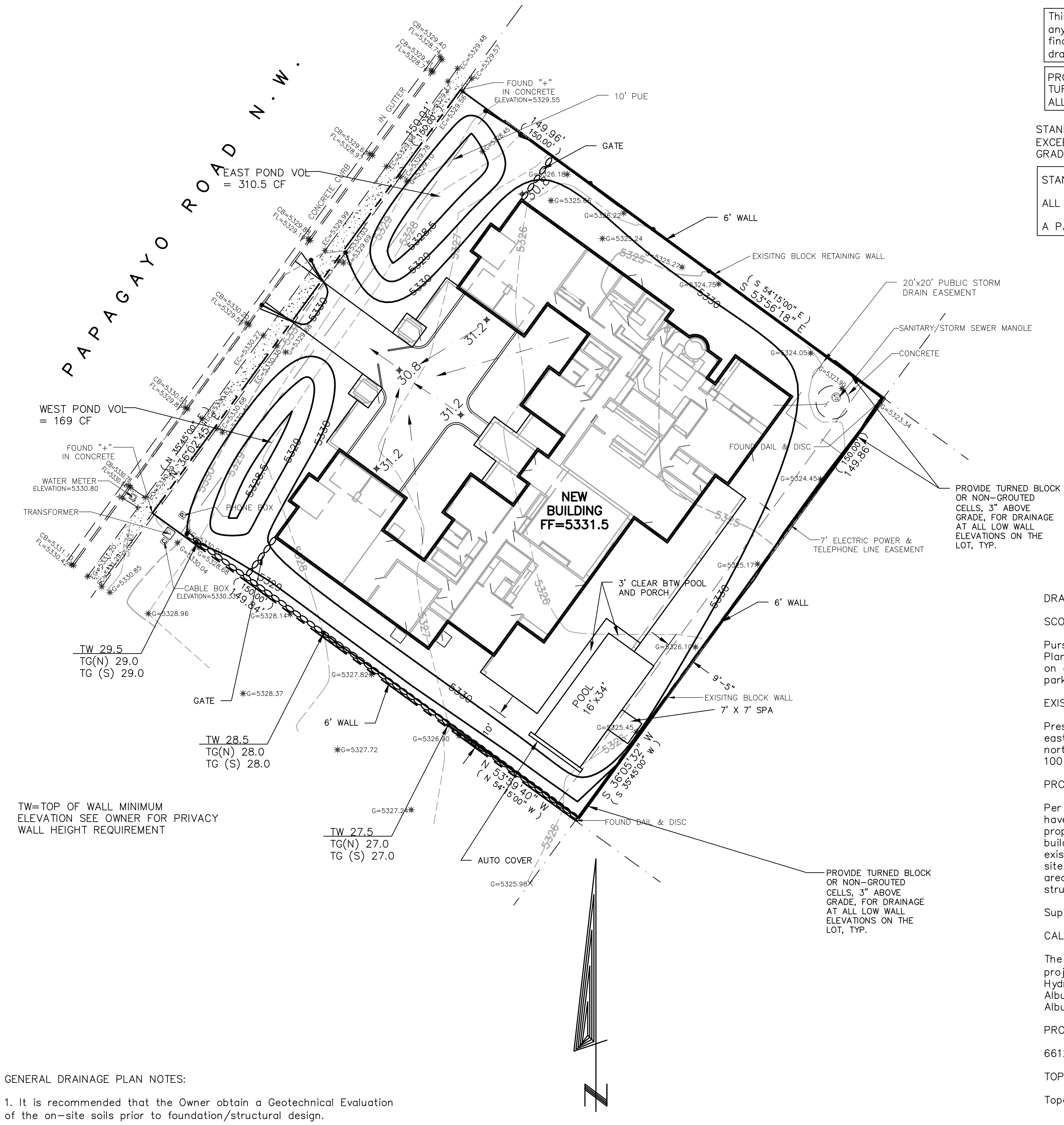
Development Review Services



TW=TOP OF WALL MINIMUM ELEVATION SEE OWNER FOR PRIVACY WALL HEIGHT REQUIREMENT

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

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PROPERTY LINE WALLS AND GARDEN WALLS SHALL HAVE TURNED BLOCKS OR WEEP HOLES FOR DRAINAGE. ALL OPENINGS IN THE WALLS SHALL BE 3" ABOVE GRADE.

