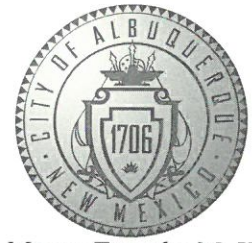


# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

May 9, 2019

Reza Afaghpour, PE  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: Lot 15 Block 5 Volcano Cliffs Subd. SAD 228  
6636 Sujeto Rd NW  
Grading & Drainage Plan  
Engineer's Stamp dated: 4-28-19 (D10D003K15)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 5/8/2019, this plan is approved for Grading Permit.

PO Box 1293

**Prior to Building permit approval a Pad Certification will be required, provided by the Engineer or a registered Land Surveyor. Also, provide a note on the plans stating that a separate permit is required for a garden wall/retaining wall.**

Albuquerque

Please inform the builder/owner to attach a copy of this approved plan and letter to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained with the approved G&D plan and Pad Certification.

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3698.

Sincerely,

James D. Hughes, P.E.  
Principal Engineer  
Planning Department

RR/JDH  
C: file D10D003K15

**Location**  
Lot 15, Block 5, Volcano Cliffs Subdivision, Unit 18 is located at 6636 Sujeto Rd., NW containing 0.6910 acre. See attached portion of Vicinity Map E-10-Z for exact location.

**Purpose**  
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for Lot 15.

**Existing Drainage Conditions**  
This site falls within Master Drainage Plan for SAD 228. This lot drains north. No offsite runoff enters this site. There are existing block walls along west and east.

**Proposed Conditions and On-Site Drainage Management Plan**  
This site is to maintain existing pattern drain to the north per master drainage plan. We are ponding the water harvest volume generated by this site, this plan has shallow water harvesting pond in excess of drainage regulation.

FLOW, 1ST FLUSH, 100 YR/10-DAY VOLUME CALCULATIONS

$E = EA(AA) + EB(AB) + EC(AC) + ED(AD)$   
 $AA + AB + AC + AD$

$V-360 = E(AA + AB + AC + AD)$

$Q-360 = QA(AA) + QB(AB) + QC(AC) + QD(AD)$

$V-10 \text{ Day} = V-360 + AD(P-10 \text{ Day} - P-360) / 12 \text{ in/ft}$

$EA = 0.44 QA + 1.29 EB + 0.67 QB + 2.03 EC + 0.99 QC + 2.87 ED + 1.97 QD = 4.37$

**DRAINAGE BASIN:**  
LOT 15 AREA = 30,097.89 (SF) = 0.6910 (AC)

LAND TREATMENT:	
ALLOWABLE PER SAD 228	ROPOSED LOT 15
AA = 0.00%	0.00%
AB = 10.00%	35.00%
AC = 40.00%	35.00%
AD = 50.00%	30.00%

100 YEAR, 6-HR.													
BASIN	AREA (SF)	AREA (AC)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acre)	%	(acre)	%	(acre)	%	(acre)			
ALLOWED	30,097.89	0.6910	0%	0.00	10%	0.0691	40%	0.2764	50%	0.3455	1.4480	0.083	2.44
PROPOSED	30,097.89	0.6910	0%	0.00	35%	0.2419	35%	0.2419	30%	0.2073	1.1720	0.0675	2.09

PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)

