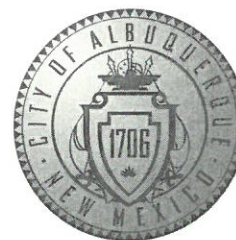


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

January 17, 2017

Robert Fierro
Fierro & Company
6300 Montano Rd NW
Albuquerque NM, 87104

**RE: The Varela Residence Volcano Cliffs Unit 18
6505 Pato Rd NW, S.A.D. 228, Lot 21 Block 6
Grading and Drainage Plan
Engineers Stamp Date 12/27/16 (D10D003M21)**

Dear Mr. Fierro,

Based upon the information provided in your submittal received 1/10/17, this plan cannot be approved for Grading Permit, until the following comments are addressed.

- Provide a statement requiring that a pad certification or a written statement by you is required before the home is released for building permit or the concrete pad is poured.
- Provide a statement informing the owner/contractor that a separate for a garden wall or retaining wall is required, and an opening 3" above grade is required for flows to pass through their rear yard according to the S.A.D. 228 master plan.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

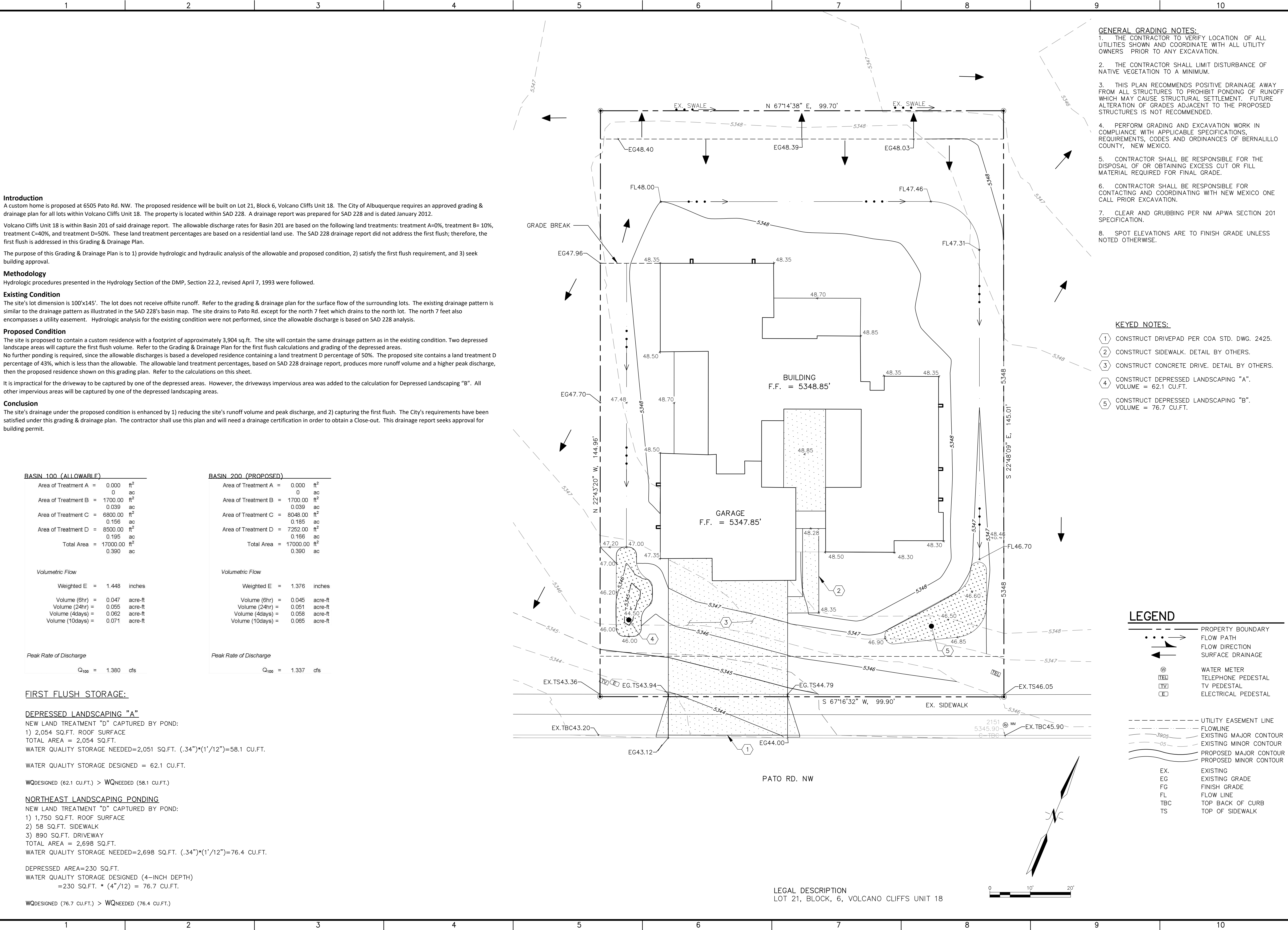
If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

RR/AC
C: File

\\Seagate-4004ED\Public\PROJECTS\SURVEYING\162055_GD.dwg 12/27/2016 11:21:15 AM



Fierro & Company
ENGINEERING & SURVEYING

5508 COSTA UERDE RD.
ALBUQUERQUE, NEW MEXICO 87120
PH (505) 352-8930
EMAIL: robertfierro@fierrocompany.com

ENGINEER'S SEAL

THE VARELA RESIDENCE
A CUSTOM RESIDENCE
6505 PATO RD. NW
ALBUQUERQUE, NM

PROJECT NAME	BY	DESCRIPTION	DATE	REV.

PROJECT NO: 162055

DESIGNED BY: RJF

DRAWN BY: STAFF

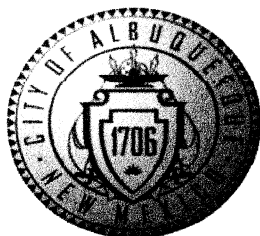
CHECKED BY: RJF

DATE: DEC, 2016

SHEET TITLE

GRADING PLAN

SHEET NO: **C-1.0**



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: The Varela Residence Grading & Drainage Plan **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: Lot 21, Block 6, Volcano Cliffs Unit 18

City Address: 6505 Pato Rd. NW

Engineering Firm: Fierro & Company, LLC **Contact:** Robert Fierro

Address: 5508 Costa Uerde Rd. NW, Albuquerque, NM 87120

Phone#: (505) 352-8930 **Fax#:** _____ **E-mail:** robertfierro@fierrocompany.com

Owner: Rachel Varela **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: Eric Spurlock **Contact:** _____

Address: 2539 Morningside NE, Albuquerque, NM 87110

Phone#: (505) 275-6783 **Fax#:** _____ **E-mail:** _____

Other Contact: RMZ Builders LLC **Contact:** Toby Ramirez

Address: _____

Phone#: (505) 480-3141 **Fax#:** _____ **E-mail:** rmzbuildersllc@gmail.com

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: December 27, 2016

By: _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____