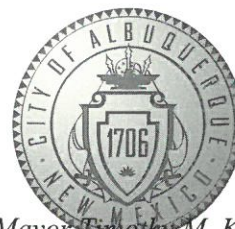


# CITY OF ALBUQUERQUE

Planning Department  
Brennan Williams, Director



Mayor Timothy M. Keller

October 28, 2019

Don Briggs, P.E.  
Don Briggs Engineering  
5324 Oakledge Ct. NW  
Albuquerque, New Mexico 87120

RE: **Lot 25 Block 6 Volcano Cliffs Unit 18 SAD 228**  
**6519 Pato Rd. NW**  
**Grading and Drainage Plan**  
**Engineers Stamp Date 9/9/19 (D10D003M25)**  
**Pad Certification Date 10/8/19**

Dear Mr. Briggs,

Based upon the information provided in your submittal received 10/28/19, this plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

**Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 9/9/19 and Pad Certification Date 10/8/19.**

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.  
City Engineer, Planning  
Division Manager

RR/SB  
C: File D10D003M25



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



October 26, 2019

Mr. Rudy Rael  
Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**RE: Hydrology File # D10D003M25 – 6519 Pato Rd. NW – Pad Certification**

Dear Mr. Rael,

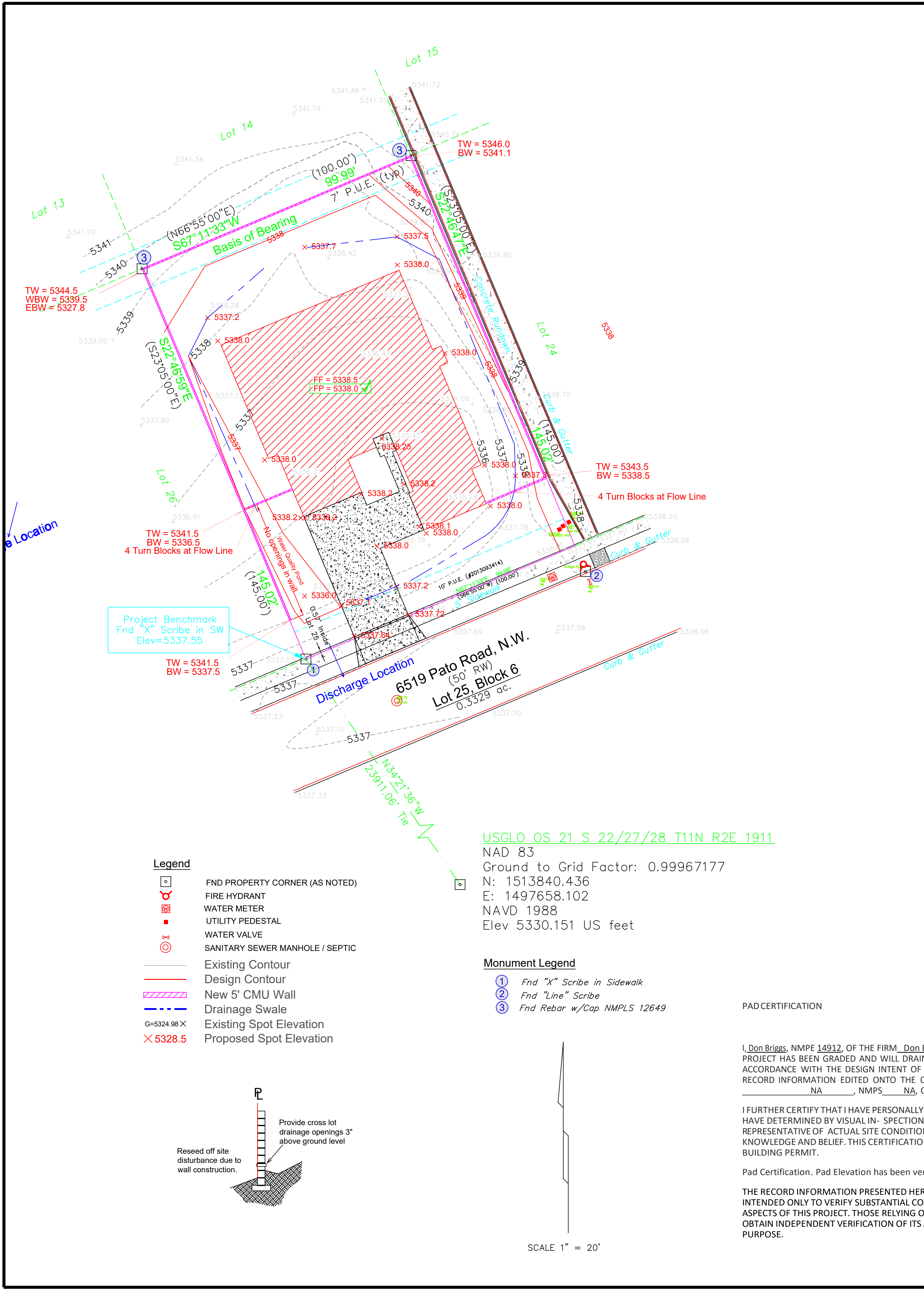
Attached are photos addressing your comments of October 11, 2019. They indicate that the dirt located in the roadway and on the sidewalk has been removed.

