

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

June 8, 2021

Jackie McDowell, PE
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87121

**RE: Lot 27 Block 6 Unit 18, S.A.D. 228
Volcano Cliffs Subdivision
6527 Pato Rd. NW
Grading and Drainage Plan
Engineers Stamp Date; 7-9-2020 (D10D003M27)
Pad Certification Date; 6/7/2021**

Dear Ms. McDowell,

PO Box 1293

Based upon the information provided in your submittal received 6/8/2021, this plan is approved for Building Permit.

Albuquerque

Please have the owner/builder attach a copy of this approved plan, to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: ADRIAN MARTINEZ - LOT 27 G&D **Building Permit #:** _____ **Hydrology File #:** D10D003M27
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 27, BLOCK 6, UNIT 18, VOLCANO CLIFFS SUB'D
City Address: 6527 PATO RD. NW, Albuquerque, NM 87120

Applicant: MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE, ALBUQUERQUE, NM 87122
Phone#: 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net

Other Contact: ADRIAN MARTINEZ **Contact:** ADRIAN MARTINEZ
Address: 9320 SAGUARO ST. NW
Phone#: 505-350-8920 **Fax#:** _____ **E-mail:** umz10@hotmail.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

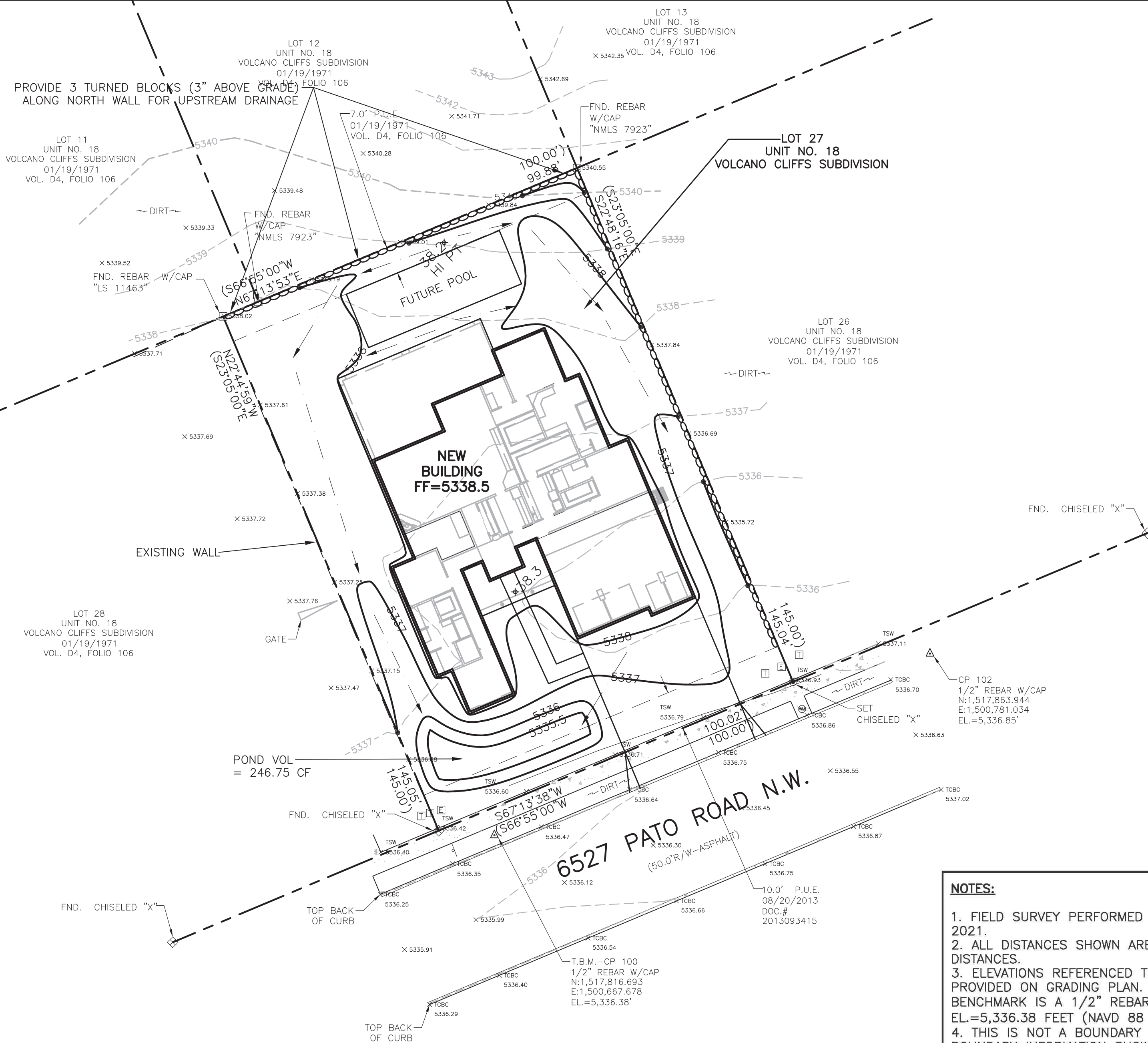
- ☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 6-7-21 **By:** JACKIE MCDOWELL

