

DRAINAGE NARRATIVE

This grading & drainage plan was prepared to support a building permit application for a new residence located at 6519 Pato Rd. NW. A review of the City Hydrology records indicate development of this property is governed by the Drainage Report for SAD 228 (D10-D003). This report indicates allowable land treatment values of 0% A, 10% B, 40% C, and 50% D. If developed discharge rates exceed what is allowable using these land treatment values, mitigation measures will be required. This plan was prepared using the hydrology methodology presented in Chapter 22.2 of the City of Albuquerque's Development Process Manual (abbreviated method).

The site is a 0.33 acre parcel located in Precipitation Zone 1 and Floodzone X (Unshaded). It slopes from the east to the west at about 5%. The site accepts runoff from the property to the west.

The hydrology analysis indicates the developed conditions will not increase discharge rates over what is allowed so mitigation measures are not required. All onsite flows are directed to the front yard landscaping then to the street.

As water quality retention ponding was not provided with the construction of the subdivision, water quality ponding is required for this development. Water quality ponding is provided in the front yard landscaping.

- NOTE:
1. Pad Certification is required prior to issuance of Building Permit.
 2. A final inspection by Hydrology is required before a Certificate of Occupancy is released.
 3. Provide openings in CMU wall 3" above ground to allow cross lot drainage.

GENERAL NOTES

Contractor is responsible for utility spots and controlling sediment deposition and erosion during construction.

A concrete washout bin must be provided as per City of Albuquerque MS4 Permit requirements.

All disturbed area due to construction must be reseeded or landscaped following construction.

Hydrology Calculations 6519 Pato Rd. NW									
Precipitation Zone 1 100 yr 6 hr Storm Basin Area = 0.33 ac. 14501.124 sq ft Determined by DB									
Allowable - SAD 228 Master Drainage Plan									
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. Ft.)	Peak Discharge (cfs)	Comments		
A	0.00%	0.00	0.44	1.29	0.00	0.00	Natural Ground		
B	10.00%	0.03	0.67	2.03	0.00	0.07	Landscaped Areas		
C	40.00%	0.13	0.99	2.87	0.01	0.38	Compacted earth		
D	50.00%	0.17	1.97	4.37	0.03	0.73	Impervious Areas		
TOTAL	100.00%	0.33	1.45		0.04	1.18			
					1749.80	cu ft.			
Proposed 0.33 ac. 14501.124 sq ft Determined by DB									
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. Ft.)	Peak Discharge (cfs)	Comments		
A	0.00%	0.00	0.44	1.29	0.00	0.00	Natural Ground/Pond		
B	8.28%	0.03	0.67	2.03	0.00	0.06	Landscaped Areas		
C	51.98%	0.17	0.99	2.87	0.01	0.50	Compacted earth		
D	39.74%	0.13	1.97	4.37	0.02	0.58	Impervious Areas		
TOTAL	100.00%	0.33	1.35		0.04	1.13			
					1635.02	cu ft.			
PONDING REQUIREMENT =					1635.02	-1749.80	-114.78	cu ft. PONDING NOT REQUIRED	
Water Quality Retention Volume = 0.34' x					5763.44	sq ft	=	163.30	cu ft.
Water Quality Retention Volume Provided =								162.35	cu ft.
WATER QUALITY POND VOLUME									
ELEVATION (ft)	AREA (sq ft)	AVE AREA (sq ft)	DEPTH (ft)	VOLUME (cu ft)	CUMULATIVE VOLUME (cu ft)	COMMENTS			
5336.50	0.00								
5337.00	694.11	347.05	0.50	173.53	173.53				
MAX VOLUME					173.53				

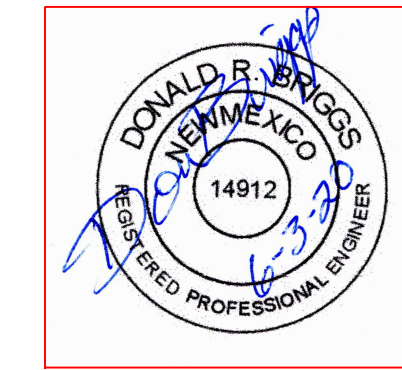
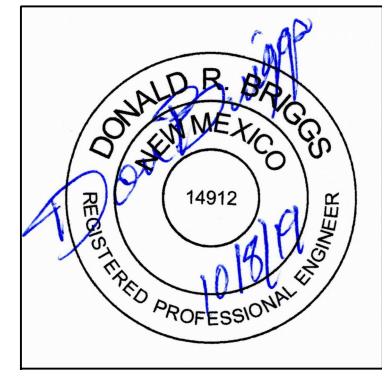
PAD CERTIFICATION

I, Don Briggs, NMPE 14912, OF THE FIRM Don Briggs Engineering LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/9/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NA, NMPS NA, OF THE FIRM NA.

