

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

June 17, 2020

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

**Re: Lot 34 Block 6 Unit 18 Volcano Cliffs SAD 228  
6605 Sujeto NW  
Request Permanent C.O. – Accepted  
Engineer's Stamp dated: 7/19/19 (D10D003M34)  
Pad Certification dated: 7/30/19  
Certificate of C.O. dated: 8/9/20**

Dear Mr. Soule,

PO Box 1293

Based on the Certification received on 6/12/2020, the site is acceptable for release of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 6605 SUJETO NW **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 34, BLOCK 6 VOLCANO CLIFFS UNIT 18  
**City Address:** 6605 SUJETO NW

**Applicant:** SHEILA HANSON **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE  
**Address:** PO BOX 93924 ALB NM 87199  
**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** \_\_\_ PLAT  RESIDENCE \_\_\_ DRB SITE \_\_\_ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**  
 HYDROLOGY/ DRAINAGE  
 TRAFFIC/ TRANSPORTATION

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**  
 BUILDING PERMIT APPROVAL  
 CERTIFICATE OF OCCUPANCY

**TYPE OF SUBMITTAL:**  
 ENGINEER/ARCHITECT CERTIFICATION  
 PAD CERTIFICATION \*  
 CONCEPTUAL G & D PLAN  
 GRADING PLAN  
 DRAINAGE REPORT  
 DRAINAGE MASTER PLAN  
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
 ELEVATION CERTIFICATE  
 CLOMR/LOMR  
 TRAFFIC CIRCULATION LAYOUT (TCL)  
 TRAFFIC IMPACT STUDY (TIS)  
 STREET LIGHT LAYOUT  
 OTHER (SPECIFY) \_\_\_\_\_  
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL  
 SITE PLAN FOR SUB'D APPROVAL  
 SITE PLAN FOR BLDG. PERMIT APPROVAL  
 FINAL PLAT APPROVAL  
 SIA/ RELEASE OF FINANCIAL GUARANTEE  
 FOUNDATION PERMIT APPROVAL  
 GRADING PERMIT APPROVAL  
 SO-19 APPROVAL  
 PAVING PERMIT APPROVAL  
 GRADING/ PAD CERTIFICATION  
 WORK ORDER APPROVAL  
 CLOMR/LOMR  
 FLOODPLAIN DEVELOPMENT PERMIT  
 OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes \_\_\_ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

\* GRADING DONE PRIOR TO PLAN DEVELOPMENT



Weighted E Method

Basin	100-Year, 6-hr.								Volume (ac-ft)	Flow cfs			
	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)						
ALLOWED	23935.00	0.549	0%	0	20%	0.110	48%	0.2528	34%	0.187	1.259	0.058	1.76
PROPOSED	23935.00	0.549	0%	0	20%	0.110	51%	0.2802	29%	0.159	1.210	0.055	1.72
COMPARISON													-0.002

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions	REQUIRED (CF)	PROVIDED (CF)
FIRST FLUSH WATER QUALITY VOLUME	0	114
WATER QUALITY FLOOD CONTROL	0	114

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the adjacent roadway to the south per the master drainage plan. We are ponding 114 CF of the water harvest volume generated by the site, there is not measurable upland flow. This plan does not exceed the allowed impervious area therefore we are not required to retain. This plan is in conformance to the master drainage plan

