

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

4/21/2025

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 14 Block 7 Volcano Cliffs Unit 18 SAD 228
6515 Papagayo NW
Grading and Drainage Plan Revised for Pool
Engineers Stamp Date 12/23/2023 (D10D003L18)
Pad Certification Date 12/26/2023
Revised Building permit Date 4/18/2025**

Mr. Soule,

Based upon the information provided in your submittal received 4/21/2025, this revised plan to accept a swimming pool is approved for building permit.

PO Box 1293

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Albuquerque

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan and Pad Certification. Advise the owner & Contractor that dirt is not allowed in the public right of way to climb the curb. Crusher fines or lumber is allowed. If dirt is used this will delay going forward with the construction of the home.

NM 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services

RR/TC
File D10D003L18

Weighted E Method

Basin	Area		Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		24 hour	10-DAY	
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)	(ac-ft)
ALLOWED	14528.00	0.334	0%	0	20%	0.067	46%	0.1534	34%	0.113	1.345	0.037	1.05	0.045	0.054
DRAIN TO STREET	11672.00	0.268	0%	0	20%	0.054	22%	0.0589	58%	0.155	1.654	0.037	0.93	0.047	0.059
DRAIN TO REAR** COMPARISON	2856.00	0.066	16%	0.01	20%	0.013	29%	0.019	35%	0.023	1.294	0.007	0.19	0.009	0.010

** included pool decking, utilizing pool water surface/holding area as treatment A

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.55	Qa= 1.54
Eb= 0.73	Qb= 2.16
Ec= 0.95	Qc= 2.87
Ed= 2.24	Qd= 4.12

ONSITE CONDITIONS

DRAINAGE SUMMARY

	REQUIRED (CF)	PROVIDED (CF)
DRAIN TO STREET	103	131
RETAIN IN REAR	452 10-DAY	466
Narrative		

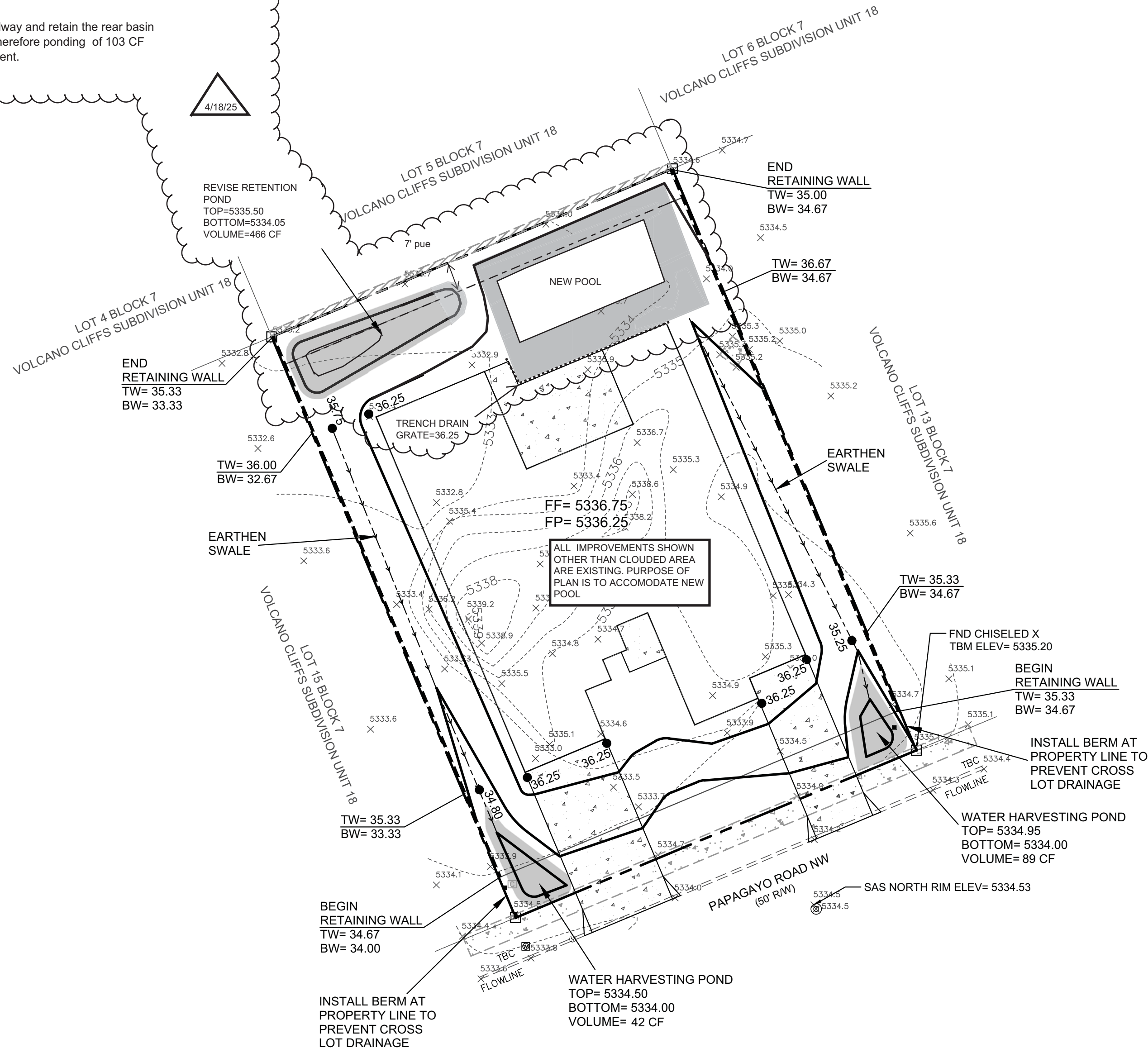
This site is within the SAD 228 Master Drainage plan boundaries. The site shall drain the developed water do the roadway and retain the rear basin in conformance to the master drainage plan. The site does exceed the SAD 228 developed conditions assumptions, therefore ponding of 103 CF is required. Due to the rear not being able to drain, the yard will retain the entire 452 cf generated during a 100 year event.

