CITY OF ALBUQUERQUE

Planning Department
Brennan Williams, Director



March 13, 2020

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, New Mexico 87199

RE: Lot 39 Block 6 Volcano Cliffs Unit 22 SAD 228 6623 Sujeto Rd. NW Grading and Drainage Plan Engineers Stamp Date 2/28/20 (D10D003M39)

Pad Certification Date 3/11/20

Dear Mr. Soule,

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 3/11/20, this plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 2/28/20 and Pad Certification Date 3/11/20.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E. Principal Engineer, Hydrology Planning Department

RR/SB C: File D10D003M39



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6623 SUJETO DRB#:	Building Permit #:	Hydrology File #	
Legal Description: LOT 39 BLOCK 6 City Address: 6623 SUJETO	Volcano Cliffs unit 18		
Applicant: Address:		Contact:	
Phone#:		E-mail:	
Other Contact: RIO GRANDE ENGINE Address: PO BOX 93924 ALB NM	ERING 87199	Contact:DAVID SOULE	
Phone#: 505.321.9099		E-mail: david@riograndeengineering.com	
TYPE OF DEVELOPMENT:PLATX RESIDENCE DRB SITE ADMIN SITE			
Check all that Apply:			
DEPARTMENT: X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION	TYPE OF APPROVA <u>×</u> BUILDING PER CERTIFICATE O		
TYPE OF SUBMITTAL: ENGINEER/ARCHITECT CERTIFICATION X PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING? IS THIS A RESUBMITTAL?:X YesNO	PRELIMINARY SITE PLAN FOR SITE PLAN FOR FINAL PLAT A SIA/ RELEASE PPLIC FOUNDATION I GRADING PERM SO-19 APPROV PAVING PERM GRADING/ PAD WORK ORDER A CLOMR/LOMR FLOODPLAIN I OTHER (SPECI	PLAT APPROVAL R SUB'D APPROVAL R BLDG. PERMIT APPROVAL PPROVAL OF FINANCIAL GUARANTEE PERMIT APPROVAL MIT APPROVAL AL IT APPROVAL O CERTIFICATION APPROVAL DEVELOPMENT PERMIT FY)	
DATE SUBMITTED:	* "	······································	
COA STAFF:	ELECTRONIC SUBMITTAL RECEIVED:		

100-Year, 6-hr. Area Area Treatment A Treatment B Treatment C Treatment D Weighted E Volume (acres) % (acres) % (acres) % (acres) % (acres) % (acres) | 25477.00 | 0.585 | 0% | 0 | 20% | 0.117 | 46% | 0.269 | 34% | 0.199 | 1.259 | 0.061 | 25477.00 | 0.585 | 0% | 0 | 20% | 0.117 | 48% | 0.2807 | 32% | 0.187 | 1.240 | 0.060 | PROPOSED COMPARISON -0.001

Weighted E Method

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm-zone 1

⊏a− 0.44	Qa- 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME

REQUIRED PROVIDED WATER QUALITY 844 FLOOD CONTROL

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain the house to the front to the stre and the remainder will drain to the northe east per the master drainage plan. We are ponding 676 CF for water harvesting quality purposes there is not measurable upland flow. This plan does not exceed the allowed impervious area therefore we are not required to retain. This plan is in conformance to the master drainage plan

I, DAVID SOULE HAVE PERSONALLY INPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 2/28/20



