

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 29, 2023

Robert Fierro, P.E.  
Fierro & Company  
6300 Montano RD. NW  
Albuquerque NM, 87104

RE: **Lot 21 Block 6 Volcano Cliffs Unit 18  
6604 Papagayo Rd NW SAD 228  
Grading and Drainage Plan  
Engineers Stamp Date 5/23/2023 (D10D003J5)  
Pad Certification Date 8/24/2023**

Mr. Fierro,

Based upon the information provided in your submittal received 8/28/2023, this plan cannot be approved for Building Permit until the following comment is addressed.

PO Box 1293

- The dirt ramp in the street and sidewalk must be removed and swept so as not to fill the pond for this area.

Albuquerque

**Once again, advise the owner contractor not to use dirt as a ramp to climb the curb, use lumber or crusher fines for this purpose.**

NM 87103

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification. Also, if a swimming pool is to be placed, the grading and drainage plan will need to be changed and resubmitted.

www.cabq.gov

**Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist is required.**

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Tiequan Chen, P.E.  
Principal Engineer, Hydrology  
Planning Department, Development Review Services

RR/TC  
File D10D003J5



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

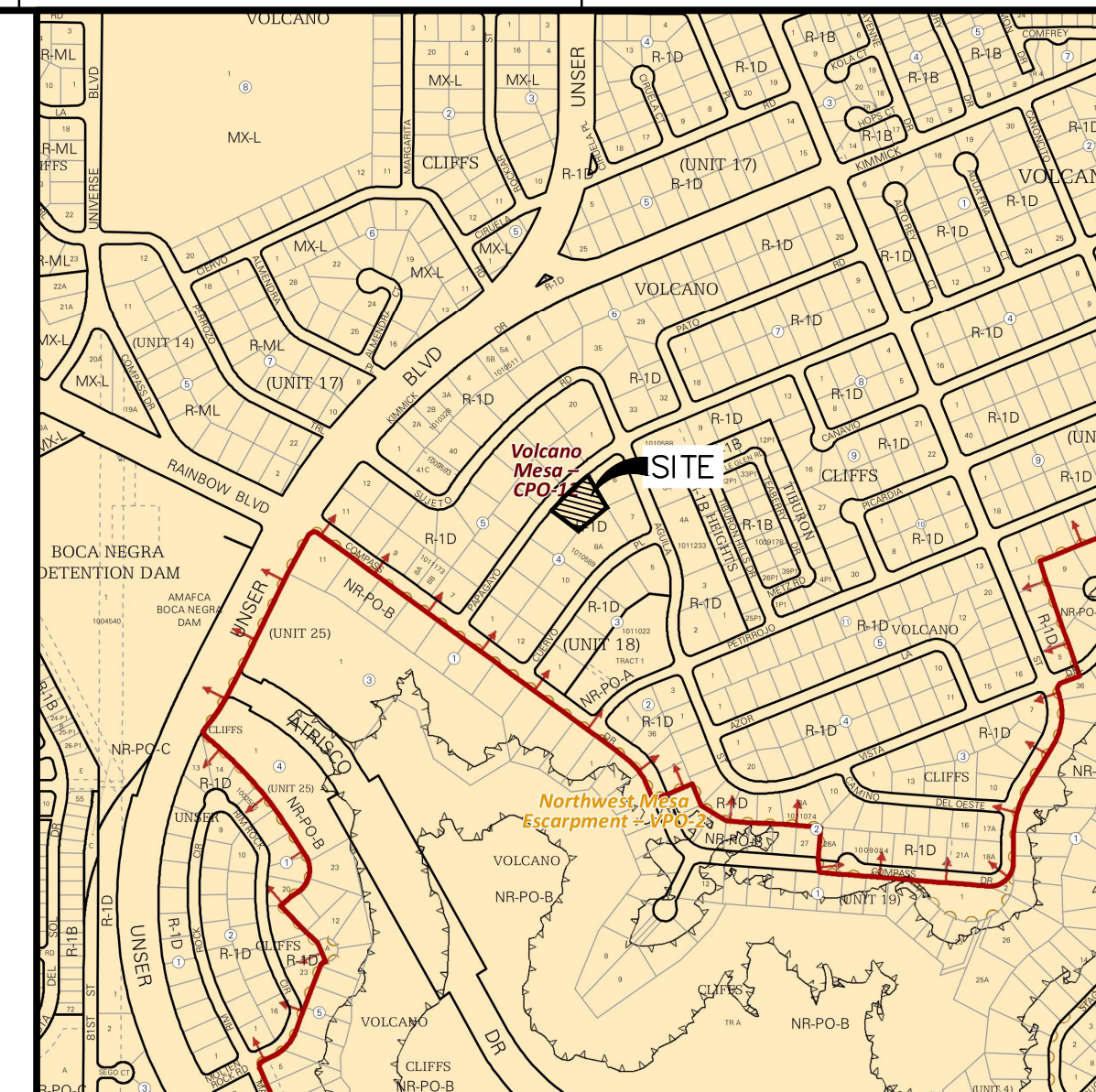
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME, NMPS 22909. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AUGUST 22, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION.