**City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED**

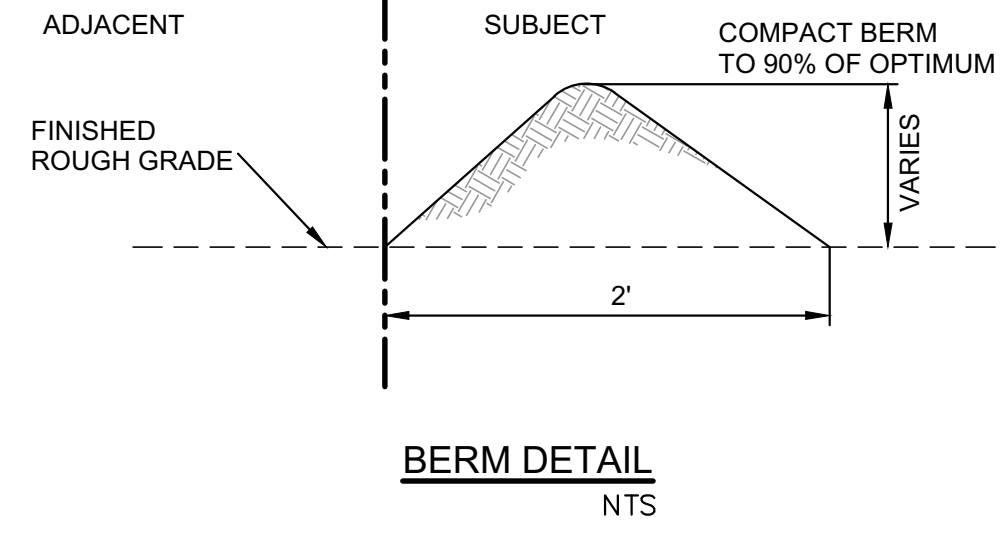
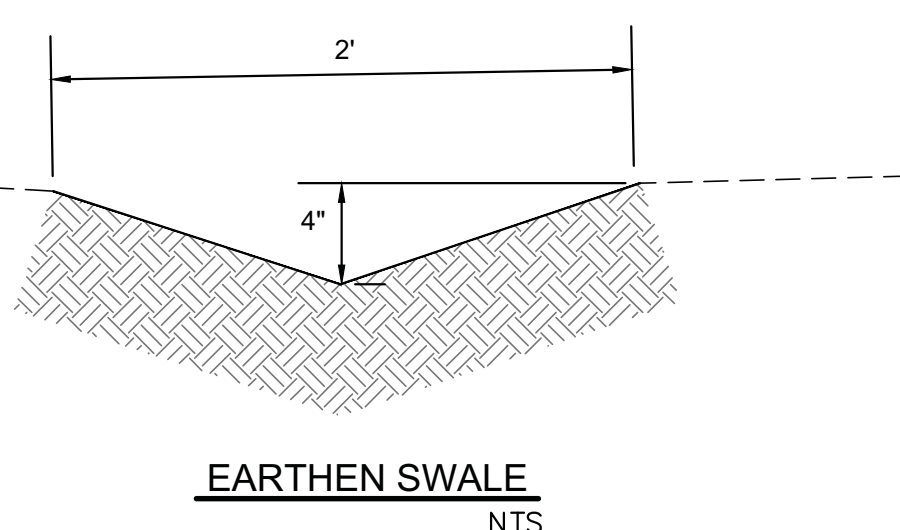
DATE: 4/21/2025
BY: *[Signature]*
HydroTrans # D10D003L18

