

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

June 12, 2020

Donald Briggs, P.E.  
Don Briggs Engineering LLC  
5324 Oakledge Ct. NW  
Albuquerque, New Mexico 87120

**RE: Lot 25 Block 6 Unit 18 SAD 228  
6519 Pato Rd. NW  
Volcano Cliffs Subdivision  
Grading and Drainage Plan  
Engineers Stamp Date; 9/19/19 (D10D003M25)  
Pad Certification Date; 10/8/19  
C.O. Certification Date; 6/3/2020**

PO Box 1293

Dear Mr. Briggs,

Based upon the information provided in your submittal received 6/11/2020, this plan is approved for Certificate of Occupancy release..

Albuquerque

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

RR/EA  
C: File D10D003M25



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



June 11, 2020

Mr. Rudy Rael  
Floodplain Administrator  
Planning Department  
600 2<sup>nd</sup>. St. NW  
Albuquerque, NM 87102

RE: D10D00311 Revised Grading & Drainage Certification.

Dear Mr. Real

Attached is a revised Grading & Drainage Certification based on comments you presented in your email of 6/10/2020.

Specifically I have included the pad certification notes and added a note indicating the site is ready for issuance of the Certificate of Occupancy. The first comment regarding the date of changes is covered with the grading & drainage certification.

Please call if you have any questions.

Sincerely

Don Briggs PE CFM  
Don Briggs Engineering LLC



DRAINAGE NARRATIVE

This grading & drainage plan was prepared to support a building permit application for a new residence located at 6519 Pato Rd. NW. A review of the City Hydrology records indicate development of this property is governed by the Drainage Report for SAD 228 (D10-D003). This report indicates allowable land treatment values of 0% A, 10% B, 40% C, and 50% D. If developed discharge rates exceed what is allowable using these land treatment values, mitigation measures will be required. This plan was prepared using the hydrology methodology presented in Chapter 22.2 of the City of Albuquerque's Development Process Manual (abbreviated method).

The site is a 0.33 acre parcel located in Precipitation Zone 1 and Floodzone X (Unshaded). It slopes from the east to the west at about 5%. The site accepts runoff from the property to the west.

The hydrology analysis indicates the developed conditions will not increase discharge rates over what is allowed so mitigation measures are not required. All onsite flows are directed to the front yard landscaping then to the street.

As water quality retention ponding was not provided with the construction of the subdivision, water quality ponding is required for this development. Water quality ponding is provided in the front yard landscaping.

- NOTE:
1. Pad Certification is required prior to issuance of Building Permit.
  2. A final inspection by Hydrology is required before a Certificate of Occupancy is released.
  3. Provide openings in CMU wall 3" above ground to allow cross lot drainage.

GENERAL NOTES

Contractor is responsible for utility spots and controlling sediment deposition and erosion during construction.

A concrete washout bin must be provided as per City of Albuquerque MS4 Permit requirements.

All disturbed area due to construction must be reseeded or landscaped following construction.

Hydrology Calculations 6519 Pato Rd. NW									
Precipitation Zone 1 100 yr 6 hr Storm Basin Area = 0.33 ac. 14501.124 sq ft Determined by DB									
Allowable - SAD 228 Master Drainage Plan									
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. Ft.)	Peak Discharge (cfs)	Comments		
A	0.00%	0.00	0.44	1.29	0.00	0.00	Natural Ground		
B	10.00%	0.03	0.67	2.03	0.00	0.07	Landscaped Areas		
C	40.00%	0.13	0.99	2.87	0.01	0.38	Compacted earth		
D	50.00%	0.17	1.97	4.37	0.03	0.73	Impervious Areas		
TOTAL	100.00%	0.33	1.45		0.04	1.18			
					1749.80	cu ft.			
Proposed 0.33 ac. 14501.124 sq ft Determined by DB									
Land Treatment	Percent	Area (ac.)	Excess Precipitation (in.)	Unit Peak Discharge (cfs/ac.)	Runoff Volume (ac. Ft.)	Peak Discharge (cfs)	Comments		
A	0.00%	0.00	0.44	1.29	0.00	0.00	Natural Ground/Pond		
B	8.28%	0.03	0.67	2.03	0.00	0.06	Landscaped Areas		
C	51.98%	0.17	0.99	2.87	0.01	0.50	Compacted earth		
D	39.74%	0.13	1.97	4.37	0.02	0.58	Impervious Areas		
TOTAL	100.00%	0.33	1.35		0.04	1.13			
					1635.02	cu ft.			
PONDING REQUIREMENT =					1635.02	-1749.80	-114.78	cu ft. PONDING NOT REQUIRED	
Water Quality Retention Volume = 0.34' x					5763.44	sq ft	=	163.30	cu ft.
Water Quality Retention Volume Provided =								162.35	cu ft.
WATER QUALITY POND VOLUME									
ELEVATION (ft)	AREA (sq ft)	AVE AREA (sq ft)	DEPTH (ft)	VOLUME (cu ft)	CUMULATIVE VOLUME (cu ft)	COMMENTS			
5336.50	0.00								
5337.00	694.11	347.05	0.50	173.53	173.53				
MAX VOLUME					173.53				