Based on this information I am requesting approval of the Pad Certification and Building Permit application.

Sincerely

Don Briggs PE CFM





DRAINAGE NARRATIVE

This grading & drainage plan was prepared to support a building permit application for a new residence located at 6519 Pato Rd. NW. A review of the City Hydrology records indicate development of this property is governed by the Drainage Report for SAD 228 (D10-D003). This report indicates allowable land treatment values of 0% A, 10% B, 40% C, and 50% D. If developed discharge rates exceed what is allowable using these land treatment values, mitigation measures will be required. This plan was prepared using the hydrology methodology presented in Chapter 22.2 of the City of Albuquerque's Development Process Manual (abbreviated method).

The site is a 0.33 acre parcel located in Precipitation Zone 1 and Floodzone X (Unshaded). It slopes from the east to the west at about 5%. The site accepts runoff from the property to the west.

The hydrology analysis indicates the developed conditions will not increase discharge rates over what is allowed so mitigation measures are not required. All onsite flows are directed to the front yard landscaping then to the street.

As water quality retention ponding was not provided with the construction of the subdivision, water quality ponding is required for this development. Water quality ponding is provided in the front yard landscaping.

- NOTE:
1. Pad Certification is required prior to issuance of Building Permit.
  2. A final inspection by Hydrology is required before a Certificate of Occupancy is released.
  3. Provide openings in CMU wall 3" above ground to allow cross lot drainage.

GENERAL NOTES

Contractor is responsible for utility spots and controlling sediment deposition and erosion during construction.

A concrete washout bin must be provided as per City of Albuquerque MS4 Permit requirements.

All disturbed area due to construction must be reseeded or landscaped following construction.

Hydrology Calculations 6519 Pato Rd. NW							
Precipitation Zone 1 100 yr 6 hr Storm							
Basin Area =		0.33 ac.	14501.124 sq ft	Determined by DB			
Allowable - SAD 228 Master Drainage Plan							
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. ft.)	Peak Discharge (cfs)	Comments
A	0.00%	0.00	0.44	1.29	0.00	0.00	Natural Ground
B	10.00%	0.03	0.67	2.03	0.00	0.07	Landscaped Areas
C	40.00%	0.13	0.59	2.87	0.01	0.38	Compacted earth
D	50.00%	0.17	1.57	4.37	0.03	0.73	Impervious Areas
TOTAL	100.00%	0.33	1.45		0.04	1.18	
					1749.80	cu ft.	
Proposed		0.33 ac.	14501.124 sq ft	Determined by DB			
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. ft.)	Peak Discharge (cfs)	Comments
A	0.00%	0.00	0.44	1.29	0.00	0.00	Natural Ground/Pond
B	8.28%	0.03	0.67	2.03	0.00	0.06	Landscaped Areas
C	51.98%	0.17	0.59	2.87	0.01	0.50	Compacted earth
D	39.74%	0.13	1.57	4.37	0.02	0.58	Impervious Areas
TOTAL	100.00%	0.33	1.35		0.04	1.13	
					1635.02	cu ft.	
PONDING REQUIREMENT =				1635.02	-1749.80	-114.78	cu ft. PONDING NOT REQUIRED
Water Quality Retention Volume = 0.34" x				5763.44	sq ft	=	163.30 cu ft.
Water Quality Retention Volume Provided =							162.35 cu ft.
WATER QUALITY POND VOLUME							
ELEVATION (ft)	AREA (sq ft)	AVE AREA (sq ft)	DEPTH (ft)	VOLUME (cu ft)	CUMULATIVE VOLUME (cu ft)	COMMENTS	
5336.50	0.00						
		347.05	0.50	173.53	173.53		
5337.00	694.11						
MAX VOLUME					173.53		