Robert J. Fierro, NMPE 20585 (SEAL)



LOCATION MAP  
ZONE ATLAS MAP: D-10-Z

NOTE:  
RETAINING WALL BY SEPARATE PERMIT  
AND STRUCTURAL DESIGN BY OTHERS.

SECTION A-A (TYPICAL RETAINING WALL NOMENCLATURE)

SCALE: 1" = 1

GENERAL GRADING NOTES:

1. THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
3. THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
4. PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF CITY OF ALBUQUERQUE, NEW MEXICO.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
7. CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
8. SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
9. THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
10. THE CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE 1 FEET IN STREETS OR NEAR CURB.

## PROJECT INFORMATION

## BENCHMARK

BENCHMARK  
CITY OF ALBUQUERQUE SURVEY MONUMENT: ACS BM, S21\_22\_28\_27\_11N\_2E  
NORTHING: 1513840.436 (NM SPC, CENTRAL ZONE, NAD 1983)  
EASTING: 1497658.102 (NM SPC, CENTRAL ZONE, NAD 1983)  
ELEVATION: 5330.151' (NAVD 1988, U.S. SURVEY FOOT)

## DESCRIPTION

LOT 5-A BLOCK 4 PLAT OF LOTS 5-A & 6-A, BLOCK 4 UNIT 18 VOLCANO CLIFFS SUBDIVISION

## FLOOD NOTE:

THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER, 26 2008, MAP NO. 35001C0111G.

## SURVEYOR INFORMATION

TOPOGRAPHIC SURVEY PERFORMED MAY 2023.

## LEGEND

- |            |                                  |
|------------|----------------------------------|
| ---        | APPARENT PROPERTY BOUNDARY       |
| ---        | APPARENT ADJOINING PROPERTY LINE |
| ●          | PROPERTY CORNER                  |
| ○          | APPARENT PROPERTY CORNER         |
| ▲          | ROOF FLOW DIRECTION              |
| ---3905--- | EXISTING MAJOR CONTOUR           |
| ---3904--- | EXISTING MINOR CONTOUR           |
| ---3905--- | PROPOSED MAJOR CONTOUR           |
| ---3904--- | PROPOSED MINOR CONTOUR           |
| =====      | POND CONTOUR                     |
| ×-26.29    | FINISHED GRADE                   |
| T.W.       | TOP OF WALL                      |
| B.W.       | BOTTOM OF WALL                   |
| =====      | NEW WALL                         |

PROJECT NAME

[illegible]