I, Don Briggs, NMPE 14912, OF THE FIRM Don Briggs Engineering LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/9/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NA, NMPS NA, OF THE FIRM NA.

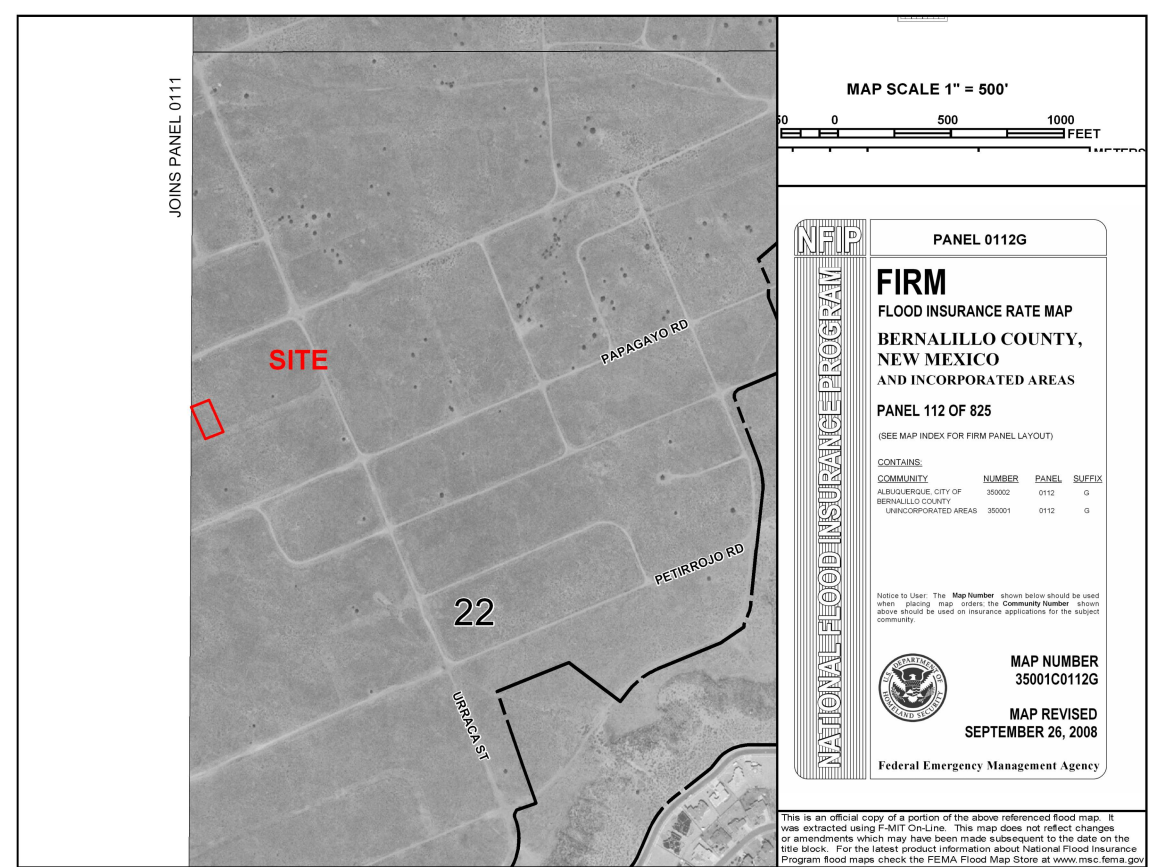
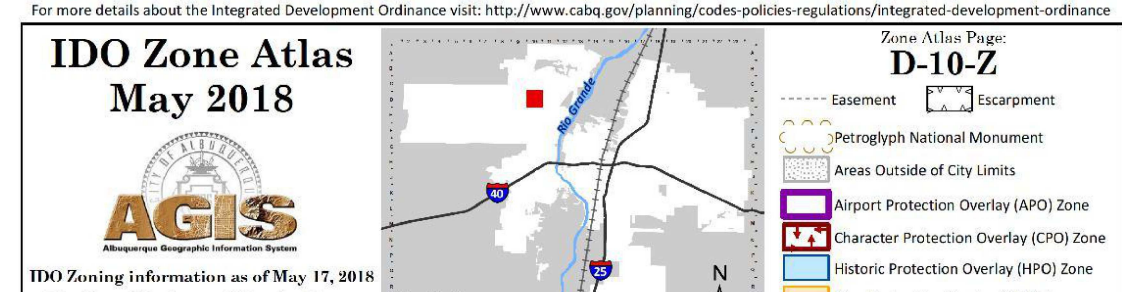
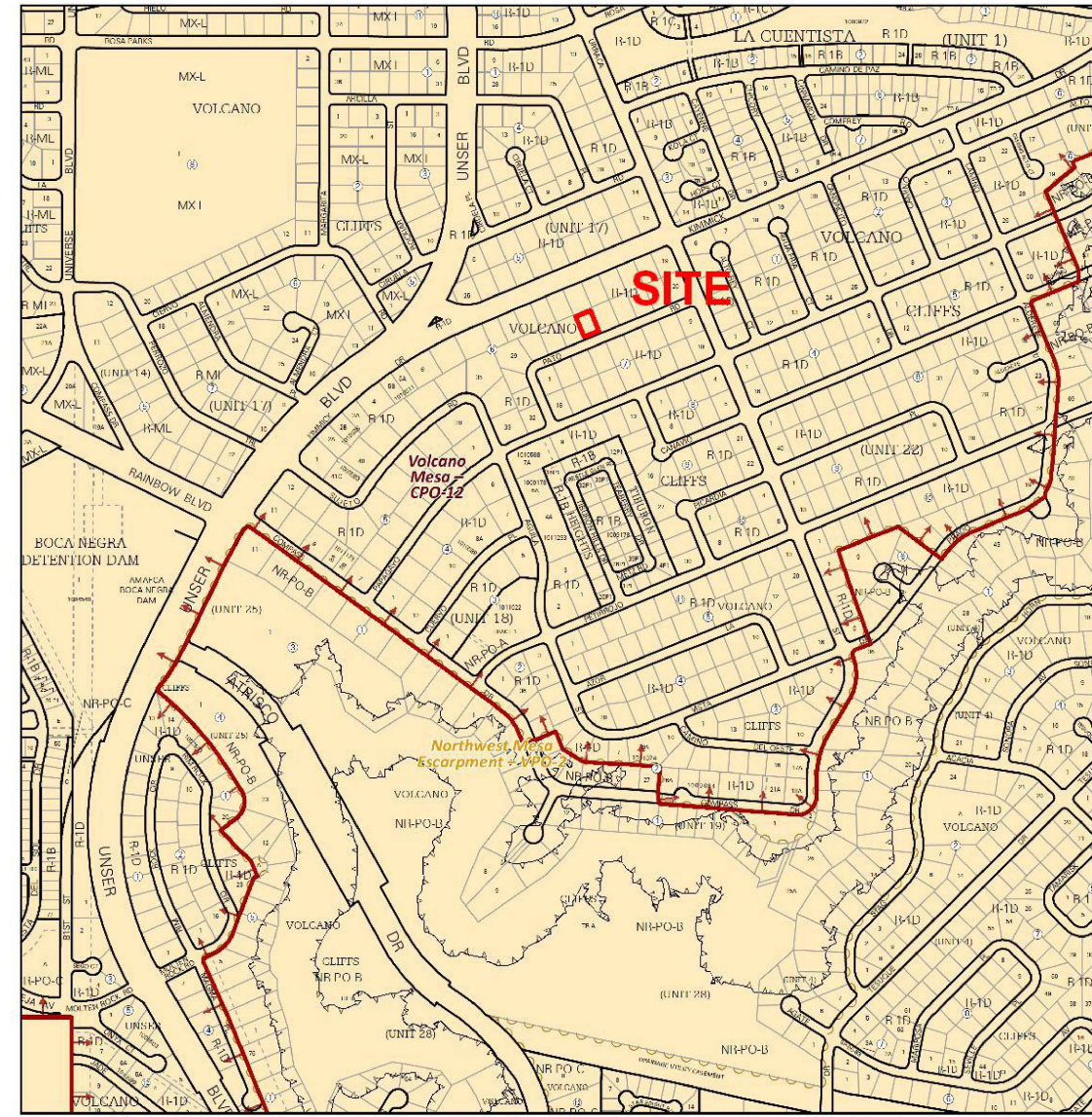
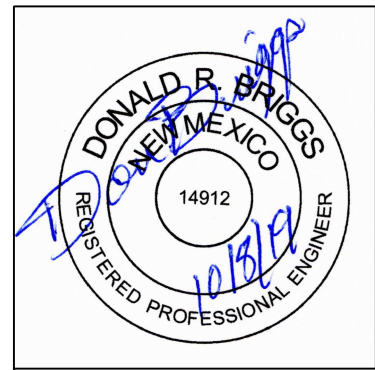
PAD CERTIFICATION