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



GENERAL DRAINAGE PLAN NOTES:

1. It is recommended that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This plan recommends positive drainage away from all structures to prohibit ponding of runoff adjacent to the structure. Future alterations of the grades next to the structures are not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Irrigation water adjacent to the structures could cause settlement.
4. This plan establishes on-site drainage and assumes no responsibility for subsurface analysis, foundation or structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer is recommended.
6. It is recommended that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey.
8. All work shall be constructed in accordance with the City of Albuquerque Standard Specifications for Public Works Construction with updates.
9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.
10. Contactor shall ensure that no site soils/sediment or silt enters the right-of-ways during construction.
11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native seed mix.

This is the plan to be used for any garden walls and any openings in the walls shall be placed 3" above final grade in the rear yard to allow for cross lot drainage from west to east (upstream to downstream).

PROPERTY LINE WALLS AND GARDEN WALLS SHALL HAVE TURNED BLOCKS OR WEEP HOLES FOR DRAINAGE. ALL OPENINGS IN THE WALLS SHALL BE 3" ABOVE GRADE.

STANDARD GRADING NOTE: THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY). AREAS DISTURBED BY GRADING WHICH WILL NOT BE TREATED WITH LANDSCAPING SHALL BE SEED.

STANDARD WALL AND PAD CERTIFICATION NOTES:
ALL PERMITTER GARDEN WALLS SHALL BE PERMITTED SEPARATELY.
A PAD CERTIFICATION IS REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED.

SURVEY NOTES:

PROJECT LOCATION

6527 PATO ROAD, ALBUQUERQUE, NEW MEXICO

SURVEY INFORMATION

TOPOGRAPHIC SURVEY PERFORMED AND COMPILED BY TERRA LAND SURVEYS, LLC. CORRALES, NEW MEXICO JUNE 2020.

PROJECT BENCHMARK

PROJECT BENCHMARK IS A CITY OF ALBUQUERQUE CONTROL STATION "S21, S22, S28, S27, T11N R2E, 1911" BEING A USGLO SECTION CORNER ELEVATION = 5,330.151 FEET (NAVD 1988 VERTICAL DATUM).

TEMPORARY PROJECT BENCHMARK

PROJECT BENCHMARK CP 100 IS A TERRA LAND SURVEY 1/2" REBAR WITH PLASTIC CAP STAMPED "TERRA CONTROL" ELEVATION = 5,336.38 FEET (NAVD 1988 VERTICAL DATUM).

