

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

January 17, 2017

Robert Fierro
Fierro & Company
6300 Montano Rd NW
Albuquerque NM, 87104

**RE: The Varela Residence Volcano Cliffs Unit 18
6505 Pato Rd NW, S.A.D. 228, Lot 21 Block 6
Grading and Drainage Plan
Engineers Stamp Date 12/27/16 (D10D003M21)**

Dear Mr. Fierro,

Based upon the information provided in your submittal received 1/10/17, this plan cannot be approved for Grading Permit, until the following comments are addressed.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- Provide a statement requiring that a pad certification or a written statement by you is required before the home is released for building permit or the concrete pad is poured.
- Provide a statement informing the owner/contractor that a separate for a garden wall or retaining wall is required, and an opening 3" above grade is required for flows to pass through their rear yard according to the S.A.D. 228 master plan.

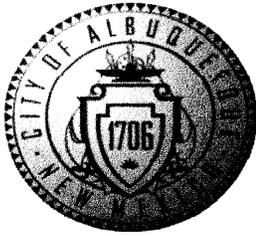
Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

RR/AC
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: The Varela Residence Grading & Drainage Plan **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 21, Block 6, Volcano Cliffs Unit 18
City Address: 6505 Pato Rd. NW

Engineering Firm: Fierro & Company, LLC **Contact:** Robert Fierro
Address: 5508 Costa Uerde Rd. NW, Albuquerque, NM 87120
Phone#: (505) 352-8930 **Fax#:** _____ **E-mail:** robertfierro@fierrocompany.com

Owner: Rachel Varela **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: Eric Spurlock **Contact:** _____
Address: 2539 Morningside NE, Albuquerque, NM 87110
Phone#: (505) 275-6783 **Fax#:** _____ **E-mail:** _____

Other Contact: RMZ Builders LLC **Contact:** Toby Ramirez
Address: _____
Phone#: (505) 480-3141 **Fax#:** _____ **E-mail:** rmzbuildersllc@gmail.com

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: December 27, 2016

By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____