VOLUME REQUIRED = 0.34 INCHES x IMPERVIOUS AREA =  
(0.34/12 x 7,900.00) = 223.83 CF

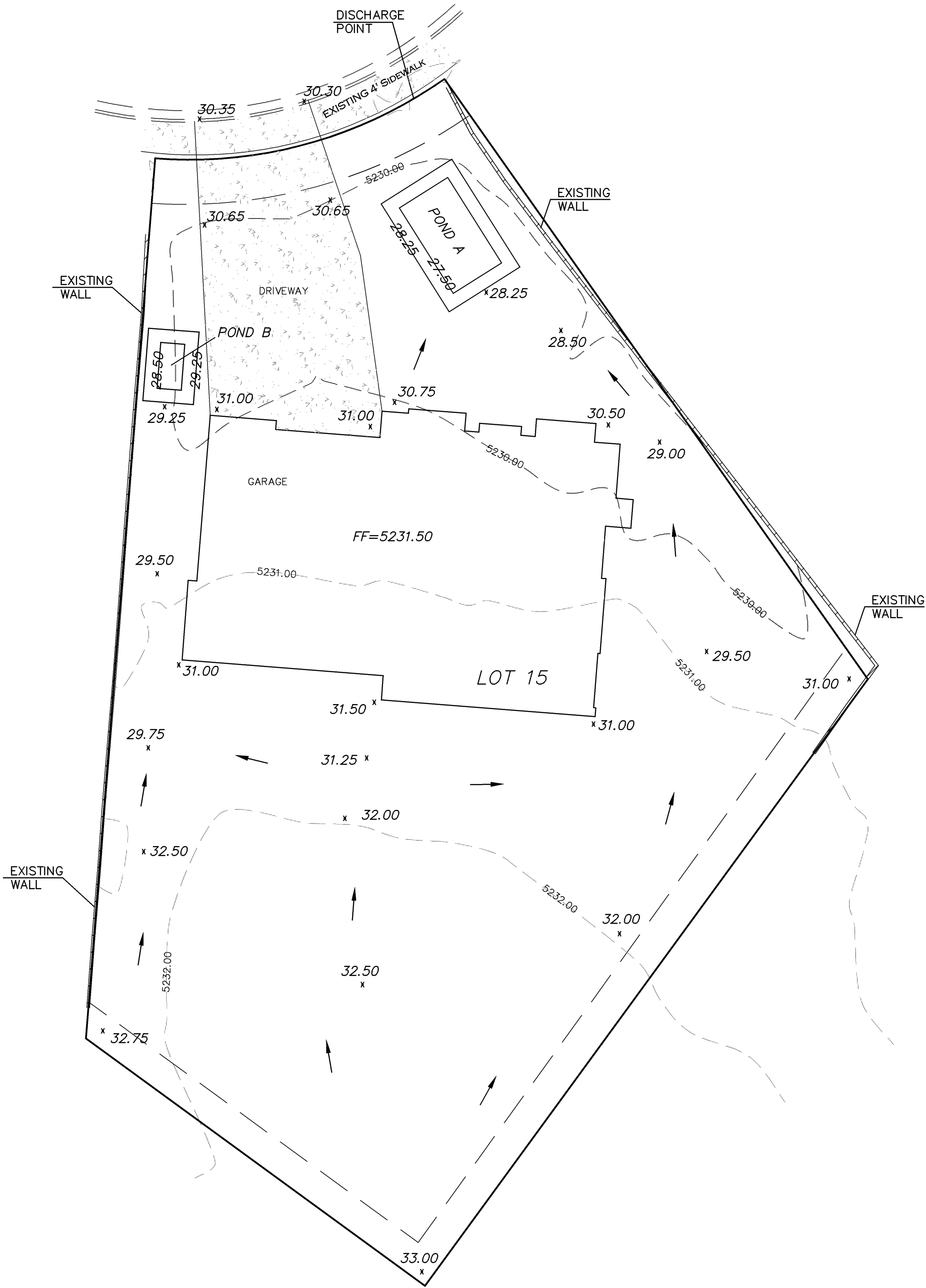
PONDING VOLUME CALCULATION

TOTAL POND AREA PROVIDED =  
PONDING CALCULATIONS:

POND A:  
AREA @ ELEV. 28.25 = 564.33 SF  
AREA @ ELEV. 27.50 = 395.55 SF  
POND VOLUME=(564.33+395.55)/2\*0.75=359.94 CF