PROJECT NO:	23029
DESIGNED BY:	RJP
DRAWN BY:	JE
CHECKED BY:	RJP
DATE:	MAY 2023
SHEET TITLE	

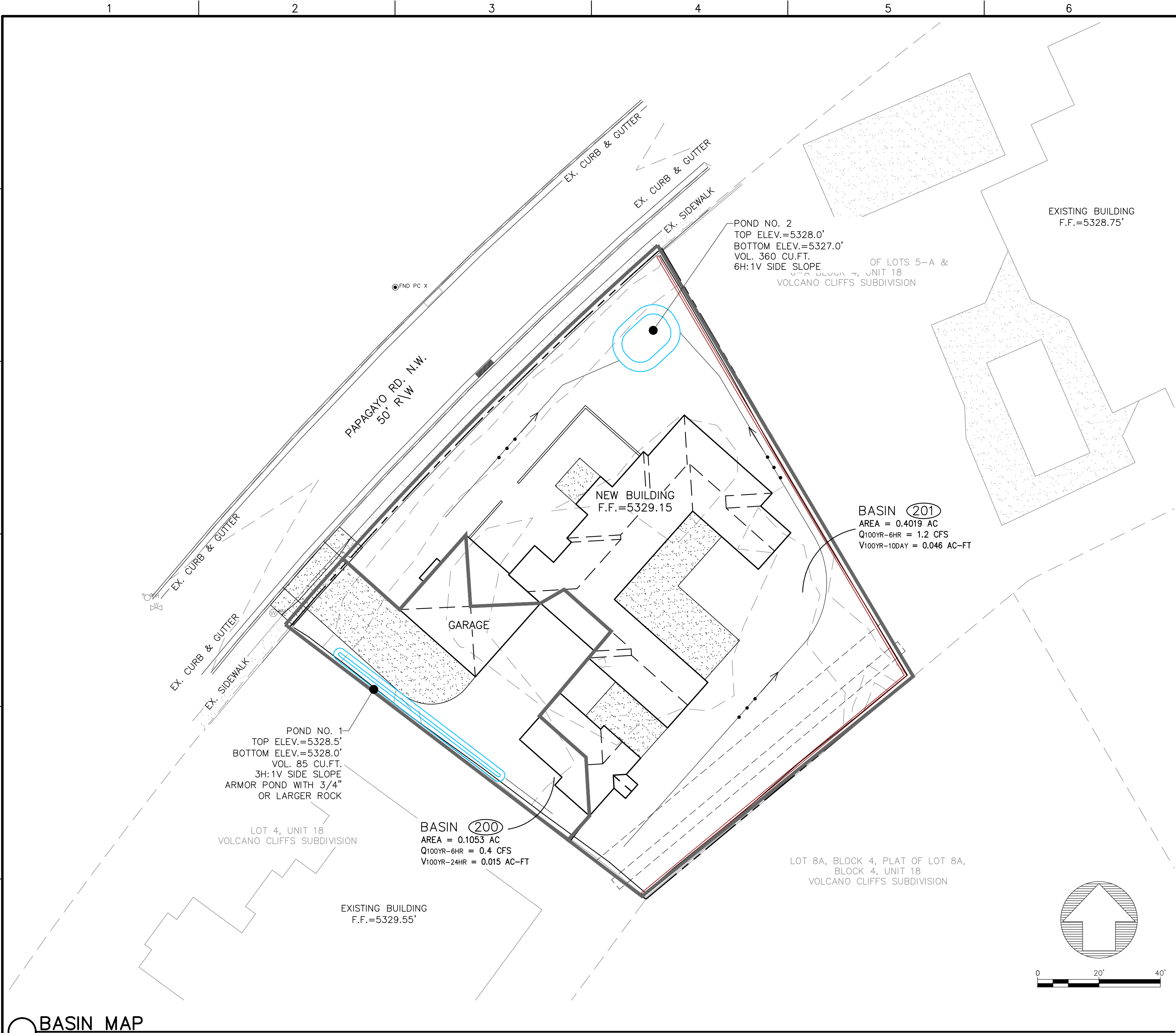
## GRADING PLAN

SHEET NO: C-1

C:\2023\23029\CADD\SHEETS\PLANS\HYDROLOGY\23029-GRADING.dwg, 5/24/2023 9:36:04 PM



P:\2023\23029\CADD\23029-DRAINAGE.dwg 5/24/2023 9:37:21 PM



BASIN MAP