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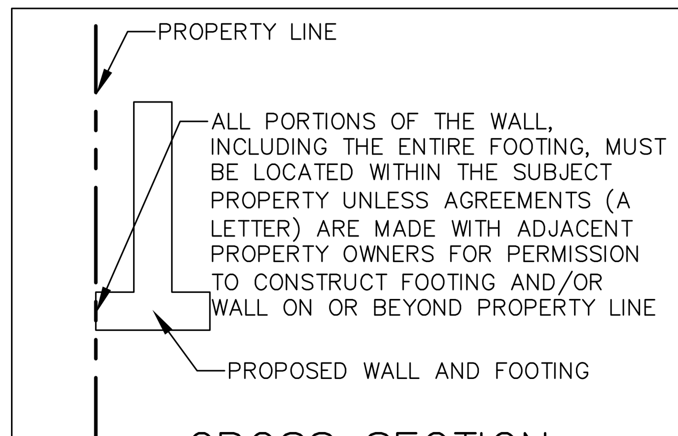
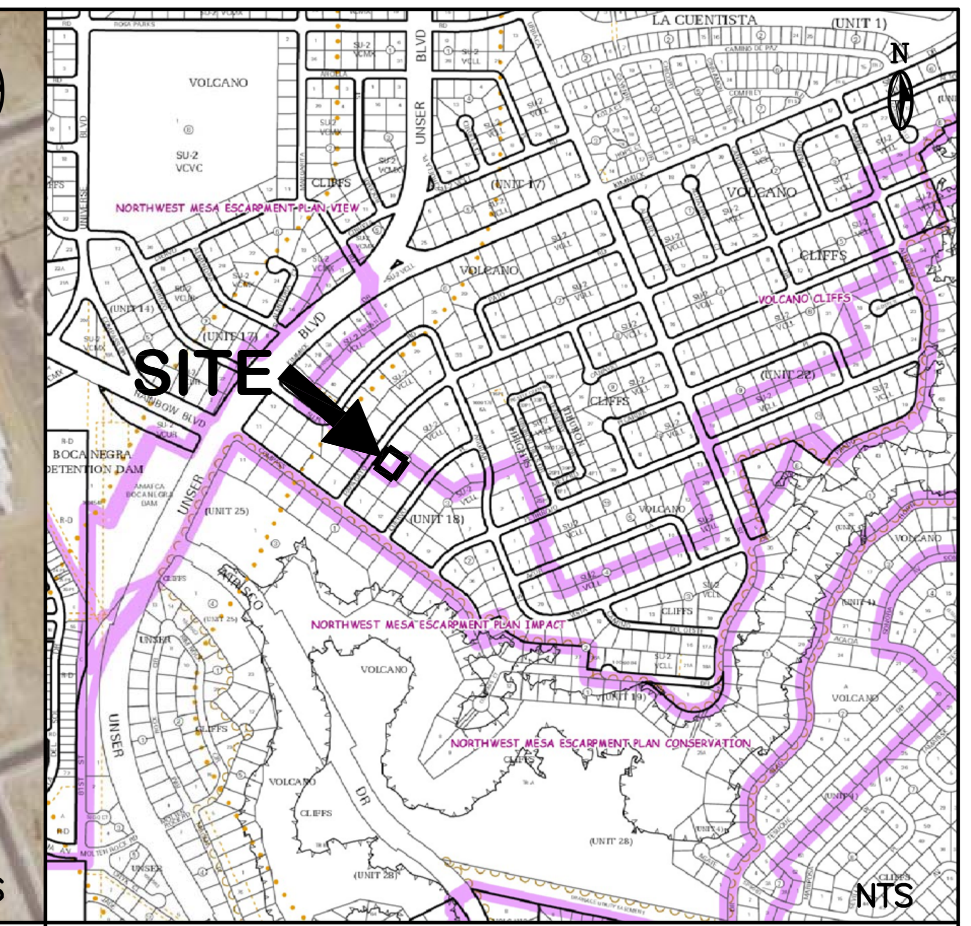


CROSS SECTION
PROPERTY LINE WALL DETAIL

FEMA FLOODWAY MAP PANEL #111G



VICINITY MAP ZONE ATLAS D-10

SURVEY GENERAL NOTES:

1: CONTOUR INTERVAL IS ONE (1) FOOT.