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 7/19/19

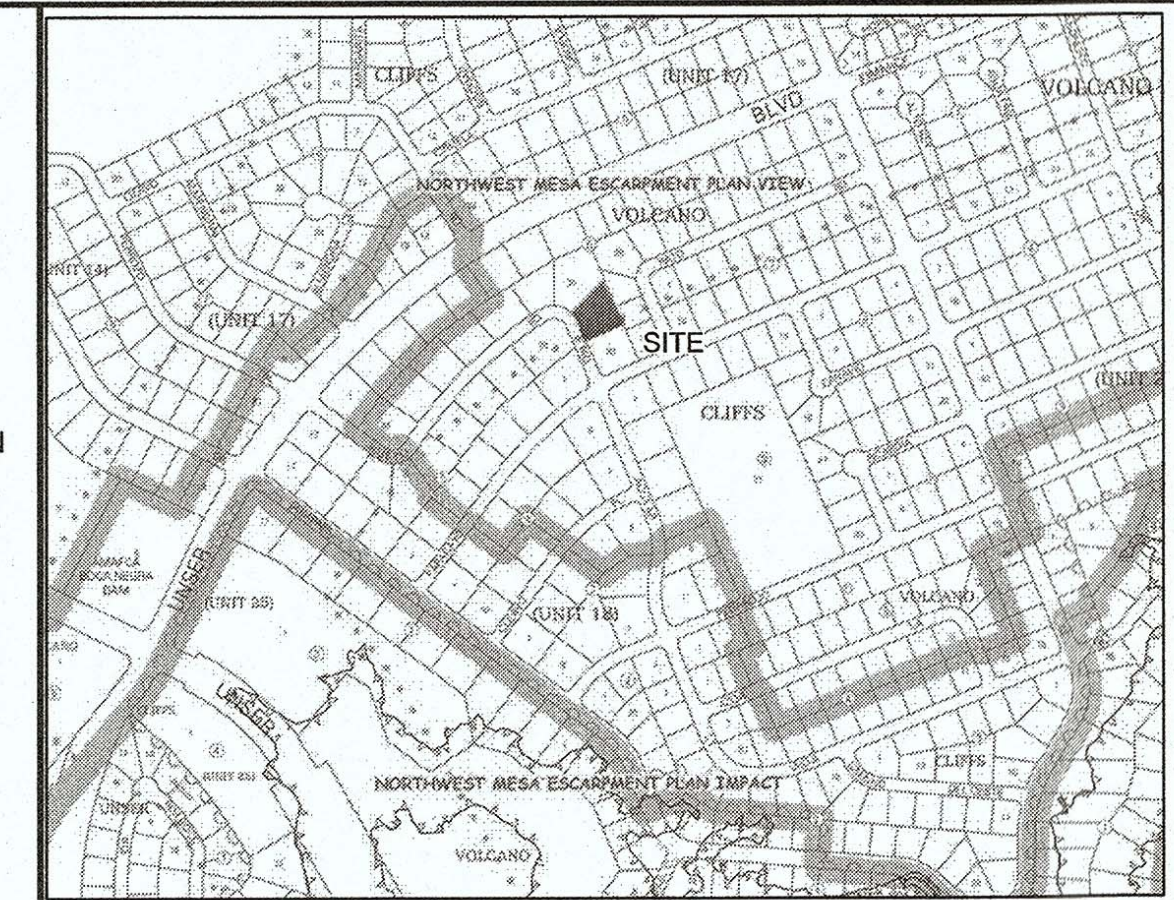


7/30/19

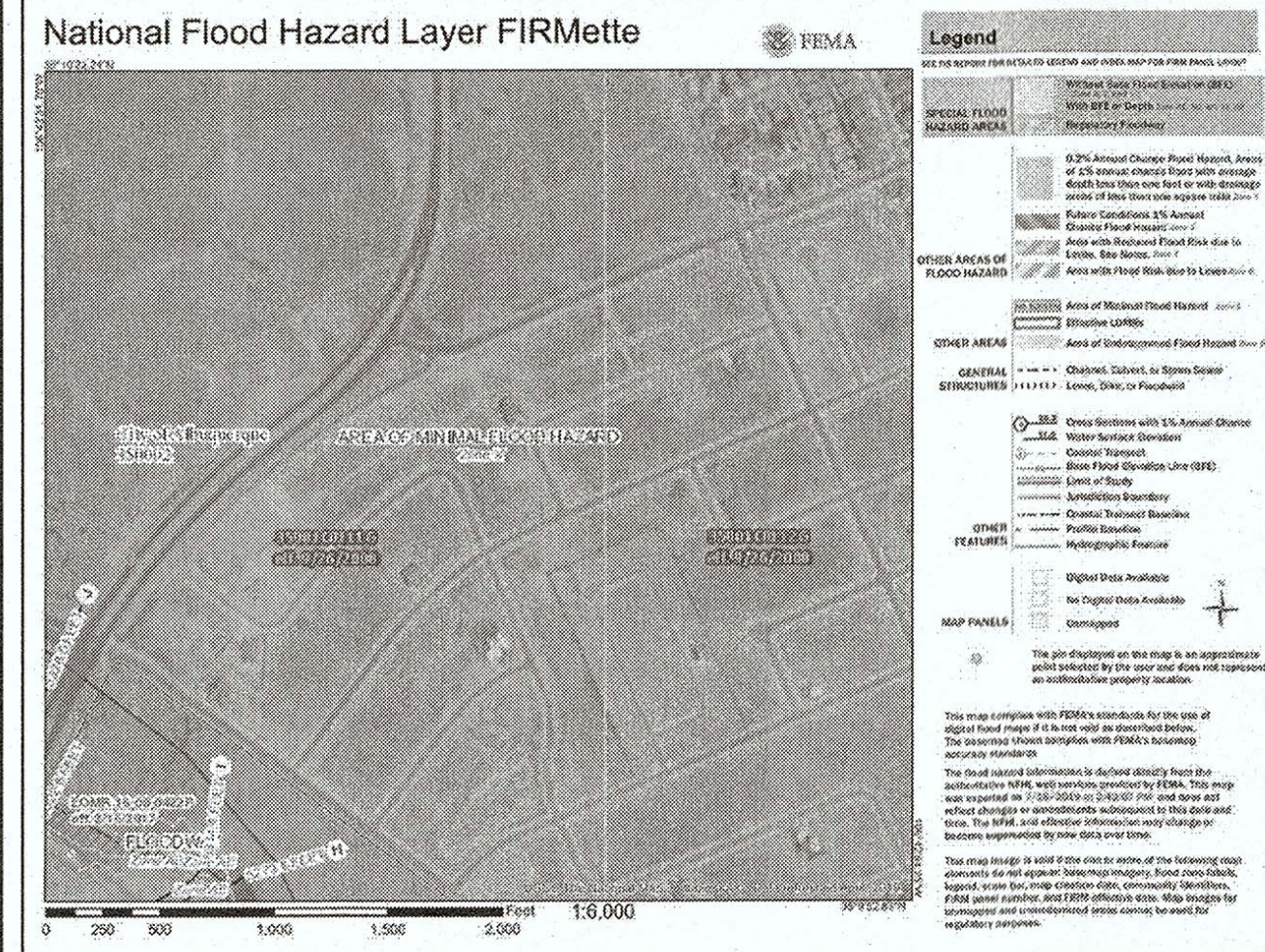
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 7/19/19. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: D-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