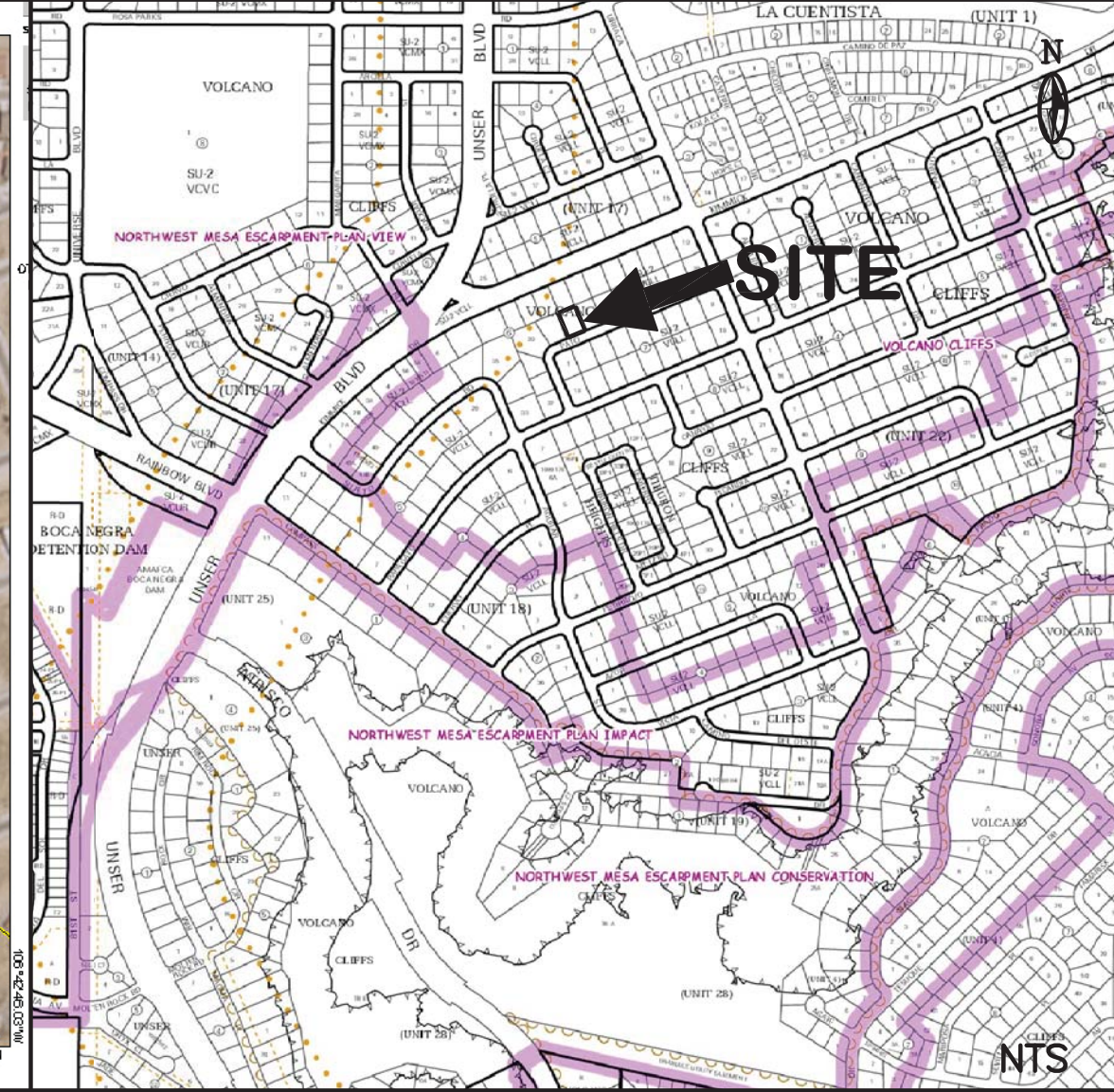
NOTES

1. FIELD SURVEY PERFORMED IN JUNE 2020.
2. TOPOGRAPHIC SURVEY WAS COMPILED UTILIZING SURFACE COORDINATES REFERENCED TO NAD 1983 NEW MEXICO CENTRAL ZONE. PRIMARY HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED UTILIZING GPS RTK METHODS. COMBINED GROUND TO GRID FACTOR IS 0.999671106 SCALED AROUND 0.0.
3. ELEVATIONS SHOWN FOR PIPES ARE INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.
4. CONTOURS SHOWN HEREON ARE AT A ONE FOOT INTERVAL REFERENCED TO THE NAVD 88 VERTICAL DATUM.
5. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
6. PIPE SIZES AND MATERIAL TYPES FOR MANHOLES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEYS, VISUAL INSPECTIONS AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE PIPE SIZES AND MATERIAL TYPES ARE EXACT BUT DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.