2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "ACS BM14-D10", HAVING AN ELEVATION OF 5322.212, NAVD 1988.

3: UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FILED AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.

4: THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.

SURVEY LEGEND

CB = CURB
EC = EDGE OF CONCRETE
FL = FLOWLINE
G = GROUND

LEGEND

	EXISTING	PROPOSED
CONTOUR	6045	6045
PROPERTY LINE		
ROAD		
SETBACK		
RETAINING WALL/WALL		
SPOT ELEVATION	×5321.78	XX.X

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 0.52 acre site is undeveloped. The site is bounded on the west, south, and east by private property, and on the north by Papagayo Rd. NW. The site slopes from the northwest to the southeast. As shown on FEMA Panel #111G, the site is not located in a 100 year flood plain.

PROPOSED CONDITIONS:

Per the SAD 227 and 228 Drainage Reports by Wilson & Company, drainage from the lots have been master planned to be intercepted by drainage features downstream of the properties. First flush ponding is required on all developments. As shown by the plan, the building is located in the center of the lot. Negligible off-site flows enter the site due to existing grades from the west and will continue to be allowed to historically flow through the site. On site flows will drain around the structure to new grades and flow to the ponding areas. All roof drainage will discharge from the roof to the lot and be directed around the structure to the drainage paths.

Supplemental calculations are shown as part of this Grading and Drainage plan.

CALCULATIONS:

The calculations shown hereon define the 100 year-6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

6612 PAPAGAYO RD NW, ALBUQUERQUE, NM 87120

TOPOGRAPHY:

Topographic information provided by Anthony Harris dated May, 2021.

GENERAL DRAINAGE PLAN NOTES:

1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.

2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.

3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.

4. This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.

5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.

6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.

7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.

8. All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.

9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.

10. Contactor shall ensure that no site soils/sediment or silt enters the righ-of-ways during construction.

11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

GRADING
5-4-21
1=20
CAN0121L

ZONE 1

P(360) = 2.20 inches
P(10 day) = 3.67 inches

Areas: (acres)	Existing	Proposed
Treatment A	0.52	0.00
Treatment B	0.00	~~0.12~~ 0.115
Treatment C	0.00	0.12
Treatment D	0.00	~~0.28~~ 0.285
Total (acres) =	0.52	0.52

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.019	0.063	0.003	0.036	0.000	0.018
Volume (cubic feet) =	831	2749 ~~2,725~~	151	1566 ~~1,548~~	0	801 ~~788~~

FIRST FLUSH REQUIRED POND VOL = 0.34"/(12"/FT)*(0.285AC * 43560 SF/AC) = ~~346~~ 352 CF

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.67	0.00	0.12	0.00	0.00	0.00
Treatment B	0.00	0.23 ~~0.24~~	0.00	0.09	0.00	0.00
Treatment C	0.00	0.34	0.00	0.18	0.00	0.06
Treatment D	0.00	1.25 ~~1.22~~	0.00	0.81	0.00	0.47
Total Q (cfs) =	0.67	1.82 ~~1.81~~	0.12	1.08	0.00	0.53

EAST POND VOLUME PROVIDED:

ELEV.	AREA	VOL. (CF)
5329	899	
		310.5
5328.5	343	

WEST POND VOLUME PROVIDED:

ELEV.	AREA	VOL. (CF)
5329	580	
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5328.5	96	
	TOTAL	479.5

JACKIE S. McDOWELL NEW MEXICO 10903 REGISTERED PROFESSIONAL ENGINEER

5-19-21

REV. 2-1-22, POOL ADDED, NO CHANGE IN IMPERVIOUS AREA OR CALCULATIONS

REV. 2-24-22, POOL ADDED, 241 SF CHANGE IN IMPERVIOUS AREA, CALCULATIONS UPDATED

ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on May 10, 2021 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