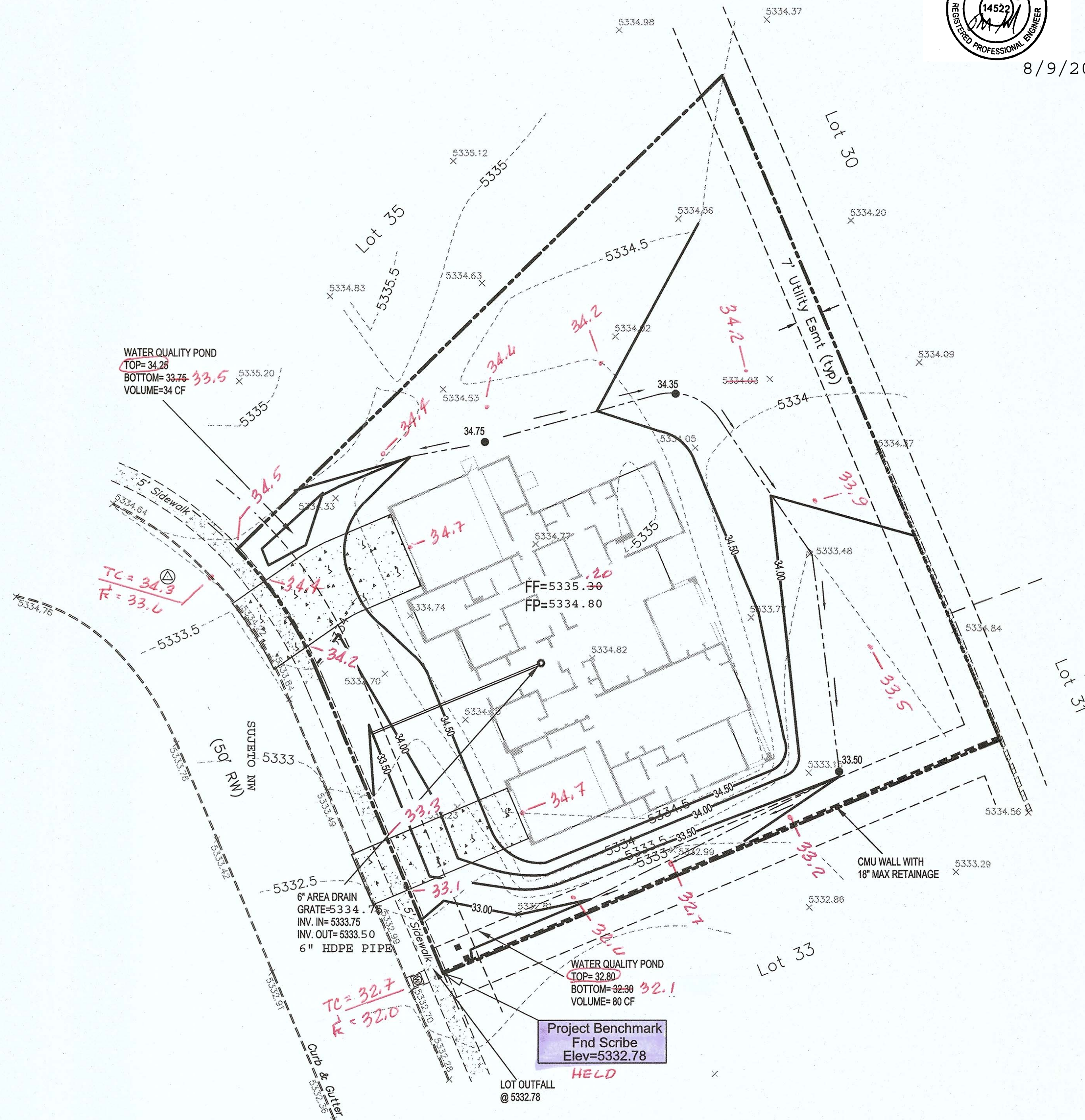
LOT 34 BLOCK 6 UNIT 18 VOLCANO CLIFFS SUBDIVISION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A CERTIFICATION OF PAD ELEVATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT

LEGEND

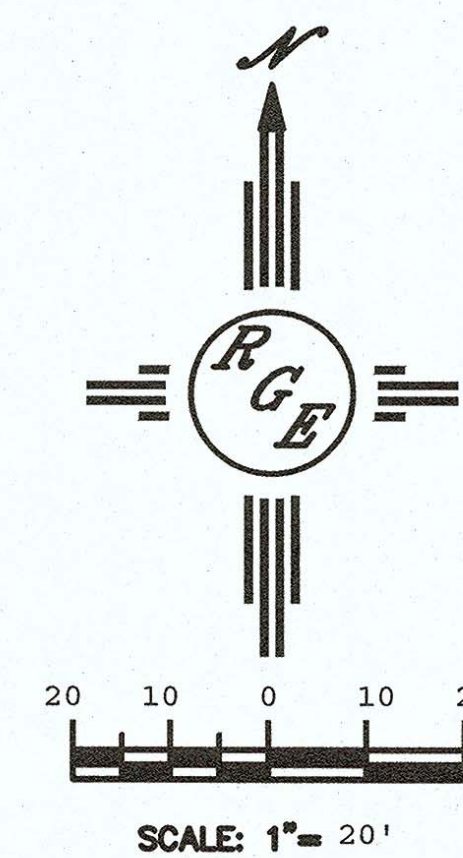
- EXISTING CONTOUR
- - - EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- - - PROPOSED INDEX CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- - - PROPOSED EARTHEN SWALE
- - - ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- - - PROPOSED RETAINING WALL
- PROPOSED CONCRETE DRIVEWAY



8/9/20

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	LOT 34 BK 6 U 18 VOLCANO CLIFFS SUB. 6605 SUJETO NW	DRAWN BY DEM
DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522	GRADING AND DRAINAGE PLAN	DATE 7-19-19
7/19/19	Rio Grande Engineering 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # C1
DAVID SOULE P.E. #14522		JOB #