POND B:  
AREA @ ELEV. 29.25 = 188.37 SF  
AREA @ ELEV. 28.50 = 57.00 SF  
POND VOLUME=(188.37+57.00)/2\*0.75=92.01 CF

TOTAL PONDING VOLUME PROVIDED = 451.96 CF

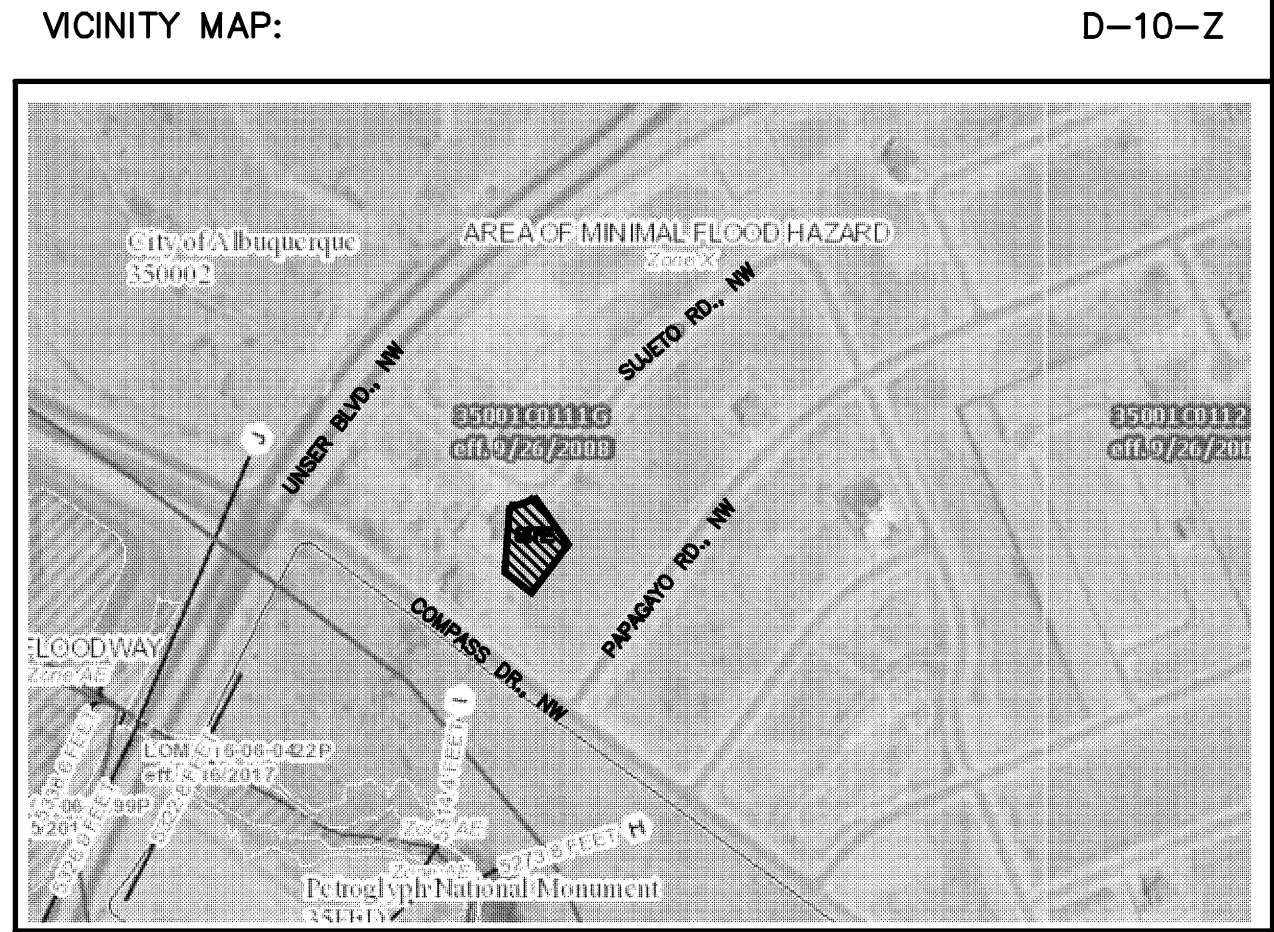
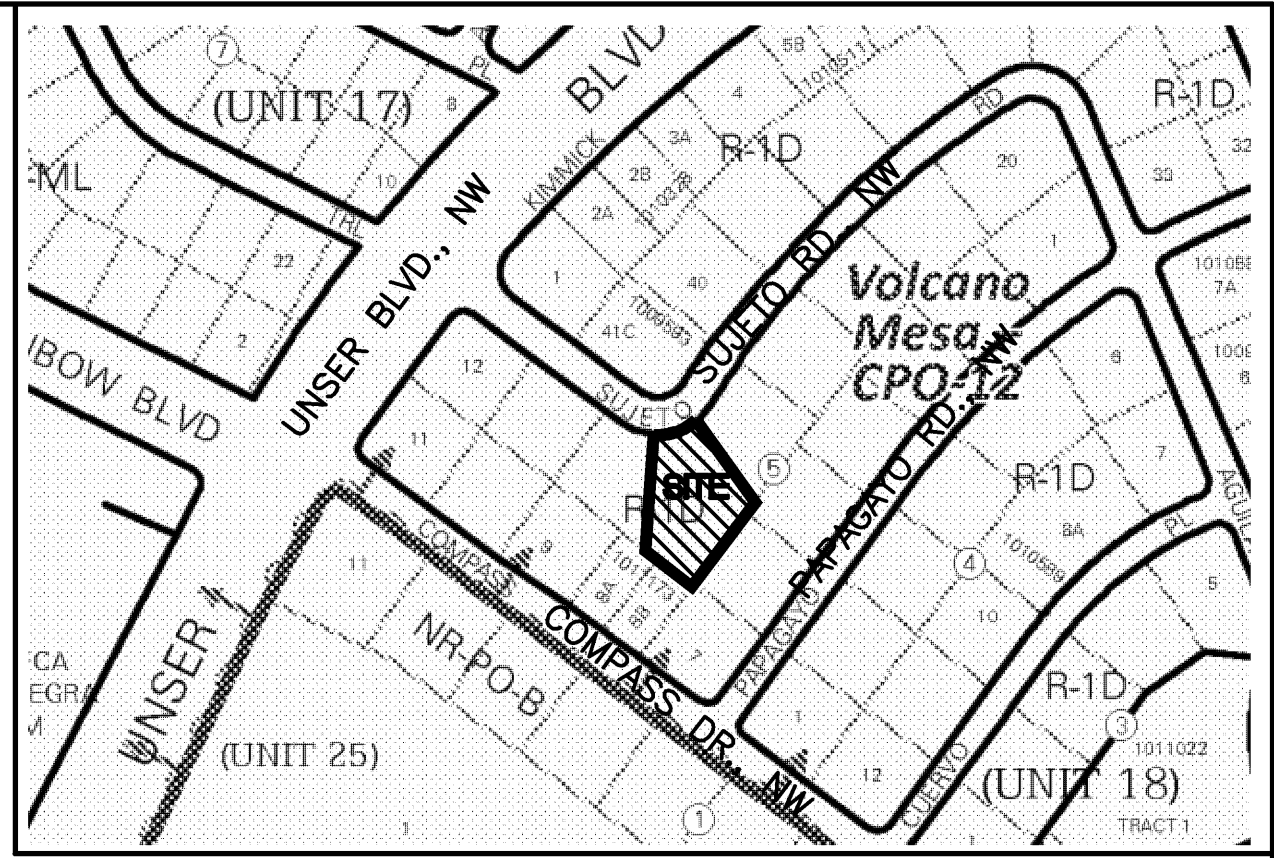


- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 280-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GENERAL NOTES:**
1. CONTOUR INTERVAL IS HALF (1.00) FOOT.
  2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 17\_D10, HAVING AN ELEVATION OF 5325.068 FEET ABOVE SEA LEVEL.
  3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  5. SLOPES ARE AT 3:1 MAXIMUM.
  6. ADD 5200 TO ALL PROPOSED SPOT ELEVATIONS.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

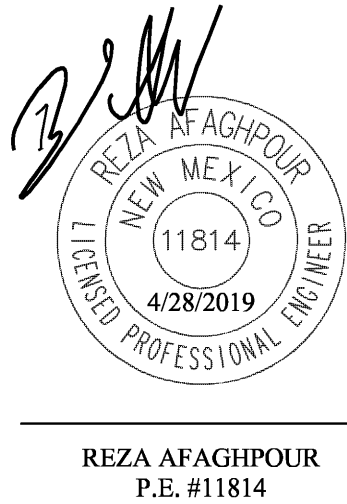
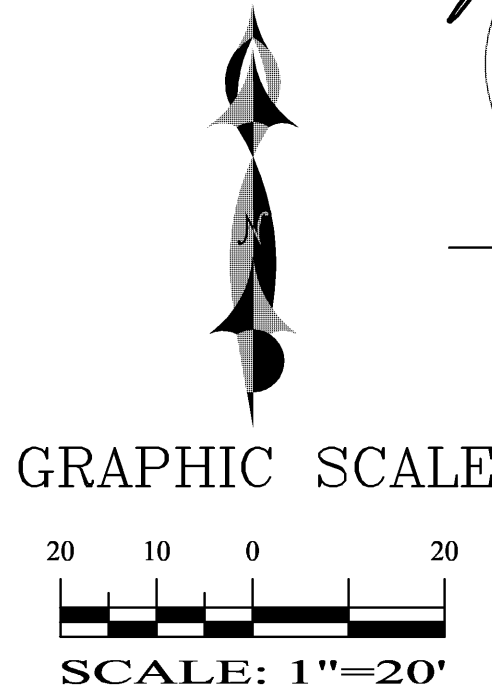
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



**LEGAL DESCRIPTION:**  
Lots 15, Block 5, Volcano Cliffs Subdivision, Unit 18

ADDRESS: 6636 SUJETO RD., NW

LEGEND	
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
x 28.50	PROPOSED SPOT ELEVATION
x 5029.16	EXISTING GRADE
x 5075.65 FL	EXISTING FLOWLINE ELEVATION
█	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TF=28.50	TOP OF FOOTING
TRW=28.00	TOP OF RETAINING WALL
HP	HIGH POINT
86.65	AS-BUILT GRADES
x 5325.64	AS-BUILT SPOT ELEVATIONS



**SBS CONSTRUCTION AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013

Lots 15, Block 5, Volcano Cliffs Subdivision, Unit 18  
6636 Sujeto Road, NW  
GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201912-GD.DWG	SH-B	4-28-19	1

LAST REVISION: 4-28-2019



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 6636 SUJETO ROAD., NW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 18, BLOCK 38, VOLCANO CLIFF, UNIT 18  
**City Address:** 6636 SUJETO ROAD, NW

**Applicant:** SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR  
**Address:** 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
**Phone#:** (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☒ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 4-22-2019 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_