6612 PAPAGAYO RD NW ALBUQUERQUE NM 87120

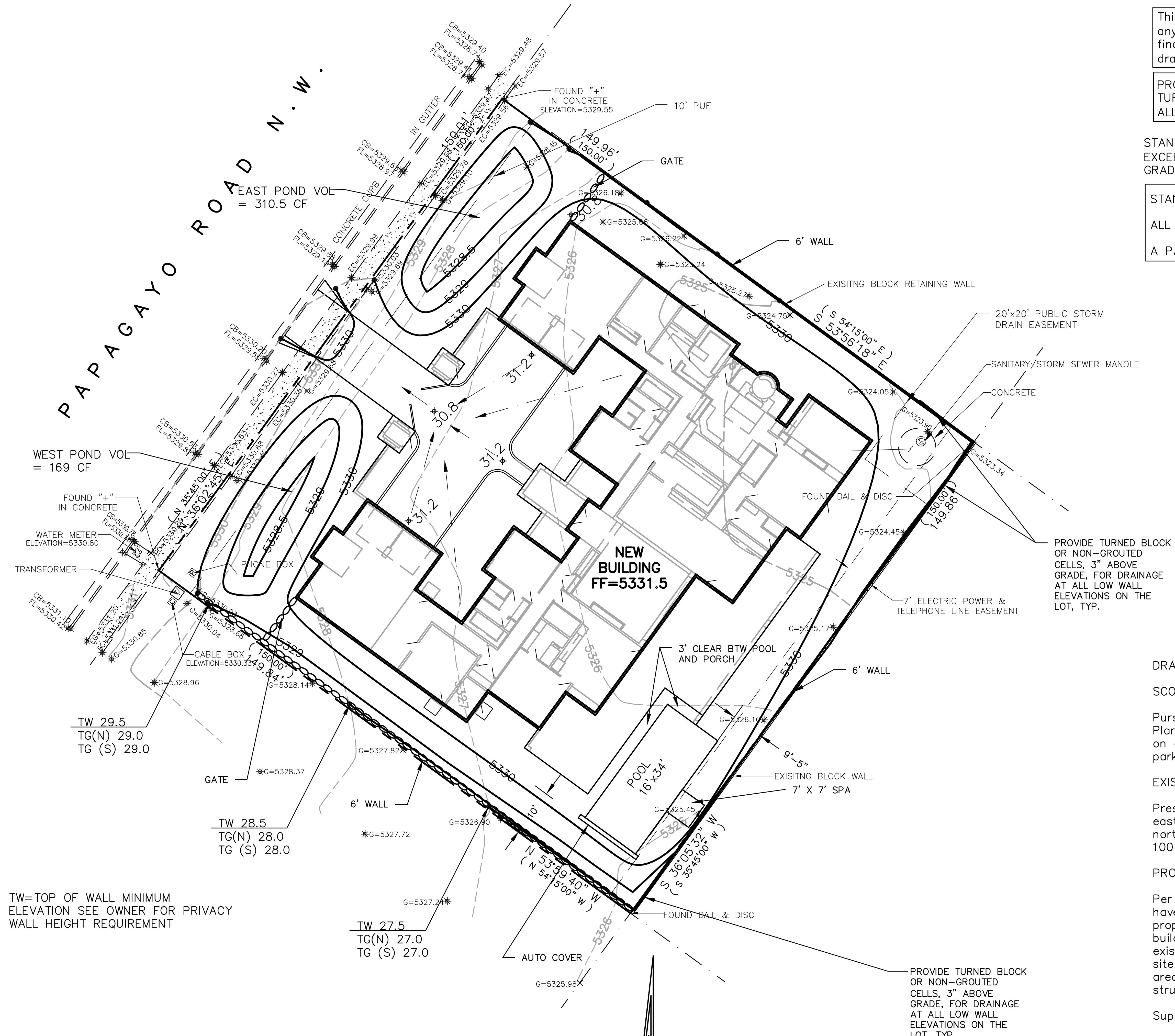
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