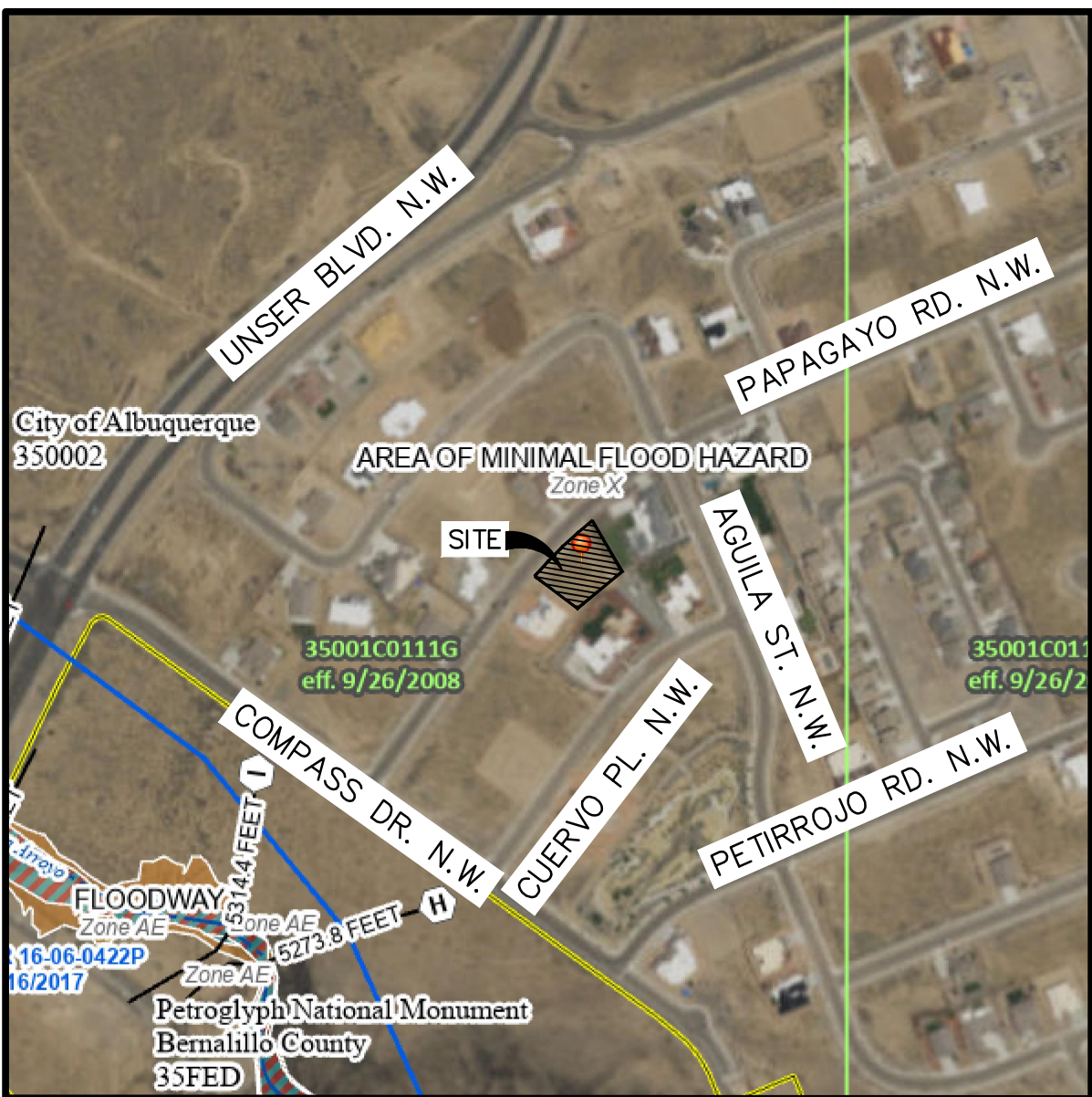
HYDROLOGY SUMMARY									
BASIN	Total Area (acres)	Land Treatment (%)				Weighted E	Q <sub>100</sub> (cfs)	V <sub>100yr-24hr</sub> (ac-ft)	SWQV
		A	B	C	D				
200	0.1053	0.0	20.0	32.0	48.0	1.526	0.4	0.015	77
201	0.4019	0.0	20.0	50.1	29.9	1.291	1.2	0.046	183
ALLOWABLE	0.5072	0.0	20.0	46.0	34.0	1.345	1.6	0.061	2676