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



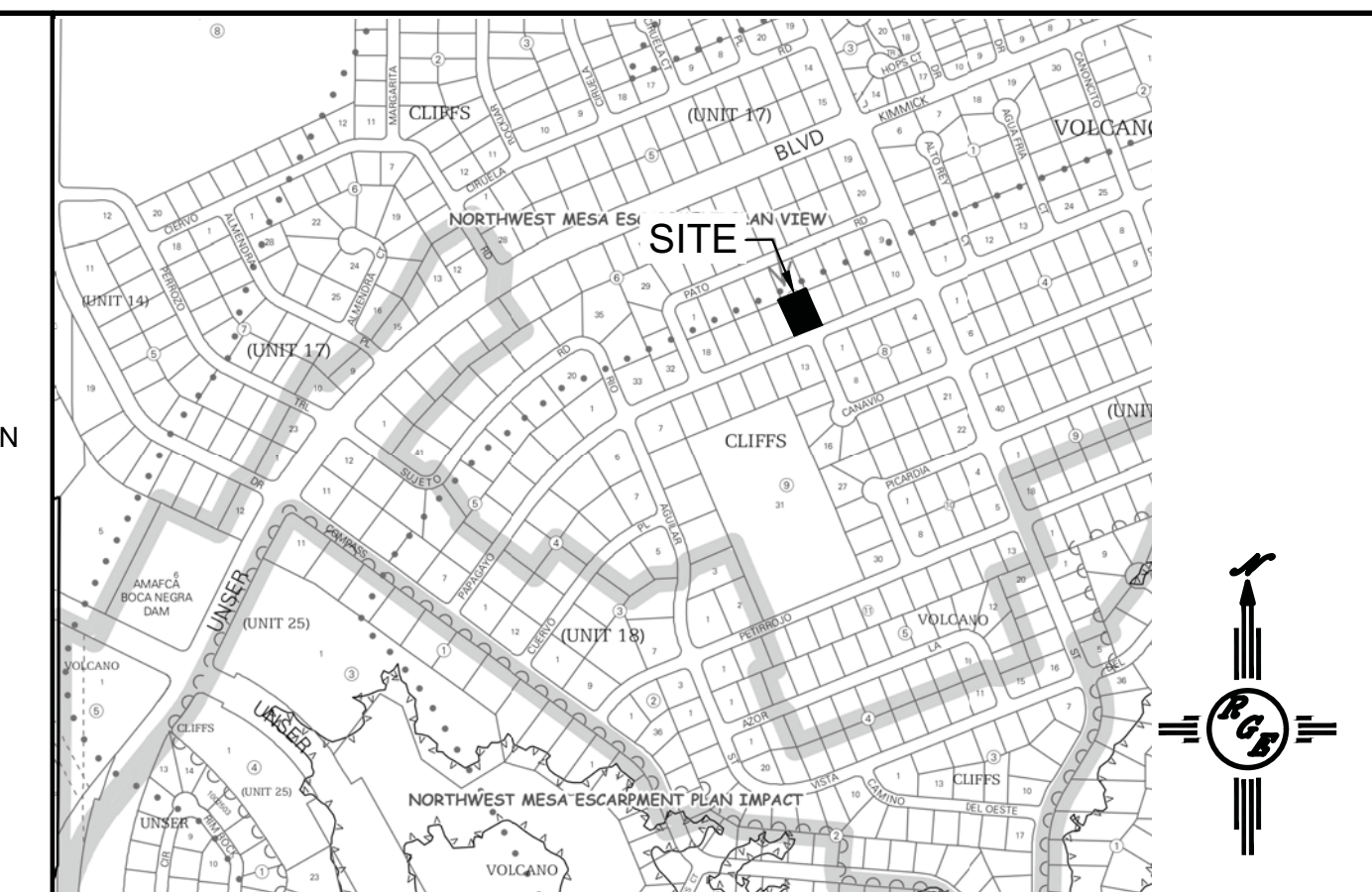
CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-10-Z

National Flood Hazard Layer FIRMette

FIRM MAP:

LEGAL DESCRIPTION:
LOT 14, BLOCK 7 VOLCANO CLIFFS UNIT 18
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

- NOTES:**
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 - ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
 - ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 - SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

- XXXX----- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- + XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED PONDING

4/18/25 CHANGES TO ORIGINAL GRADING PLAN ADDING POOL, UPDATING REQUIRED VOLUMES AND RESIZING POND TO ACCOMMODATE CHANGE, EXISTING PATTERNS AND CONCEPT TO CONFORM TO ORIGINAL PLAN AS SHOWN

ENGINEER'S SEAL	LOT 14 BLK 7 U 18 VC 6515 PAPAGAYO ROAD NW	DRAWN BY DEM
		DATE 10-20-23
	GRADING AND DRAINAGE PLAN	6515 Papagayo Rd. DWG
		SHEET # C1
DAVID SOULE P.E. #14522	P.O. BOX 53924 ALBUQUERQUE, NM 87199 (505) 321-8099	JOB #