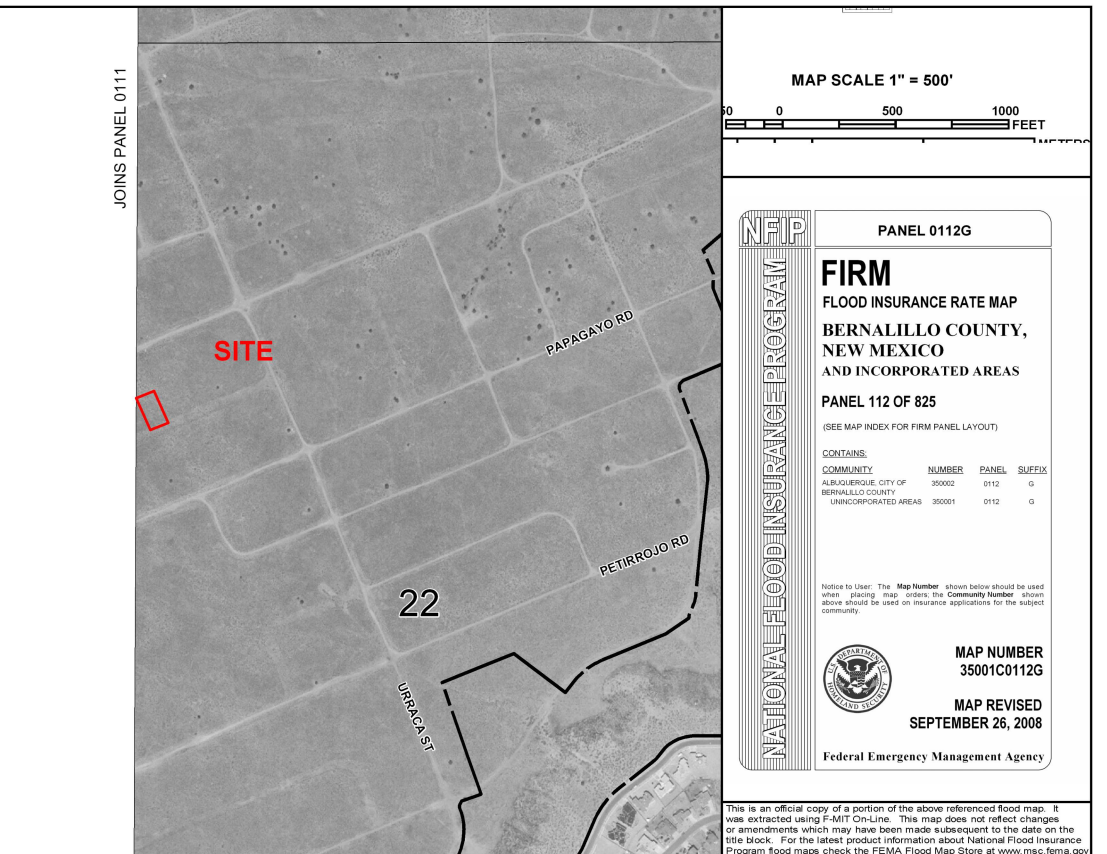
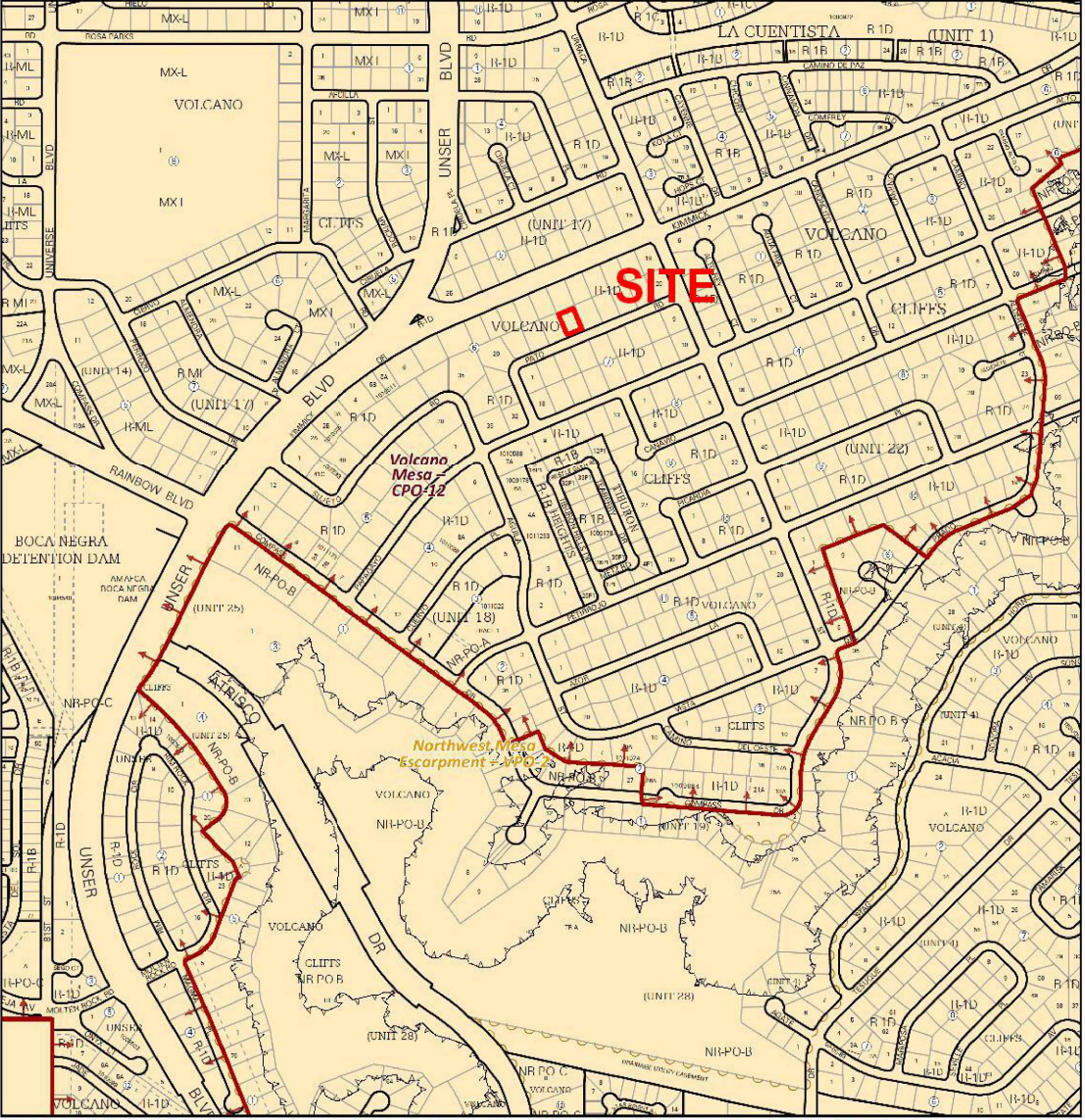
PAD CERTIFICATION

I, Don Briggs, NMPE 14912, OF THE FIRM, Don Briggs Engineering LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/9/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NA, NMPS NA, OF THE FIRM NA.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/8/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR BUILDING PERMIT.

Pad Certification, Pad Elevation has been verified by level survey by the engineer.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



AS BUILT INFORMATION			
CONTRACTOR	WORK	DATE	
	STAKED BY	DATE	
	ADJUSTED BY	DATE	
	FIELD CHECKED BY	DATE	
	DRAWING CORRECTED BY	DATE	
	RECORDING INFORMATION	DATE	
	RECORDED BY	DATE	
	NO.		

BENCHMARKS			

SURVEY INFORMATION			

ENGINEER'S SEAL			

REVISIONS			

REVISIONS			

REVISIONS			

505-249-4843  
donbriggsengineering@gmail.com  
5324 Oakledge Ct. NW, Albuquerque, NM 87120

TITLE: 6519 Pato Rd. NW  
Grading & Drainage Plan

Design Review Committee

City Engineer Approval

City Project No. D10D003M25

Zone Map No.

Sheet

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