I, Don Briggs, NMPE 14912, OF THE FIRM Don Briggs Engineering LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/9/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NA, NMPS NA, OF THE FIRM NA.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/8/2019 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR BUILDING PERMIT.

Pad Certification. Pad Elevation has been verified by level survey by the engineer.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



DRAINAGE CERTIFICATION

I, Don Briggs, NMPE 14912, OF THE FIRM Don Briggs Engineering LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 9/9/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Andrew Medina, NMPS 12649, OF THE FIRM Sandia Land Surveying LLC.

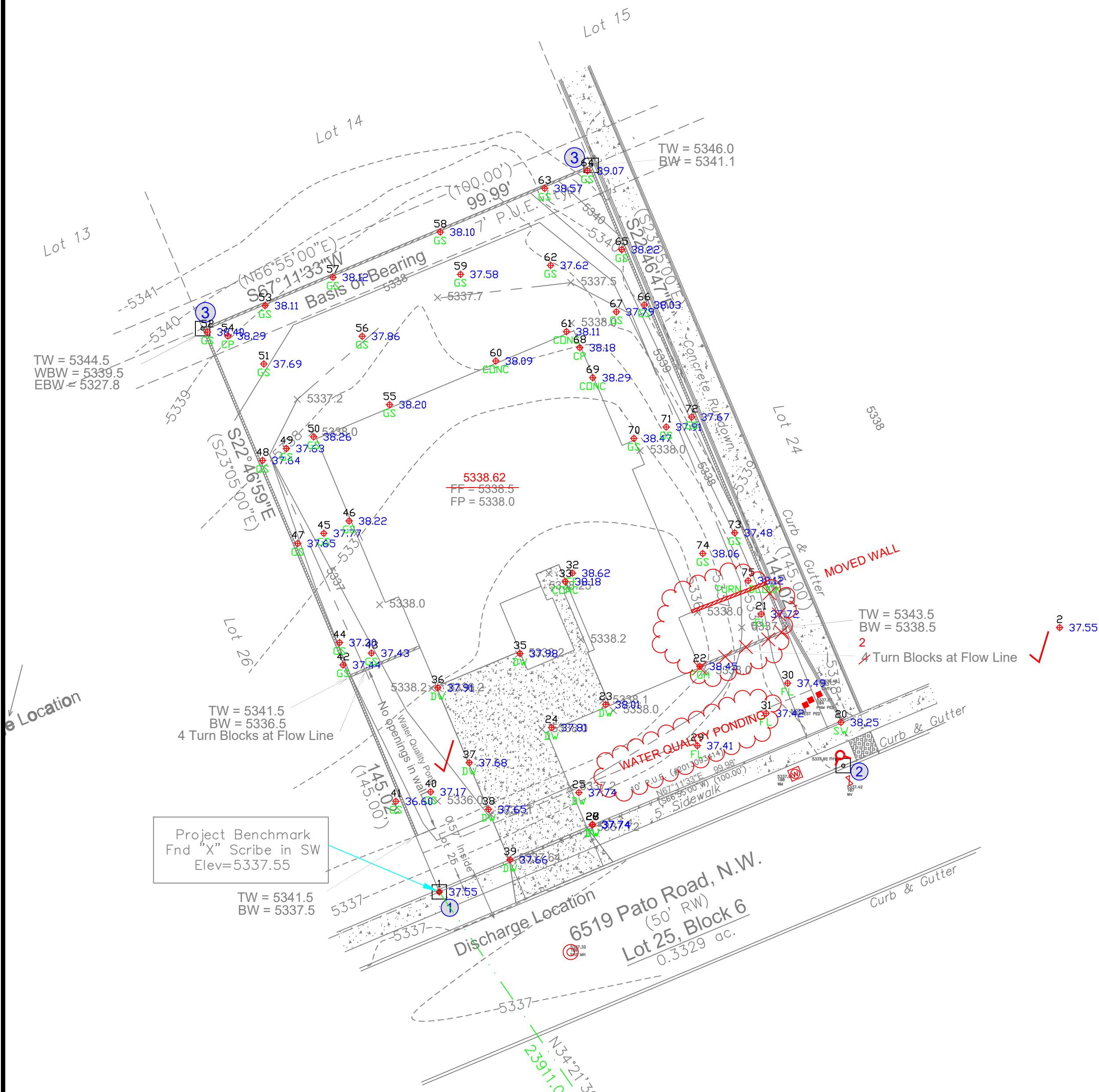
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6/2/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