TURN 1 BLOCK IN-PERIMTER WALL

TURN 1 BLOCK IN PERIMTER WALL @ 5334.00 END RETAINING WAL

EXISTING PERIMETER WALI

TURN 1 BLOCK IN

FF= 5335.50 FP= 5335.00

PERIMTER WALL @ 5332.00

WATER QUALITY POND TOP = 5333.85 BOTTOM = 5333.00 VOLUME =644 CF

LOT OUTFALL @ 5333.78

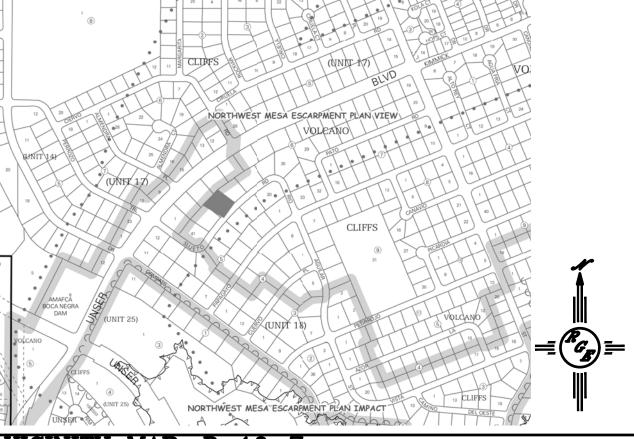
EROSION CONTROL NOTES:

WATER QUALITY POND

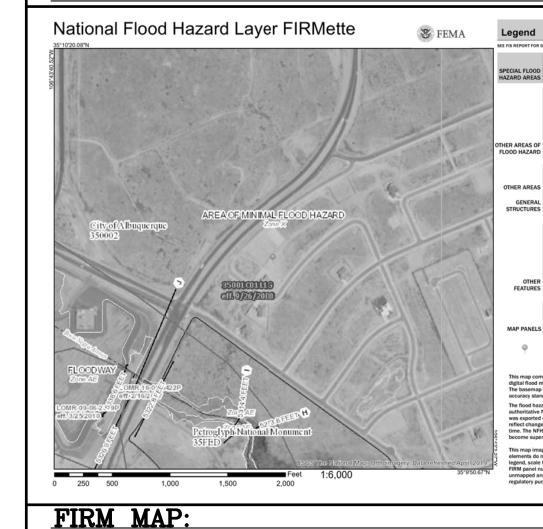
TOP = 5334.50 BOTTOM = 5334.00 VOLUME = 200 CF

N RIM ELEVATION=5333.82

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.







LEGAL DESCRIPTION:

LOT 39 BLOCK 6 UNIT 18 VOLCANO CLIFFS CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

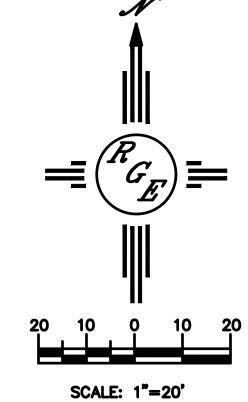
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

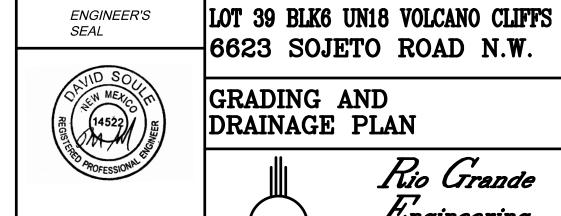
No Digital Data Available Unmapped

- 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- 3. ANY PERIMETER WALLS MUST BE PERMITED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- 4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

---- EXISTING CONTOUR ---- EXISTING INDEX CONTOUR PROPOSED CONTOUR PROPOSED INDEX CONTOUR EXISTING SPOT ELEVATION × XXXX PROPOSED SPOT ELEVATION PROPOSED EARTHEN SWALE — — — — ADJACENT BOUNDARY A A A PROPOSED CONCRETE DRIVEWAY PROPOSED RETAINING WALL PROPOSED PERIMETER WALL





2/28/20

DAVID SOULE

P.E. #14522

6623 SOJETO ROAD N.W. GRADING AND DRAINAGE PLAN

ALBUQUERQUE, NM 87106

OT 39 BLK6 UN18 VOLCANO CLIFFS REVISED.DWG Rio Grande SHEET# C1 Lingineering 1606 CENTRAL AVENUE SE JOB#

 BY DEM

DATE 2-27-20

CAUTION: EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL **NECESSARY FIELD INVESTIGATIONS PRIOR** TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.