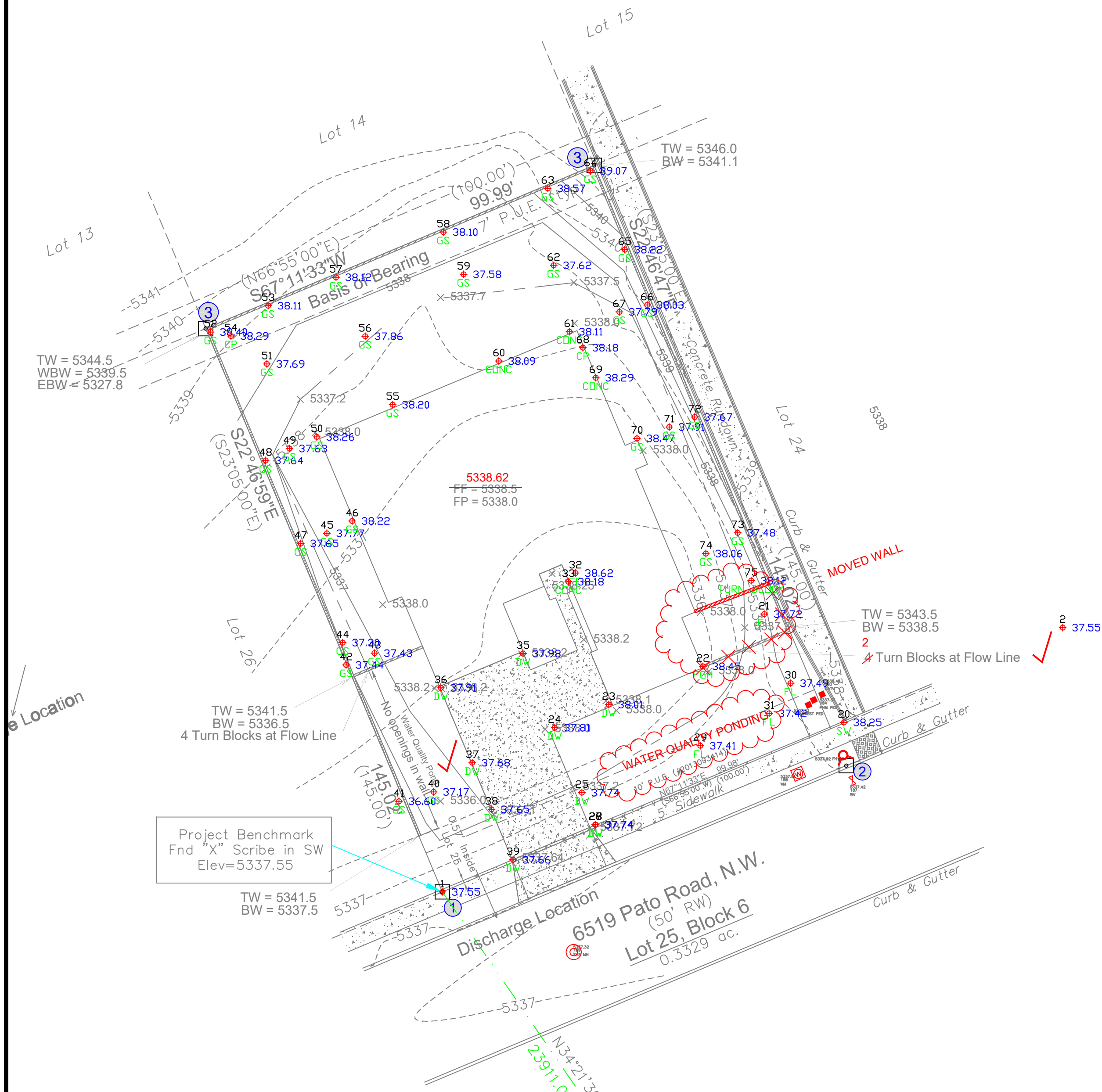
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/8/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR BUILDING PERMIT.

Pad Certification. Pad Elevation has been verified by level survey by the engineer.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



		505-249-4843 donbriggseengineering@gmail.com 5324 Oakledge Ct. NW, Albuquerque, NM 87120	
TITLE: 6519 Pato Rd. NW Grading & Drainage Plan			
Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.
City Project No.	Zone Map No.	Sheet	Of



USGLO OS 21 S 22/27/28 T11N R2E 1911

NAD 83

Ground to Grid Factor: 0.99967177

N: 1513840.436

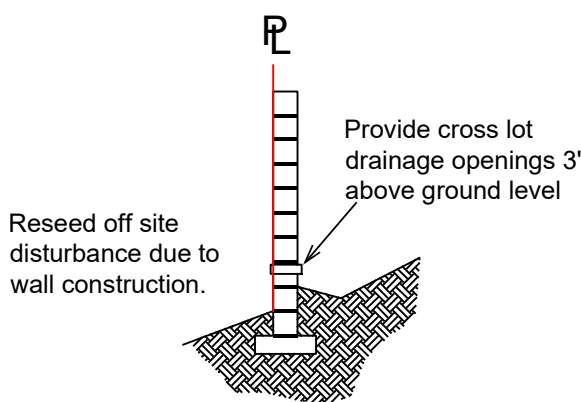
E: 1497658.102

NAVD 1988

Elev 5330.151 US feet

Monument Legend

- 1 Fnd "X" Scribe in Sidewalk
- 2 Fnd "Line" Scribe
- 3 Fnd Rebar w/Cop NMPLS 12649



SCALE 1" = 20'