LOT 3, BLOCK 4, UNIT 18
VOLCANO CLIFFS SUBDIVISION

CANDELARIA HOMES (TEDSTROM) – G & D PLAN

McDowell Engineering, Inc.
7820 BEVERLY HILLS AVE. NE • ALBUQUERQUE, NM 87122
TELE: 505-828-2430 • FAX: 505-821-4857

Designed	Drawn	Checked	Sheet	of
JSM	STAFF	JSM	1	1
File CAN0121L	Date MAY,2021			



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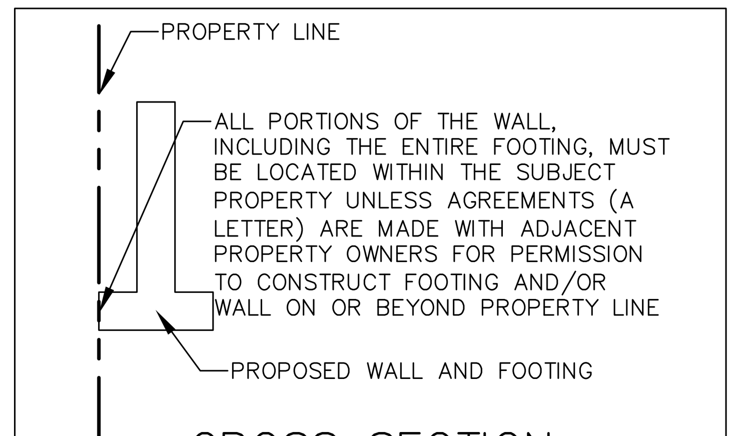

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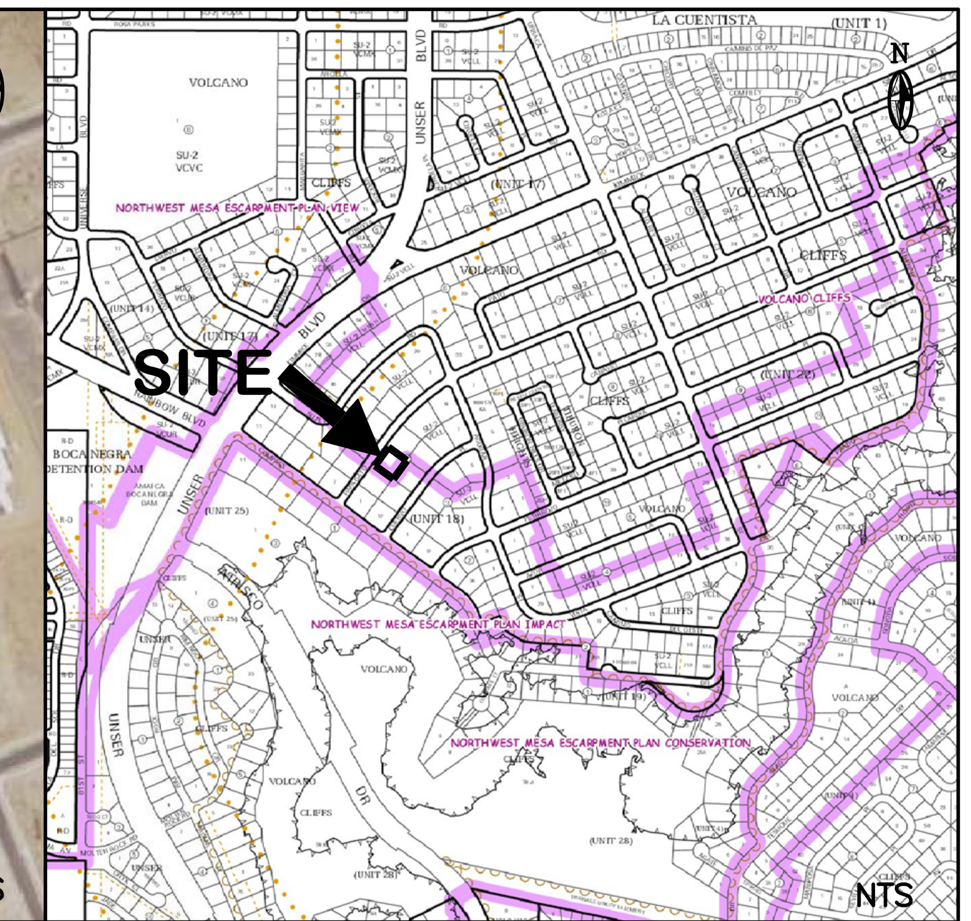

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Topographic information provided by Anthony Harris dated May, 2021.