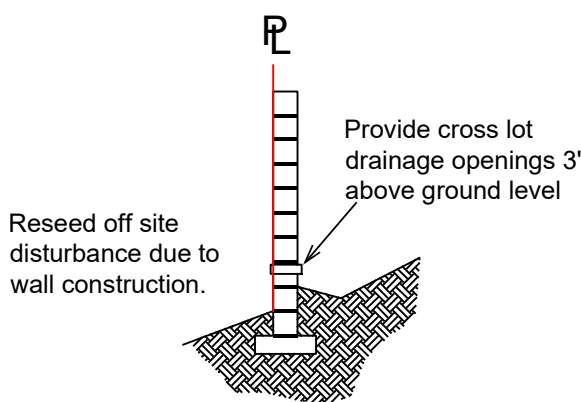
BASED ON MY SITE VISIT AND THE RECORD INFORMATION PROVIDED BY THE SURVEYOR THIS PROJECT IS READY FOR CERTIFICATE OF OCCUPANCY.



		505-249-4843 donbriggsengineering@gmail.com 5324 Oakledge Ct. NW, Albuquerque, NM 87120	
TITLE: 6519 Pato Rd. NW Grading & Drainage Plan			
Design Review Committee	City Engineer Approval	Last Design Update	Mo. / Day / Yr.
City Project No.	Zone Map No.	Sheet	Of



- Legend
- FND PROPERTY CORNER (AS NOTED)
  - FIRE HYDRANT
  - WATER METER
  - UTILITY PEDESTAL
  - WATER VALVE
  - SANITARY SEWER MANHOLE / SEPTIC
  - Existing Contour
  - Design Contour
  - New 5' CMU Wall
  - Drainage Swale
  - Existing Spot Elevation
  - Proposed Spot Elevation



USGLO OS 21 S 22/27/28 T11N R2E 1911  
NAD 83  
Ground to Grid Factor: 0.99967177  
N: 1513840.436  
E: 1497658.102  
NAVD 1988  
Elev 5330.151 US feet

Monument Legend

- 1 Fnd "X" Scribe in Sidewalk
- 2 Fnd "Line" Scribe
- 3 Fnd Rebar w/Cop NMPLS 12649

SCALE 1" = 20'