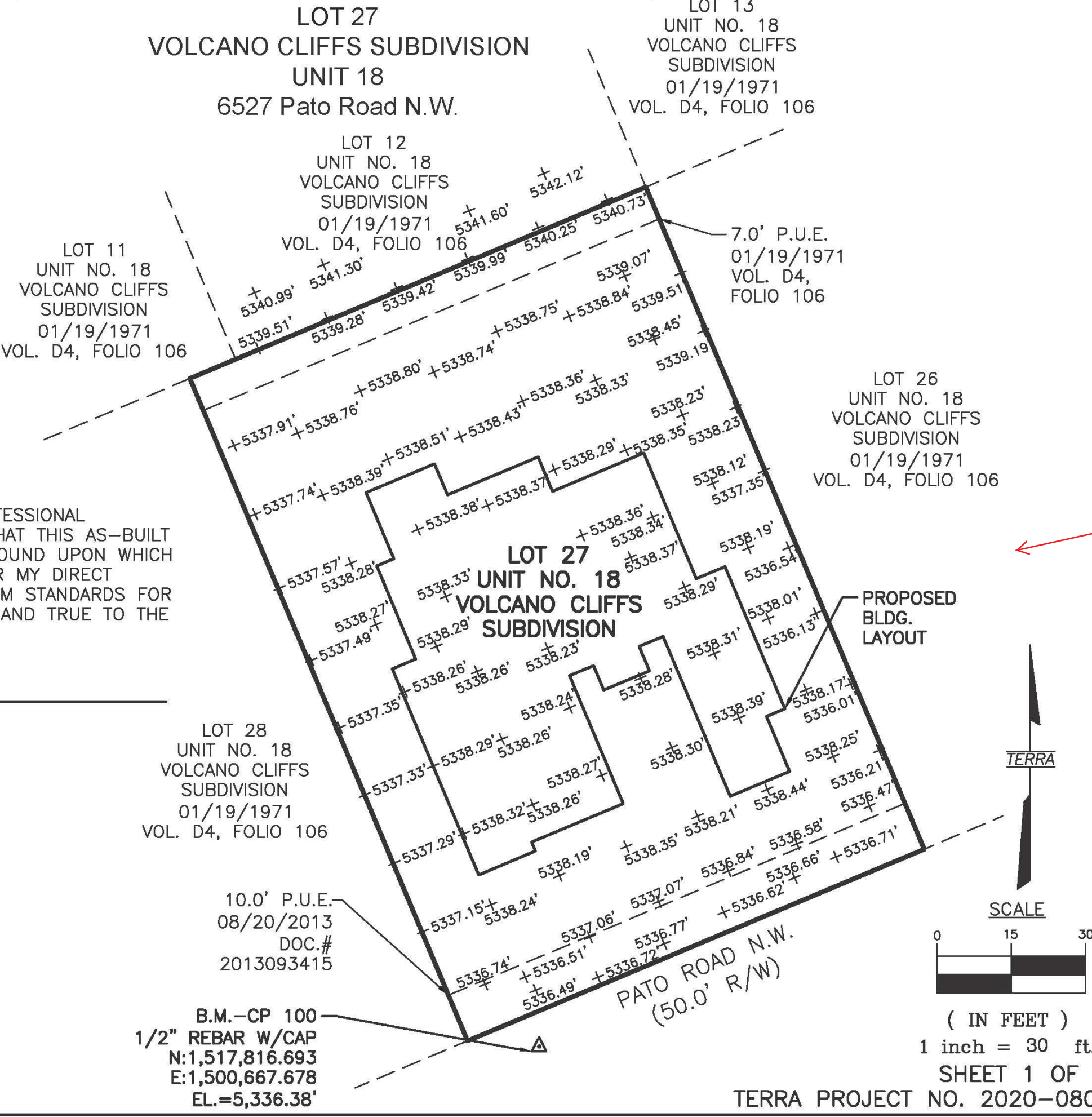
SURVEY LEGEND

- ▲ CONTROL MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- ◇ FOUND CHISELED "X"
- WATER METER
- TELEPHONE RISER
- ELECTRIC BOX
- STREET SIGN
- SPOT ELEVATION
- TCBC TOP BACK/BACK CURB
- TSW TOP OF SIDEWALK
- UNDERGROUND GAS LINE
- BLOCK WALL
- CONCRETE HATCH

LEGEND

- | | EXISTING | PROPOSED |
|---------------------|--------------|--------------|
| CONTOUR | --- 6045 --- | --- 6045 --- |
| PROPERTY LINE | --- | --- |
| ROAD | --- | --- |
| SETBACK | --- | --- |
| RETAINING WALL/WALL | --- | --- |
| SPOT ELEVATION | x5321.78 | x5321.78 |

AS-BUILT PAD SURVEY



NOTES:

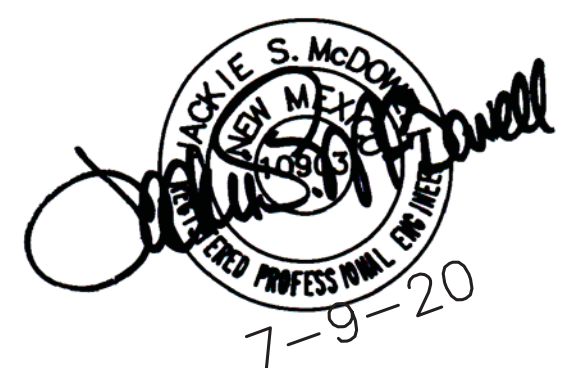
1. FIELD SURVEY PERFORMED ON JUNE 2021.
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ELEVATIONS REFERENCED TO BM PROVIDED ON GRADING PLAN. PROJECT BENCHMARK IS A 1/2" REBAR W/CAP EL.=5,336.38 FEET (NAVD 88 DATUM).
4. THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION SHOWN TAKEN FROM RECORD PLAT AND SHOWN FOR ORIENTATION ONLY. THIS IS NOT A BOUNDARY SURVEY.

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS AS-BUILT SURVEY AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; THIS SURVEY MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO; AND IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE.

Christopher A Medina
CHRISTOPHER A. MEDINA, NMPLS NO. 15702

JUNE 2, 2021
DATE



6-7-21
AS-BUILT PAD CERTIFICATION IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING & DRAINAGE PLAN

ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on July 1, 2020 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

6527 PATO RD. NW, ALBUQUERQUE, NM 87120			
CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO			
LOT 27, BLOCK 6, UNIT 18 VOLCANO CLIFFS SUBDIVISION			
MARTINEZ, ADRIAN - GRADING & DRAINAGE PLAN			
McDowell Engineering, Inc.			
7820 BEVERLY HILLS AVE. NE ALBUQUERQUE, NM 87122			
TELE: 505-828-2430 FAX: 505-821-4857			
Designed JSM	Drawn STAFF	Checked JSM	Sheet of
File MAR0120L	Date JULY,2020		1 1