HARRIS SURVEYING
1308 Cielo Vista Del Sur N.W.
Corrales, NM 87048
Phone (505) 889-8056

February 21, 2022

Diego Candelaria
Candelaria Custom Homes

Re: Pad Certification for: 6612 Papagayo N.W.

Dear: Mr. Candelaria

Below are the results of Harris Surveying Inc. field verifying the Finished Pad Elevation for: 6612 Papagayo N.W.

The Elevation based on the Grading and Drainage plan is: 5331.5 feet and the measured elevation is: 5331.39 feet.

If there are any questions, please contact me at my office.

Sincerely,

Anthony Harris
Harris Surveying Inc.
NMPS No. 11463

2-21-22 PAD CERTIFICATION - PAD IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED G&D PLAN

5-19-21
REV. 2-1-22, POOL ADDED, NO CHANGE IN IMPERVIOUS AREA OR CALCULATIONS
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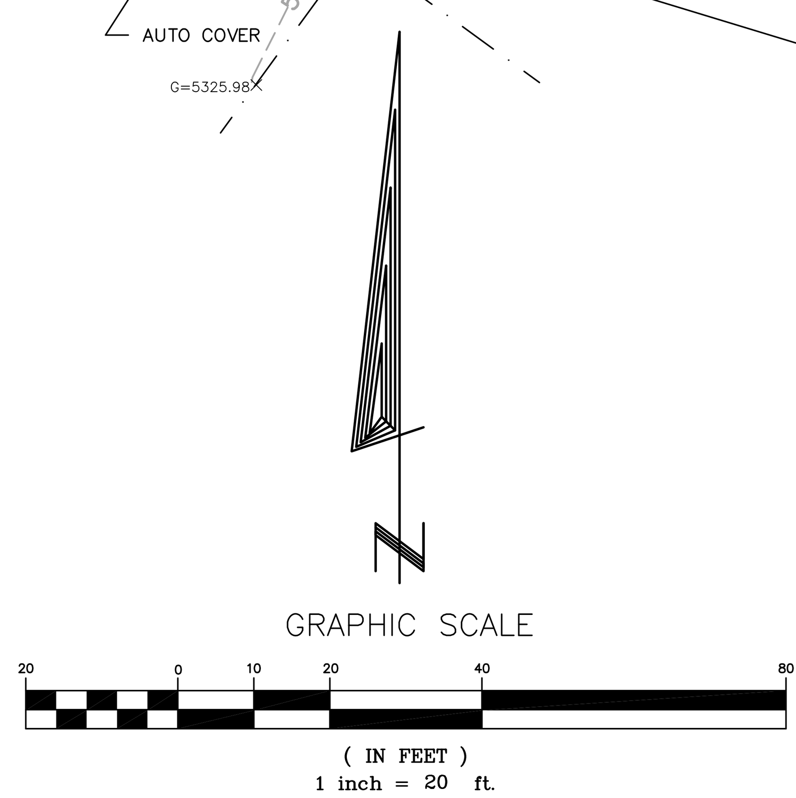

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6612 PAPAGAYO RD NW ALBUQUERQUE NM 87120

CITY OF ALBUQUERQUE, BERNALILLO COUNTY — NEW MEXICO

LOT 3, BLOCK 4, UNIT 18 VOLCANO CLIFFS SUBDIVISION

CANDELARIA HOMES (TEDSTROM) - G & D PLAN

McDowell Engineering, Inc.
7820 BEVERLY HILLS AVE. NE • ALBUQUERQUE, NM 87122
TELE: 505-828-2430 • FAX: 505-821-4857

Designed	Drawn	Checked	Sheet	of
JSM	STAFF	JSM	1	1

File: CAN0121L — Date: MAY,2021