HYDROLOGY SUMMARY

POND NO. 1					
Stage Storage Rating Curve					
Elevations (ft)	Area (sq ft)	(ac)	Volume (ac-ft)	Cumulative Vol. (ac-ft)	Cumulative Vol. cu.ft.
5328	65	0.001	0	0.000	0
5328.5	273	0.006	0.002	0.002	65

POND NO. 2					
Stage Storage Rating Curve					
Elevations (ft)	Area (sq ft)	(ac)	Volume (ac-ft)	Cumulative Vol. (ac-ft)	Cumulative Vol. cu.ft.
5327	173	0.004	0	0.000	0
5327.5	345	0.008	0.003	0.003	130
5328	675	0.013	0.005	0.008	360

STAGE-STORAGE TABLE



FLOOD INSURANCE RATE MAP  
MAP NO. 35001C0111G  
EFFECTIVE DATE: 09/26/2008

**Introduction**  
The site is located at 6604 PAPAGAYO ROAD N.W. THE PROPERTY IS VACANT AND A 3,500 SQ.FT. CUSTOM HOME IS PROPOSED. THE PURPOSE OF THIS GRADING & DRAINAGE PLAN IS TO 1) PROVIDE HYDROLOGIC AND HYDRAULIC ANALYSIS OF THE PROPOSED CONDITION, 2) SATISFY ALLOWABLE STORMWATER DISCHARGE RATES, AND 4) SEEK APPROVAL FOR BUILDING PERMIT.

**METHODOLOGY**  
HYDROLOGIC PROCEDURES PRESENTED IN THE HYDROLOGY SECTION OF THE DMP, ARTICLE 6-2(A), APPROVED JUNE 8, 2020 WERE FOLLOWED. PRECIPITATION ZONE 1 DATA WAS USED IN THE HYDROLOGIC COMPUTATIONS.

**EXISTING CONDITION**  
THE VACANT PROPERTY IS 0.5 ACRES. THE ADJOINING LOTS ARE DEVELOPED WITH CUSTOM HOMES. THE SITE DOES NOT RECEIVE OFFSITE RUNOFF FROM THE ADJOINING LOTS. THERE IS A 20-FOOT WIDE DRAINAGE EASEMENT ALONG THE REAR PROPERTY LINE. A 42-INCH RCP PIPE IS CENTERED IN THIS EASEMENT. THE LOT IS LOWER THAN THE ROAD; THEREFORE, RUNOFF PUDDLES AT THE REAR OF THE PROPERTY.

**PROPOSED CONDITION**  
A CUSTOM HOME WITH A FOOTPRINT OF APPROXIMATELY 3,500 SQ.FT. IS PROPOSED. THIS SITE IS ALLOWED 34% LAND TREATMENT "D" AS OUTLINED IN THE SAD 228 DRAINAGE REPORT. THE PROPOSED LAND TREATMENT IS 33.6% WHICH IS LESS THAN THE ALLOWABLE. THEREFORE, THE PROPOSED SITE IS ONLY RESPONSIBLE FOR STORING THE STORM WATER QUALITY VOLUME. TWO PONDS ARE PROPOSED TO STORE THE STORM WATER QUALITY VOLUME. RUNOFF VOLUME IN EXCESS OF THE 90 PERCENTILE STORM WILL OVERFLOW TO PAPAGAYO ROAD.

DRAINAGE NARRATIVE

LEGEND

- PROPERTY BOUNDARY
- FLOW PATH
- ROOF FLOW
- SURFACE DRAINAGE
- UTILITY EASEMENT LINE
- FLOWLINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED BASIN

**Fierro & Company**  
ENGINEERING | SURVEYING  
3201 4TH STREET NW, SUITE C  
ALBUQUERQUE, NEW MEXICO 87107  
PH (505) 352-8930  
www.fierrocompany.com



ENGINEER'S SEAL

ARAGON RESIDENCE  
6604 PAPAGAYO RD N.W.  
ALBUQUERQUE, NM 87120

PROJECT NAME

REV.	DATE	DESCRIPTION	BY

PROJECT NO: 23029  
DESIGNED BY: RJF  
DRAWN BY: JB  
CHECKED BY: RJF  
DATE: MAY 2023

SHEET TITLE

DRAINAGE  
PLAN

SHEET NO:

D-1